PUBLIC NOTICE

CITY OF BERKLEY, MICHIGAN REGULAR MEETING OF THE CITY PLANNING COMMISSION

Tuesday, May 27, 2025 7:00PM – City Hall Council Chambers Information: 248-658-3320

CALL TO ORDER
PLEDGE OF ALLEGIANCE
ROLL CALL
APPROVAL OF AGENDA
APPROVAL OF MINUTES — Meeting minutes of April 22, 2025
COMMUNICATIONS
CITIZEN COMMENTS

OLD BUSINESS

NEW BUSINESS

1. PSP-02-25 and PSU-01-25: 4162 Twelve Mile Rd., 4150 Twelve Mile Rd. and 4138 Twelve Mile Rd.: The applicant, Selwan Shina, is requesting site plan approval and special land use approval for a gas station/convenience store with accessory restaurant counter in the Gateway District on the north side of Twelve Mile Rd. between Greenfield Rd. and Ellwood Ave.

LIAISON REPORTS COMMISSIONER / STAFF COMMENTS ADJOURN

Notice: Official Minutes of the City Planning Commission are stored and available for review at the office of the City Clerk. The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the city. Individuals with disabilities requiring auxiliary aids or services should contact the city by writing or calling: City Clerk, ADA Contact, Berkley City Hall, 3338 Coolidge, Berkley, Michigan 48072, (248) 658-3300.

You can watch the meeting on Channel 10 for both Comcast and WOW, at http://www.youtube.com/CityofBerkley or http://www.berkleymich.org/livestream.

THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:00 PM, APRIL 22, 2025 AT BERKLEY CITY HALL BY CHAIR LISA KEMPNER.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: https://www.youtube.com/user/cityofberkley

DRAFT

PRESENT: Josh Stapp Lisa Hamameh

Shiloh Dahlin Joe Bartus Lisa Kempner Mike Woods

Eric Arnsman

ABSENT:

ALSO PRESENT: Kristen Kapelanski, Community Development Director

Greg Patterson, City Council Liaison

APPROVAL OF AGENDA

Motion by Commissioner Hamameh to approve the agenda and supported by Commissioner Woods.

Voice vote to approve the agenda

AYES: 7 NAYS: 0

MOTION CARRIED

* * * * * * * * *

APPROVAL OF THE MINUTES

Motion by Commissioner Dahlin to approve the minutes of the March 18, 2025 regular Planning Commission meeting and supported by Commissioner Stapp.

Voice vote to approve the meeting minutes of March 18, 2025.

AYES: 7 NAYS: 0

MOTION CARRIED

* * * * * * *

COMMUNICATIONS

NONE

* * * * * * * *

CITIZEN COMMENTS

NONE

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OLD BUSINESS

NONE

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NEW BUSINESS

1. Capital Improvement Plan

Community Development Director Kapelanski presented the Capital Improvement Program (CIP) noting the Planning Commission is responsible for reviewing the CIP to ensure it complies with the recommendations of the Master Plan.

Chair Kempner opened the public hearing at 7:04PM. No wished to speak and no correspondence was received and the public hearing was closed at 7:04PM.

Chair Kempner noticed spending in this CIP was lower this year than in past years. Community Director Kapelanski said staff revamped the CIP process and focused on a much more realistic CIP process and forecast than in years past.

Motion by Commissioner Hamameh and supported by Commissioner Woods to approve the Capital Improvement Plan.

Voice vote on the motion to approve the Capital Improvement Plan.

AYES: 7 NAYS: 0

2. <u>PSP-03-25: 3340 Ellwood Ave.:</u> The applicant, John Spietzer, is requesting site plan approval for a new parking lot at 3340 Ellwood connecting to the existing Green Lantern parking lot, on the east side of Ellwood, south of Twelve Mile in the Parking District.

Community Development Director Kapelanski presented the project. This project was reviewed under the previous zoning ordinance. The applicant is requesting approval of a fourteen-space parking lot connecting to the existing Green Lantern parking lot in the P, Parking District. Staff recommended the applicant consider adding additional landscaping.

Chair Kempner confirmed with the applicant that they reached out to Country Oven and the owner of that property was not interested in removing the existing screen wall or connecting parking areas.

The applicant considered additional landscape opportunities but that would require removing a parking space. The Planning Commission agreed it was better to have an additional parking space in this area.

The Commission asked additional clarifying questions. The applicant was asked to be cognizant of the fact that exiting headlights may impact the house across the street.

Motion by Commissioner Hamameh and supported by Commissioner Bartus to approve PSP-03-25 3340 Ellwood with the following findings:

- The standards of Section 138-679 have been met; and
- The proposed landscaping meets the standards of Section 130-37.

Roll call vote on the motion to approve PSP-03-25 3340 Ellwood.

AYES: 7 NAYS: 0 3. <u>PSP-04-25: 3391 Twelve Mile Rd.:</u> The applicant, C & H Land-Walnut, LLC, is requesting site plan approval for façade renovations at 3391 Twelve Mile, on the south side of Twelve Mile, east of Buckingham in the Twelve Mile District.

Community Development Director Kapelanski presented the project. The applicant is proposing to redevelop the façade at 3391 Twelve Mile. The proposed revisions will better comply with the Downtown Design Guidelines and ordinance requirements but a transparency waiver is required along the Twelve Mile frontage. The application was reviewed under the previous zoning ordinance.

The applicant indicated the interior layout of the building really limited transparency opportunities.

The Planning Commission asked some clarifying questions.

Motion by Commissioner Hamameh and supported by Commissioner Stapp to approve PSP-04-25 3391 Twelve Mile with the following findings:

- A waiver of the transparency requirements along Twelve Mile to allow 28% transparency when 40% is required as the façade is being brought more in line with transparency requirements and the Downtown Design Guidelines; and.
- The standards of Section 138-679 have been met.

Roll call vote on the motion to approve PSP-04-25 3391 Twelve Mile.

AYES: 7 NAYS: 0

4. Planning Commission Liaison for Chamber of Commerce

Commissioner Arnsman volunteered to be liaison to the Chamber of Commerce.

* * * * * * * * * * LIAISON REPORT

Commissioners provided updates on the Downtown Development Authority and Zoning Board of Appeals.

City Council Member Patterson provided an update on recent Council decisions.

* * * * * * * *

COMMISSIONER COMMENTS

Chair Kempner shared there is a group meeting for the temporary closure of Dorthea for activation as a pocket park from mid-June to mid-July.

* * * * * * * * *

STAFF COMMENTS

Community Development Director Kapelanski shared than an updated boards and commission process will be coming and Planning Commission bylaws and rules may need to be adjusted.

* * * * * * * * *

ADJOURNMENT

Motion to adjourn by Commissioner Bartus supported by Commissioner Woods.

Voice vote for adjournment

AYES: 7 NAYS: 0

With no further business, the meeting was adjourned at 7:44 p.m.



MEMORANDUM

To: Planning Commission

From: Kristen Kapelanski, Community Development Director

Subject: PSP-02-25 and PSU-01-25: 4162 Twelve Mile Rd., 4150 Twelve Mile Rd. and 4138

Twelve Mile Rd.

Date: May 27, 2025

Background

- The applicant is proposing to redevelop a 0.8 acre site as a 6,734 sq. ft. gas station/convenience store and associated restaurant at the north side of Twelve Mile Rd. between Greenfield Rd. and Ellwood Ave.
- The zoning of the property is Gateway District, which permits retail and restaurants as principal
 permitted uses and gas stations as special land uses subject to certain conditions. Refer to the
 Carlisle Wortman Associates (CWA) review letter for a detail and analysis of conditions for gas
 stations.
- This application was submitted prior to the adoption of the new Zoning Ordinance. Plans have been reviewed against the old Zoning Ordinance provisions (pre-April 16th).
- The Planning Commission is required to consider and approve/deny the site plan, recommend approval/denial of the special land use request and hold the required public hearing.

Summary

- The plan is generally in compliance with ordinance and City Code requirements. All staff and consultant reviewers are recommending approval subject to conditions.
- The applicant is planning to seek variances from the Zoning Board of Appeals for the placement
 of the trash enclosure and the location of the southeastern driveway. See the CWA review and
 the applicant's response letter for additional details.
- The CWA review notes a number of items that were required prior to the plan appearing before the Planning Commission:
 - The applicant has provided the requested elevations and pictures of the existing screen wall. The proposed modifications to the existing screen will bring the wall to a height of 6 ft. and the portions of the wall within 12 ft. of the driveway will be stepped down to a height of 30 in. The City's Building Official has confirmed the screen wall is in usable condition.
 - o The applicant has provided the exterior material finish schedule and notes.

- The CWA review also noted a number of items for Planning Commission consideration:
 - The Commission may want to consider requesting that the applicant modify the landscaping plan to improve the Twelve Mile streetscape.
 - The Commission may want to consider asking the applicant to replace the proposed pole-mounted lights with wall sconces along the north property line.
 - The Commission may want to consider asking the applicant to rotate the building so that the primary entrance faces Twelve Mile, in conformance with the Downtown Design Guidelines.
- The Planning Commission will need to make a determination per Section 130-37 that the proposed landscaping meets the requirements outlined in the Master Plan.
- The applicant is requesting a Planning Commission waiver for reduced transparency levels on the south elevation. See the CWA review for details.

Recommendation

If the Planning Commission chooses to approve the site plan, staff recommends the approval motion include a waiver of the transparency levels on the south elevation and findings that the plan meets the standards for site plan approval per Section 138-679 and that the landscaping as proposed meets the requirements of Section 130-37. Any approval motions should also include as a condition of approval that outstanding items in the staff and consultant review letters be addressed and that variances are obtained for the placement of the trash enclosure and the location of the southeastern driveway.

Any motions recommending approval of the special land use request should reference the standards in Section 138-653.



APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

| TO BE COMPLETED | BY APPLICANT: | | | | | | | |
|--|--|--|--|--|--|--|--|--|
| I (We), the undersigned information to assist in | d, do hereby respectfully request Site Plan Review and provide the following the review: | | | | | | | |
| Project Name: | Proposed Gas Station / Convenience Store w/ Restaurant | | | | | | | |
| Applicant: | Selwan Shina | | | | | | | |
| Mailing Address: | 6476 Orchard Lake Road, Suite A, West Bloomfield, MI 48322 | | | | | | | |
| Telephone: | | | | | | | | |
| Email: | | | | | | | | |
| Property Owner(s), if di | fferent from Applicant: Gevalin Gegaj | | | | | | | |
| Mailing Address: | 1879 Windside Dr West Bloomfield, MI 48321 | | | | | | | |
| Telephone: | | | | | | | | |
| Email: | | | | | | | | |
| Applicant's Legal Intere | st in Property: Development | | | | | | | |
| 58 | | | | | | | | |
| LOCATION OF PROPE | RTY: | | | | | | | |
| Street Address: | 4162 Twelve Mile Road, Berkley, MI 48072 | | | | | | | |
| Nearest Cross Streets: | Twelve Mile Road and Greenfield Road | | | | | | | |
| Sidwell Number(s): | 25 07 255 020 05 07 055 000 0 05 07 055 0 0 | | | | | | | |
| | | | | | | | | |



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|---|--|--|--|--|--|--|--|---|
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| Project Name: | Proposed Gas Station / Convenience Store w/ Restaurant | | | | | | | |
| Applicant: Selwan Shina | | | | | | | | |
| O Mailing Address: 6476 Orchard Lake Road, Suite A, West Bloomfield, M | | | | | | | | |
| Telephone: | | | | | | | | |
| Empile | | | | | | | | |
| Property Owner(s), if diff | Ferent from Applicant: Jamil Realty, LLC | | | | | | | |
| Mailing Address: | - 1129 Most Iwolyo Mila Hood Harkley Mil 180/6 | | | | | | | |
| Telephone: Email: | | | | | | | | |
| | | | | | | | | Applicant's Legal Interest in Property: Development |
| | | | | | | | | |
| LOCATION OF PROPE | RTY: | | | | | | | |
| Street Address: | 4162 Twelve Mile Road, Berkley, MI 48072 | | | | | | | |
| Nearest Cross Streets: | Twelve Mile Road and Greenfield Road | | | | | | | |
| Sidwell Number(s): | 25-07-355-039, 25-07-355-038, & 25-07-355-040 | | | | | | | |
| | I (We), the undersigned, information to assist in the Project Name: Applicant: Mailing Address: Telephone: Email: Property Owner(s), if different Mailing Address: Telephone: Email: Applicant's Legal Interest LOCATION OF PROPE Street Address: Nearest Cross Streets: | | | | | | | |

Updated 12/13/2022

| | Y DESCRIPTION:
numbers and subdivision: 2 | ?5-C | 7-355-039, 25-07-355-038 | , & | 25-07-35 | 55-C |)40 |
|--------------|---|------|---|------|---------------------------------------|--------|-------|
| riovide iot | ndinocia and adodivision | · | | | | | ***** |
| Property Si | ze (Square Feet): 34,638 | SF | (Acres): 0.8 | 0 A | C | | |
| , - | | | | | | | |
| EXISTING | ZONING DISTRICT (please | che | ck): | | | | |
| | R-1A | | Local Business | | Coolidge | | |
| | R-1B | | Office | | Downtown | | |
| | R-1C | | Community Centerpiece | | Industrial | | |
| | R-1D | | Woodward | | Cemetery | | |
| | RM | | Eleven Mile | | Parking | | |
| | RMH | | Twelve Mile | | Gateway I | Distri | ct |
| | se of Property: | | | | | | |
| Proposed (| mercial development Jse of Property: station / convenience store w/ restau | rant | | | | | |
| Is the prope | erty located within the Down | town | Development Authority? | | Yes | Ħ | No |
| Proposed | | | nience store with restaurant, 8 gas puelle. Proposed 2,620 SF building ad | | | | |
| | | - | <u>* </u> | | · · · · · · · · · · · · · · · · · · · | | ····· |
| • | | _ | require Special Land Use approval? | | Yes | _ | No |
| • | | | (s) from the Zoning Board of Appeals | s? ! | ■ Yes | | No |
| | se describe Variances requi
enclosure (accessol | | structure) located in side | yar | d | | |
| | | - | | | | | |

Updated 12/13/2022 2 | Page

PLEASE COMPLETE THE FOLLOWING CHART:

| Type of Development | Number of
Units | Gross Floor
Area | Number of
Parking Spaces
On Site | Number of
Employees on
Largest Shift |
|----------------------|--------------------|---------------------|--|--|
| Attached Residential | | | | |
| Office | | | | |
| Commercial | 1 | 6,734 SF | 45 | |
| Industrial | | | | |
| Other | | | | |

| ROFE | SSIONALS WHO | PREPARED PLANS: | - | |
|------|-------------------|---|-------------|---|
| A. | Name: | Stonefield Engineerin | ıg 8 | & Design |
| | Mailing Address | 555 S Old Woodward Ave | enu | e, Suite 12L, Birmingham, MI 48009 |
| | Telephone: | | | |
| | Email: | | | 1 |
| | Design Respons | sibility (engineer, surveyor, archit | tect, | etc.): Civil Engineer |
| В. | Name: | | | |
| | Mailing Address | • | | |
| | Telephone: | | | |
| | Email: | | | |
| | Design Respons | sibility: | | |
| | _ | | | |
| SUBM | IT THE FOLLOW | ing: | | |
| 1. | | vidually folded copies of the site tect, engineer, or surveyor. | plan | s, measuring 24" x 36", sealed by a |
| | A pdf file of the | site plans, submitted to the Com | | |
| | Review commer | | ounty | registered deed with County stamp). |
| | | sion for Oakland County
ansportation | | Oakland County Health Division MI Dept. of Environment, Great Lakes & Energ |

Updated 12/13/2022

PLEASE NOTE: The applicant, or a designated representative, MUST BE PRESENT at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)

I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

_____All information contained therein is true and accurate to the best of my knowledge.

I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

PLEASE NOTE: The applicant, or a designated representative, MUST BE PRESENT at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

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| APPLICANT'S EN | IDORSEMENT: (Initial each line) |
|--|---|
| All infor | mation contained therein is true and accurate to the best of my knowledge. |
| information in this
the City and its em | wledge that the Planning Commission will not review my application unless all
application and the Zoning Ordinance has been submitted. I further acknowledge that
aployees shall not be held liable for any claims that may arise as a result of acceptance
roval of this site plan application. |
| submitted. Should | acknowledge that if engineering or other reviews are required, additional fees must be
the review fees be greater than the required minimum, sufficient additional charges will
sfy the additional review fees. All fee obligations must be satisfied prior to permit |

Updated 12/13/2022 4 | P a g e

| 1/7/25 |
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| Date / |
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| |
| Date |
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| 1/4/25 |
| Date |
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| Received | | Receipt# | Meeting | Date | _Case# |
|-------------------------|-------------------|--|------------------------------------|--------------------|--|
| Fees:
Site Plan Revi | ew \$600 <u>P</u> | lus Escrow: Mu | lti-family \$660 | Commercial \$1,100 | , - |
| Administrative | \$300 | E | xtension \$200 | | |
| Engineering: | | ily Full Site \$1,50
ily Partial Site \$1 | 0 Escrow \$800
000 Escrow \$800 | | Site \$1,300 Escrow \$
tial Site \$800 Escrow |

| Signature of Applicant | Date |
|--|---------|
| Applicant Name (Print) | |
| Signature of Applicant | Date |
| Applicant Name (Print) | |
| Chareline Geges | 1-16-25 |
| Signature of Property Owner Authorizing this Application | Date |
| Germin GECAY | |
| Property Owner Name (Print) | |

| OFFICE USE ONLY | CONTRACTOR OF THE PROPERTY OF THE PARTY OF T |
|----------------------------|--|
| Received /-/7-25 Receipt # | Meeting Date 2/25/25 Case #_ 15P-02-25 |

Fees:

Site Plan Review \$600 Plus Escrow: Multi-family \$660 Commercial \$1,100

Administrative: \$300

Extension \$200

Engineering:

Multi-family Full Site \$1,500 Escrow \$800

Multi-family Partial Site \$1000 Escrow \$800

Commercial Full Site \$1,300 Escrow \$800

Commercial Partial Site \$800 Escrow \$800



LOCATION MAP SCALE: I" = 500'±

SITE DEVELOPMENT PLANS

FOR

MUG & JUG PROPOSED COMMERCIAL **REDEVELOPMENT**

PARCEL IDS: 2507355039, 2507355038, & 2507355040 4162 TWELVE MILE ROAD CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN

GREENFIELD ROAD

TWELVE MILE DISTRICT

GREENINELD DISTRICT

12 MILE ROAD

AERIAL MAP

A MISS DIG TICKET WAS REQUESTED PRIOR TO CONDUCTING A SURVEY FOR THE SUBJECT PROPERTY



PLANS PREPARED BY:



Birmingham, MI · New York, NY · Salem, MA Princeton, NJ · Tampa, FL · Rutherford, NJ www.stonefieldeng.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009 Phone 248.247.1115

APPLICANT

SELWAN SHINA 6476 ORCHARD LAKE ROAD, SUITE A WEST BLOOMFIELD, MI, 48322 248.207.3 [] 0 RSH[NA@BAYSFD.COM

| | | | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | DESCRIPTION |
|--|--|--|---|---|---|-------------|
| | | | qí | ΩÍ | JDINB | ВУ |
| | | | 04/23/2025 | 03/1 9/2025 | 01/1 4/2025 | DATE |
| | | | 8 | 2 | - | ISSUE |

NOT APPROVED FOR CONSTRUCTION



| ADDITIONAL SHEETS | | | | | | |
|------------------------------|----------------|--|--|--|--|--|
| DRAWING TITLE | SHEET# | | | | | |
| ALTAINSPS LAND TITLE SURVEY | OF | | | | | |
| LIFE SAFETY AND EGRESS PLAN | A-0.1 | | | | | |
| ARCHITECTURAL FLOOR PLAN | A-I.I | | | | | |
| ARCHITECTURAL ELEVATIONS | A-0.15 & A-2.4 | | | | | |
| OCWRC SANITARY SEWER DETAILS | I & 2 OF 2 | | | | | |
| OCWRC STORM DRAIN DETAILS | OF | | | | | |

DRAWING TITLE SHEET# COVER SHEET C-I DEMOLITION PLAN C-2 SITE PLAN C-3 GRADING PLAN C-4 STORMWATER MANAGEMENT PLAN C-5 C-6 LITH ITY PLAN LIGHTING PLAN C_7 LANDSCAPING PLAN C-8 LANDSCAPING DETAILS C-9

C-10 & C-11

CONSTRUCTION DETAILS

SHEET INDEX

ELLWOOD AVENUE

PROJECT SITE

12 MILE ROAD

ZONING MAP

SCALE: I" = 50'±

PLAN REFERENCE MATERIALS:

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| ARCHITECTURAL FLOOR PLAN | A-I.I |
| ARCHITECTURAL ELEVATIONS | A-0.15 & A-2.4 |
| OCWRC SANITARY SEWER DETAILS | 1 & 2 OF 2 |

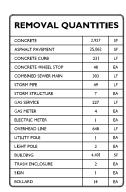
STONEFIELD

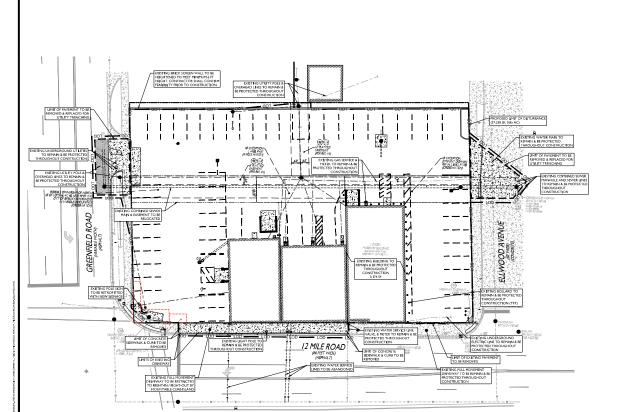
<u>~</u> BOB

COVER SHEET

C-I

SCALE: I" = 50'±







SYMBOL

DESCRIPTION

FEATURE TO BE REMOVED / DEMOUSHED

EXISTING CONCRETE TO BE REMOVED

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCRENED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's **below** Call before you dig.





STONEFIELD anginempt design ngham, M. • New York, NY • Salem, ceton, NJ • Tampa, FL • Rutherford,



PROPOSED COMMERCIAL REDEVELOPMENT

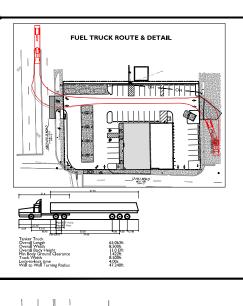


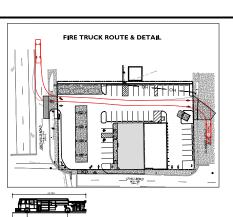


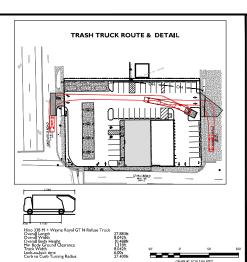
I" = 20" PROJECT ID: DET-24024

DEMOLITION PLAN

C-2













Birmingham, M. New York, NY · Salem, MA Princeton, NJ · Tampa, FL · Rutherford, NJ www.stonefieldeng.com

PROPOSED COMMERCIAL
REDEVELOPMENT
AMCEL DES 250735509, & 25073509
CONTRACTOR FORD
ONLAND CENTER PRODUCES
ONLAND CENTER PRODUCES
ONLAND CENTER PRODUCES 8 MUG





I" = 20' PROJECT ID: DET 240246

SITE PLAN

C-3

RESTAURANT RETAIL STORE AUTOMOBILE SERVICE ZONING REQUIREMEN MINIMUM REAR YARD SET

| (1) | VARIANCE |
|-----|--|
| (V) | PER § 138-53, TRASH ENCLOSURE (ACCESSORY STRUCTURE) IS NOT
PERMITTED IN A SIDE YARD |

(NC) NO CHANGE

(9) § 138-129,(b),(1) - AUTOMOBLE FILLING STATION SHALL NOT BE LOCATED NEARER THAN 500 FT TO A SCHOOL, CHURCH, PUBLIC PARK OR AUDITORIUM



SERVICE STATION SPACING

SCALE: I" = 250'±

| LAND US | E AND ZONIN | G) | OFF-STREET PARKING REQUIREMENTS | | | | |
|-----------------------|------------------------|---------------------------|---------------------------------|--|---------------|--|--|
| L IDS: 250735 | 5039, 2507355038 & 250 | 77355040 | CODE SECTION | REQUIRED | PROPOSED | | |
| GATEWAY DISTRICT (GD) | | | § 138-129 | RESTAURANT: | 37 SPACES | | |
| | | | | I SPACE PER 75 SF OF UFA* | 8 PUMP SPAC | | |
| | PERMITTED USE | | | (702 SF)(0.7)(1 / 75 SF) = 7 SPACES | TOTAL: 45 SE | | |
| | PERMITTED USE | | | GAS STATION WITH CONVENIENCE: | 1 | | |
| ESTATION | SPECIAL USE | | | 6 SPACES PER 1,000 SF OF UFA* | 1 | | |
| eT. | REQUIRED | PROPOSED | | + I SPACE PER PUMP + 2 SPACES | 1 | | |
| | 17,000 SF | 34,638 SF (0.80 AC) | | (6,032 SF)(0,7)(6 / 1000 SF) = 25 SPACES | 1 | | |
| | 130 FT | 150.0 FT | | + (8 PUMPS)(1 / 1 PUMP) = 8 SPACES | 1 | | |
| IGHT | 40 FT | < 40 FT | | TOTAL: 7 + 25 + 8 + 2 = 42 SPACES | | | |
| TO LINE | 10 FT | 0.0 FT (NC) | § 138-220.(a) | 90" PARKING DIMENSIONS: | 9 FT × 20 FT | | |
| INE | 75% | 100% (NC) | | 9 FT X 20 FT W/ 24 FT ABLE | W/ 24 FT AIS | | |
| BACK | 0 FT | 5.0 FT (V) ⁽¹⁾ | § 138-256.(b) | LOADING | 12 FT X 75 FT | | |
| TBACK | 10 FT | 70.1 FT (NC) | [| 12 FT × 30 FT | | | |
| ON SPACING | 30 FT | 26.8 FT (V) | (*) (138-217.(b) | - USABLE FLOOR AREA SHALL BE ASSUMED | TO BE 70% OF | | |
| ACING | 20 FT | 20.0 FT (NC) | TOTAL FLOR | | | | |
| DTH | 32 FT | 22.9 FT (NC) | | GENERAL NOTES | | | |
| | | | | | | | |

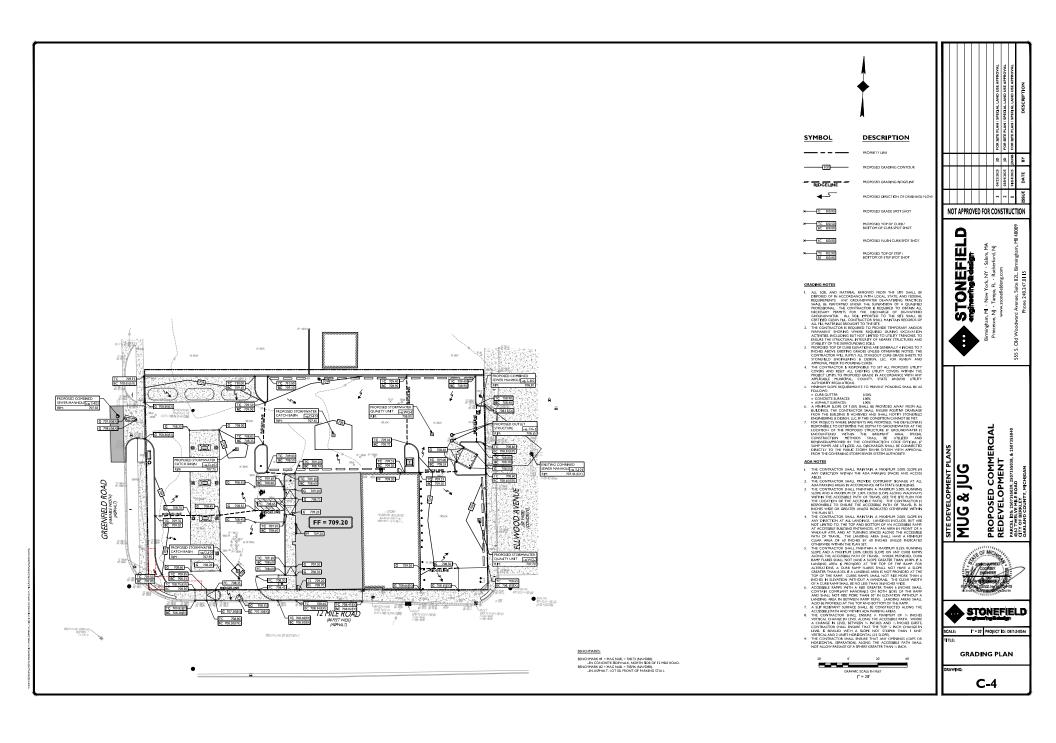
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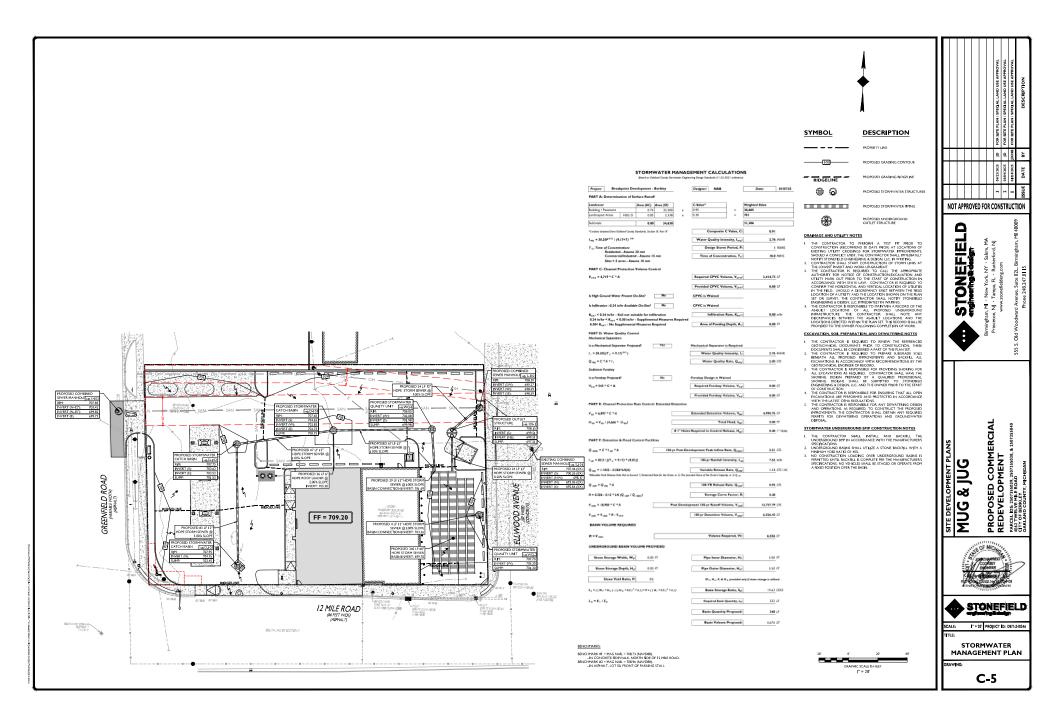
OFFICE IN WHITEGE BY STORMHULD PROJECTIONS & LOGICAL ON THE MEMORY AND AND ODS OF CONSTRUCTION.

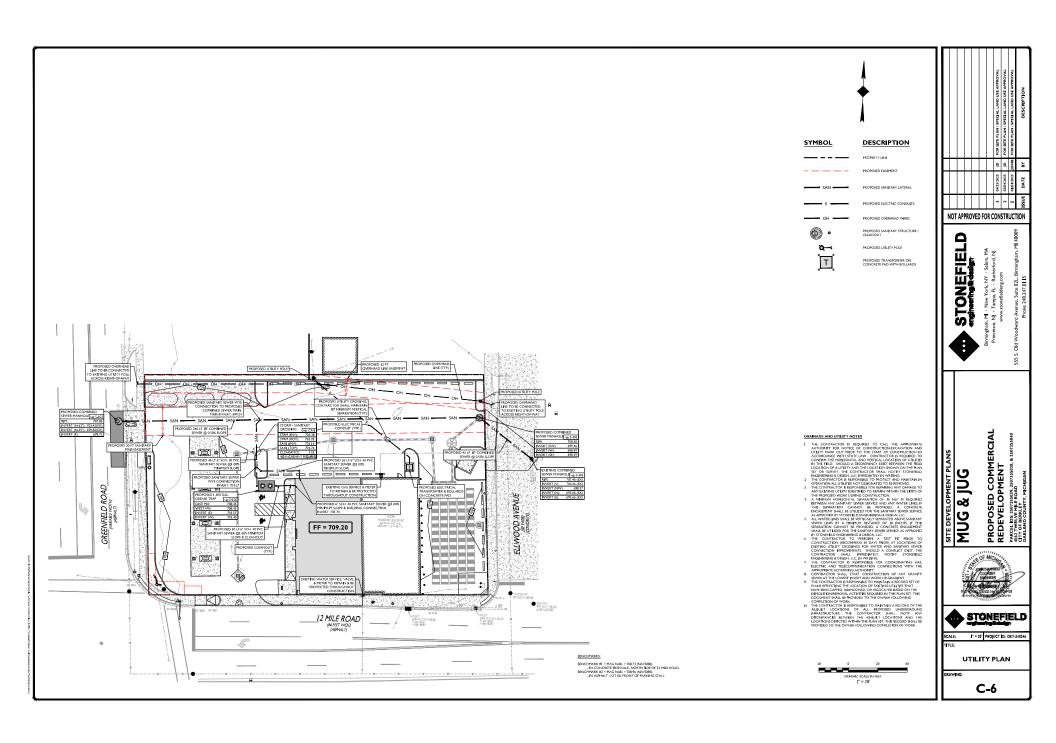
ODS OF CONSTRUCTION.

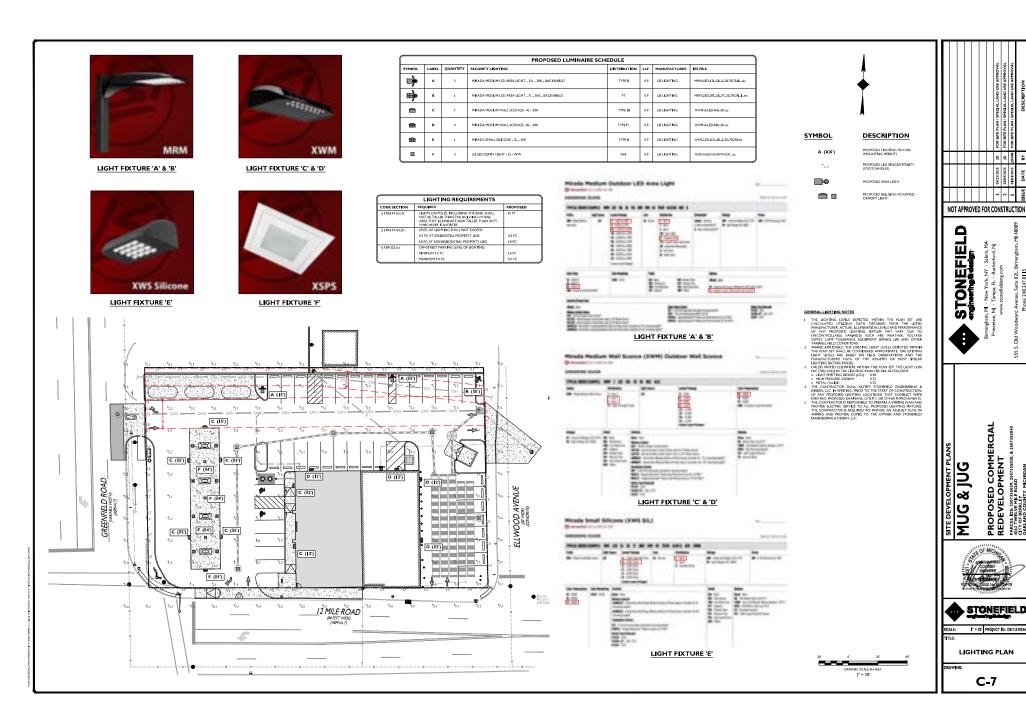
ODS OFFICE WHILE NOT PREPORE ANY WORK OR CAUSE REALESS ON A PRIVATE PROPRETY NOT CONTROLLED BY THE MEMORY ON OR SENTER WHO OBS AUTHORIZED THE WORK WHITOUT IT WRITTIN CONSENT FROM THE OWNER OF THE PRIVATE BRIT.

GRAPHIC SCALE IN FEET











| LANDSCAPING REQUIREMENTS | | | | | | | |
|--------------------------|---|---------------------------------|--|--|--|--|--|
| CODE SECTION | REQUIRED | PROPOSED | | | | | |
| § 138-222.(c)(2)c. | PARKING LOT SCREENING WHERE A PARKING LOT ABUTS A RESIDENTIAL DISTRICT: 6 FT TALL MASONRY WALL REQUIRED | EXISTING WALL
TO BE MODIFIED | | | | | |

| | | | PLANT SCH | EDULE | | |
|---|------|-----|---|-------------------------------------|-----------|------------------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
| | | | DECIDUOUS | TREES | | |
| + GLE I GLEDITSM TRIACANTHOS SHADEMASTER HONEY LOCUST | | | | | | 888 |
| | | | EVERGREEN T | TREES | | |
| (·) | BLU | 14 | JUNPERUS SCOPULORUM
'BLUE ARROW' | BLUE ARROW JUNIPER | 6-8 HT | 888 |
| 37 ⁺ / ₄ | VIR | 6 | JUNPERUS VIRGINIANA
J.N. SELECT GREEN' | EMERALD FEATHER
EASTERN REDCEDAR | 6'-8'HT | 888 |
| | | | SHRUBS | | | |
| \odot | COR | 6 | CORNUS STOLONIFERA
'FARROW' | ARCTIC HRE RED TWIG
DOGWOOD | 18" - 24" | POT |
| 0 | PHY | 5 | PHYSOCARPUS
OPULFOLIUS LITTLE
DEVL' | LITTLE DEVIL DWARF
NINEBARK | 18" - 24" | POT |
| | | | EVERGREEN SI | HRUBS | | |
| 0 | ILE | 12 | LEX GLABRA 'COMPACTA' | COMPACT INKBERRY | 18" - 24" | POT |
| 0 | TAX | 6 | TAXUS X MEDIA
'DENSFORMIS' | DENSE ANGLO-JAPANIESE
YEW | 18" - 24" | POT |
| | | | GROUND CO | | | |
| | BAR | 63 | JUNPERUS HORIZONTALIS
BAR HARROR | BAR HARBOR CREEPING
JUNIPER | I GAL | POT.
36" O.C. |

NOTE: F ANY DISCREPANCES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



Know what's **below Call** before you dig.

EREATION NOTE:
REGISTRO CONTRACTOR TO PROVIDE A DEEDN FOR AN IRRESTATION
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STEPS SEMANTING FLARITING SEDE RICH LAWA AREA PIREA TO
LANDSCARE DISEASE FOR SERVEY AND ARROWAL WHISE FORSILLE
FRIENDED AND OTHER WATER CONSERVATION TO TROVINGES
AND THE PROPERTY OF THE WATER CONSERVATION TO TROVINGE AND
STEP FRIENDED AND THE WATER CONTRACTOR SEDECES AND LIGHT SERVEY AND LAWARD AND AN IN THE RESIDENCE AND LAWARD AND AND AND PROVIDE RECOVERY OF THE PROPERTY OF THE

LANDSCAPING NOTES

- LANGECAPPIC HOTES

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| | | | | | | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | DESCRIPTION | |
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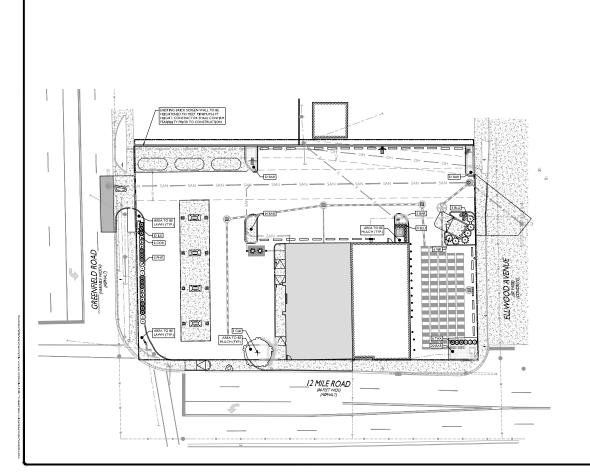
PROPOSED COMMERCIAL
REDEVELOPMENT
MAKEL IDS. 250735501, 8, 250735504
CTO, 70 BRIENEL 18 7040
OMA 409 COUNTY MICHIGAN
OMA 409 COUNTY MICHIGAN

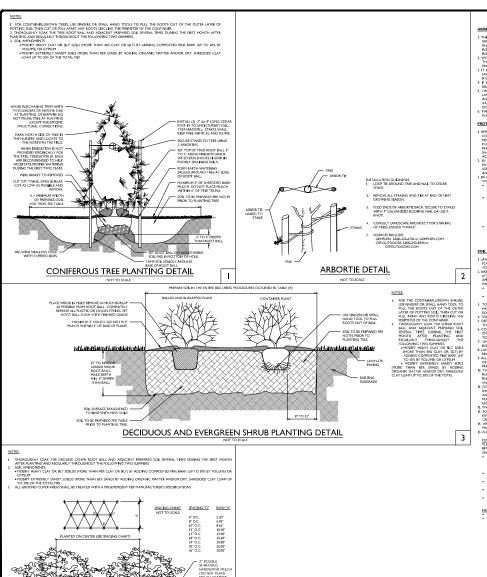




LANDSCAPING PLAN

C-8





4

GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

GENERAL LANDSCAPING NOTES:

- THE AMOREM CONTROL TO SHALL HANDER ALL PATERIALS AND REPORT ALL YORK IN ACCORDANCE WITH THEIR AMOREM CONTROL TO SHALL THE AMOREM CONTROL TO SHALL THE AMOREM CONTROL OF CONTROL THE AMOREM CONTROL TO CONTROL THE AMOREM CONTROL TO CONTROL THE AMOREM CONTROL THE A

- IF SO REQUESTED.

 IF SAMPLES ARE REQUESTED. THE LANDSCAPE CONTRACTOR B TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND

- BEODECIONO OF ENTIRE VIGIETATION NOTES.

 SERVICE COMPANIE OF OR. ALL DETIRE VIGIETATION WHO COULD BE MINISTED OF THE RECORDS CONSTRUCTION ACCURATE WAS A STREET OF THE RECORD ACCURATE WAS ASSOCIATED WAS ASSOCI

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIHED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE
- TO NOTIFICATION OF RISULTS.

 BASED ON SOIL THE STREAMS AND USET THE RATES OF UPE AND RETILIZER THAT SHALL BE HISSED INTO THE TOP SIX INCHES (6) OF DISCOL. THE UPE AND RETILIZER ANTES RECOVEDED WITHIN THE "SEED SPECIFICATION OR SOIL DISCOLLATION" IS A SHARDWAY SAY INCESSAY. ADJUST THE "POSIGE AS APPROXIMATE AND FOR DISCOLLATION" IS DESIGNAD.

 **APPROXIMATE AND FOR DISCOLUTE PRAFEDIS CONS." IF ADDITIONAL APPROXIMATE SAY INCESSAY. ADJUST THE "POSIGE AS APPROXIMATE AND FOR DISCOLUTE SAY. DILLOWS:

 MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT), BY ADDING COMPOSTED PINE BARK (UP TO 30% BY
- DEFINION DO SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM.
 THE TOTAL MAY.
- VOICE OF THE WAR HAVE THE PORT THAN MIST IN ADDITION CHAPTER THAN ONE DAY, SHEEDED CAN LOAM COM-LIFE TO JAKE OF THE TOTAL MIX.

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 TOTAL SHALL HE HETE, THAN A THAN AT ORGE, OF LOAMING CHAPTER, MINOUT ADMITTALE OF SHEET

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- CONTRACTOR DESIGNATION OF THE TOTAL CONTRACTOR OF

| IRRIGATION DURING ESTABLISHMENT | | | | | | | |
|---------------------------------|---|---|--|--|--|--|--|
| SIZE AT
PLANTING | RRIGATION FOR VITALITY | IRRIGATION FOR SURVIVAL | | | | | |
| < 2" CALIPER | DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR
TWO MONTHS, WEEKLY UNTIL ESTABLISHED | TWO TO THREE TIMES WEEKLY
FOR TWO TO THREE MONTHS | | | | | |
| 2'-4 CALIPER | DAEY FOR ONE MONTH, EVERY OTHER DAY FOR
THREE MONTHS, WEEKLY UNTIL ESTABLISHED | TWO TO THREE TIMES WEEKLY
FOR THREE TO FOUR MONTHS | | | | | |
| 4 >" CALIPER | DALY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE | TWICE WEEKLY FOR FOUR TO HVE | | | | | |

WHEN IRRIGATING FOR VITAUITY, DELETE DALY BRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CUMATES, ESTABLISHMENT TAKES THEEE TO FOUR MONTHS FER INCH TRUNK CAL FER, NEVER APPLY REGIGATION IF THE SCILE SATURATED.

3. WHEN IRRIGATION FOR SURVIVAL TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY BRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 266 L2004) OR LATEST REVISION AS PREUSHED SY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 3. HALL CASS EXTANCIAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER

- AND THE PRICE OF THE WORLD BY AND THE PRICE OF THE PRICE
- 5 ALL RANT PARSHALE SHALL BE INTELLED IN ACCOUNTING WITH THE CORRESPONDED LANGUAGE RANK FOR PARSHAD PRINCIPLE OF CHARLES AND PARSHAD P

- SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON
- ILS THE FOLICIONNE TRES ARE SECRETIES TO TEMPORANT PROCE AND SHALL NOT BE FLANTED CURRIGH THAIL SEADON OF THE FLANTED CURRIGH THAIL SEADON OF THE FLANTED CURRICH THAIL SEADON

- AS APPROVED BY THE LOCAL YEAR/DEALBY.

 AS PACED WAS THE LOCAL YEAR/DEAL BERN IMPEDIATELY ATTRIVAL RANTS HAVE BEEN SATERACTORILY INSTALLED.

 IN HAINTRINANCE SHALL INCLUDE BUT NOT BE LIMETO TO, BERACKIOS PILLOT THAT HAS BEEN DEPACED BY ERSORN ON OTHER PERMS AND RESPHENS WATER BARGS OF AURICIES, MANTANES ATRIAS HAS OBTO FOREMALLY BEQUELD, WATER BARGS OF AURICIES, MANTANES SHEED THE DEAL SHALLY BEQUELD, WATER BARGS OF THE SERVICE SHEED THE LAWN, AND PERCORMING WHO THEN WORK REQUESTED THE LAWN, AND PERCORMING AND FORE WOOK REQUESTED THE THE THE SERVICE SHEED THE LAWN, AND PERCORMING WHO THEN WORK REQUESTED THE THE THE THE SERVICE SHEED THE LAWN, AND PERCORMING WHO THEN WORK REQUESTED.
- PRICEIPING ANY CITES WORK REQUIDED TO LETH THE AMAZITIS A HANGHY CONSTRUCT.

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- FULCONICA. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 96-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- CONTRACT SALL SE ETABLISHO.

 SE MANICAPI CONTRACT SALL SE ETABLISHO.

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 THE LANGEAGE CONTRACTOR.

 THE MAIN PROPERTIES OF CONTRACTOR SHALL BE CONTRACTOR SHALL BE CONTRACTOR.

 FILED OF THE SYSTEM DOES NOT EMINIST THE LANGEAGE OF CONTRACTORS REPORTBELLT OF PLANT HEALTH AND

 STRAIGHTEEN.

PLANT MATERIAL GUARANTEE NOTES:

- 1. THE MADICUPE CONTINUETOR SHALL COMMITTE ALL RANT MATERIA FOR A FRENCO OF ONE TRAIN (1 TH, 1904 APPROVAL THE MADICUPE CONTINUETOR SHALL COMMITTEE ALL RANT MATERIA FOR A FRENCH CONTINUE TO THE MADICUPE CONTINUE THE MADICUPE CONTINUE THE MADICUPE CONTINUE THE SHALL RAND SHAL

- I. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNFORM IN THICKNESS, AND DREED OF WEEDS DISEASE, AND BESTS

- THE OF WEIGS CRAFT, AND PISTS.

 2. INDICATION AND THE MACAMAIN FIGHT A RECOVARIO STATEMENT AND SHALL BE COPPOSED OF THE PIKY ON BLIED

 2. INDICATED AND THE MACAMAIN FIGHT AS THE OFFICE OF THE SHACK OF THE PIKY OF THE PIKY

| | | | | | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | FOR SITE PLAN / SPECIAL LAND USE APPROVAL | DESCRIPTION |
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IERCIAL PROPOSED COMMEI REDEVELOPMENT PARCEL IDS. 280735803, 8.2 4163. TWELVE MILE ROAD GITY OF BERKLEY ANLAND COUNTY, MICHIGAN

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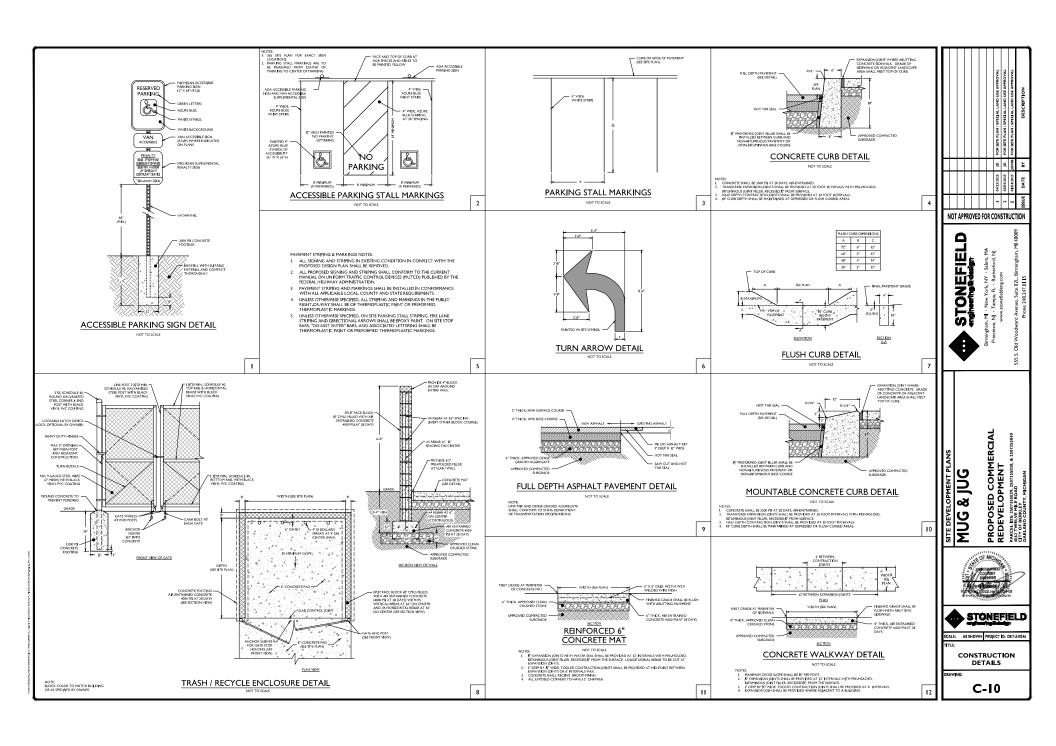


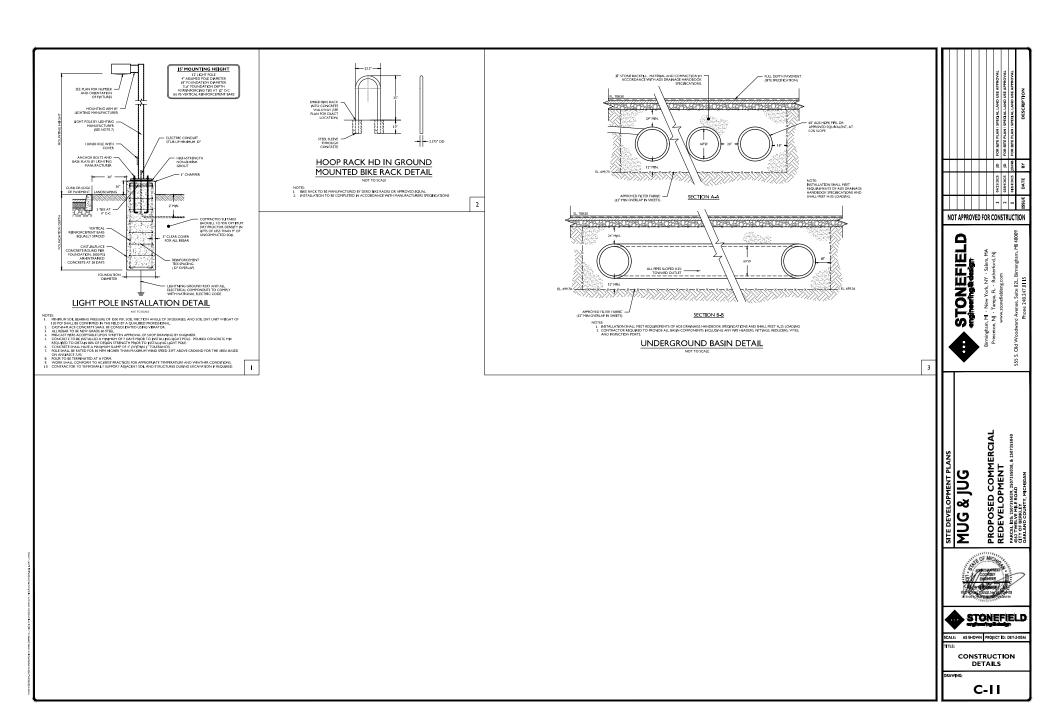


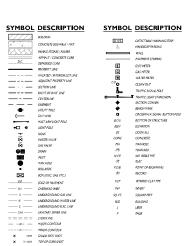
SCALE: AS SHOWN PROJECT ID: DET 24024

LANDSCAPING DETAILS

C-9







SURVEY NOTES:

-W- IC ISSU BOTTOM OF CURB SHOT

THE COLOR WALL SHOT

- THE SURVEY AND THE BOUNDARIES SHOWN HERION ARE THE RESULT OF AN ACTUAL FIRED SURVEY PERCENTED ON STETEMER 11, 2024, BASED ON AVAILABLE MASS AND DEEDS OF RECORD, AND HYBOXICAL PURDINGS. THE SURVEY IS SUBJECT TO ALL EASEMENTS, BIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN A DIGITAL SEAL IS AFFIXED HERETO.
- THE SURVEYOR IS NOT QUALIFIED TO IDENTIFY ENVIRONMENTAL CONDITIONS OR THE PRESENCE OF ASSENCE OF WETLANDS.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- AND THE STATE OF T
- BEARINGS ARE REFERENCED TO THE MICHIGAN STATE FLANE COORDINATE SYSTEM (NADBI) SOUTH ZONE, ELEVATIONS SHOWN HERION ARE REFERENCED TO THE NORTH-AMBRICAN VERTICAL, DATUM OF 1980 (NAVO 98), ISTABLISHED VIA RTK, GROONSHALDING, OMENIA, DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OMENIA, DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OMENIA, DEPARTMENT SYSTEM PROOF CORS).
- THE ADDRESSES FOR THE PARCELS SHOWN ON THIS SURVEY ARE 4138. 12 MILE ROAD, 4150. 12 MILE ROAD, AND 4162. 12 MILE ROAD, BERKLEY, MI. 48672. [FROM TITLE
- BENCHMARK #1 = MAG NAIL = 70873 (NAVDBB).
 IN CONCRETE SIDEWALK, NORTH SIDE OF 12 MLE ROAD.
 BENCHMARK 12 = MAG NALL = 70854 (NAVDBB).
 IN ASPHALT, LOT SO, FRONT OF PARKING STALL.

FLOOD NOTE:

BY GRAPH C PLOTTING ONLY, THE PROPERTY IS 'N ZONE X (UNSHADED) (AREA OF MINIMAL PLOOD HAZARD) OF THE PLOOD INSURANCE RATE MAP, COPPLINITY NO. 260292, MAP NUMBER: 2612SC0339F WHICH BIAINS AN EFFICITY DATE OF SIPPLIMED 26, 2006.

SURVEY REFERENCES:

- A PLAN ENTITLED "ELLWOOD HEIGHTS, A SUBDIMISION OF A PART OF THE SOUTHWEST 1/4 OF SECTION 7 TOWN I NORTH, RANGE II EAST, ROYAL OAK TOWNSHIP (NOW CITY OF BERKLEY). COLONIA MICHIGAN'D DATED JINE OB, 1920 AND MECORDED IN LIBER 23, PAGE 19 OF PLATS, OAKLAND COUNTY RECORDS.
- A TITLE COMMITMENT ISSUED BY ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER 63-24928392-5CM, COMMITMENT DATE: SPITEMBER 11, 2024.

 A TITLE COMMITMENT ISSUED BY MICHIGAN ALLED TITLE AGENCY I.C. ISSUING OFFICE FILE NUMBER 24-102932-29. COMMITMENT DATE: AUGUST 8, 2024. EXISTING STRIPED PARKING AREA NOTES

TOTAL = 57 SPACES

TOTAL LAND AREA 32,017 SQUARE FEET± OR 0.735 ACREs±

ESSE / N 88°22'46" E (M) \$ 88"54" E (P) TO THE PARTY OF TH 10 220 12 O (A) Z PLATTED EASEMENT PRES REC. AT 2000 PRICE W SECTIONS OF CONCERNMENT OF C 6 Û pagg! GREENFIELD F SIGN -2 7 *7864 10 78.54 YELLOW ONE O ROAD 2 LOT 42 PER REF. (IV) HIGHWAY BASEMENT (SHARE P SAI) BUSHARI STANAN THIS A DISTANAN CHAFT BEST HOUSE PARCEL IN 25-07-355-040 JAME REALTY, LLC 4138 WEST 12 MILE ROAD BUT IN TELLOW LINE AND NOR WHENEVER ELEC MH RM=709.00 130.631/M) (30.001 (P) WATER MIS AND CONTROL OF AND CO 5. pg THE THE CONCURSIONS IN 12 MILE ROAD GRACING FASHENT (ASPHALT) .._.._.. # COS COS KOTTS ___ GRAPHIC SCALE IN FEET [" = 20"

PARCE: 25-07-255-03/ (2461 ELLWOOD AVEN IN

X SAW R

SCHEDULE B - PART II EXCEPTIONS: 4138 12 MILE ROAD AND 4150 12 MILE ROAD

ATA NATIONAL TITLE GROUP, LLC, BSUING OFFICE FILE NUMBER 63-24928392-SCM, COMMITMENT DATE SPETEMBER 11 2024

10.77 E W. Ge

94. COMPANETS, CONDÉDISS AND RETRÍCTIONS AND OTHER PROVIEDOS BUT OMÍTTINO RETRÍCTIONS, F. ANY, BASID ON BACE, COLOR BEEFON SEX, HANDEAN FAMILLA STATES OR PACE 244 AND LEBER AND THE CONTRACTOR OF THE PACE OF THE CONTRACT OF THE PACE AND THE AND THE AND THE CONTRACT OF THE PACE AND THE AND TH

(BA) HIGHWAY EASEMENT IN FAVOR OF THE BOARD OF ROAD COMMISSIONERS FOR THE COUNTY OF OAKLAND RECORDED IN LIBER STERR, PAGE 415, OAKLAND COUNTY RECORDS. (SHOWN)

(I) EASEMENTS OVER SUBJECT PROPERTY AS SHOWN ON THE PLAT OF ELLWOOD HEIGHTS SUBDIVISION AS RECORDED IN LIBER 23, PAGE 19 OF PLATS, OAKLAND COUNTY RECORDS. (SHOWN)

SCHEDULE B - PART II EXCEPTIONS: 4162 12 MILE ROAD

HICHKAN ALIJED TITLE AGENCY LLC, ISSUING OFFICE FLE NUMBER 24-102932-29, COMMITMENT DATE: AUGUST 8: 2024

(98.) EASEMENT(S) AND/OR SETBACK LINES AS DISCLOSED BY THE RECORDED PLAT. (SHOWN)

(6B) TRAFFIC SAFETY AND SKINAL EASEMENT GRANTS TO BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF CAKLAND, AS DISCLOSED BY INSTRUMENT RECORDED IN UBER 42961, PAGE 541, (84-00-04)

PARCEL DESCRIPTION:
ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER 63-24938392-8CM, COMMITMENT DATE

THE LAND IS DESCRIBED AS FOLLOWS: SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLANI STATE OF MEHIGAN:

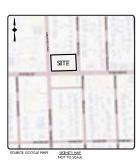
LOTS 39, 40, 41, 42, 43, 44 AND EAST 5 FIET OF LOT 45, EXCEPT THE NORTHERLY 18 FIET OF EACH LOT AND LOT 145, ELLWOOD HEIGHTS SUBDIVISION, AS RECORDED IN LIBER 23, PAGE 19 OF PLATS OAKLAND COUNTY RECORDS.

PARCEL DESCRIPTION:
MICHIGAN ALLED TITLE AGENCY LLC, ESUING OFFICE FILE NUMBER 24-102932-29, COMMITMENT DATE.
ALIGNETS AS

THE LAND REFERRED TO HEREN BELOW IS SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHGAN AND IS DESCRIBED AS FOLLOWS:

SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, FURTHED DESCRIPTO AS

WEST 15 FEET, EXCEPT THE NORTHERLY IS FEET, OF LOT 45, ALL OF LOTS 46 THROUGH 50, ELLWOOD HIGHTS SUBDIVISION AS RECORDED IN LIBER 23, PAGE 19 OF PLATS, DAKLAND COUNTY RECORDS.





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555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009

ALTA/NSPS LAND TITLE SURVEY

MAP OF SURVEY OF:

SOUTHWEST 1/4 OF SECTION 7, TOWN | NORTH, RANGE || EAST PARCEL: 12-07-135-03 (4)38 WEST | IZ MILE ROAD) PARCEL: 12-07-135-039 (4)42 WEST | IZ MILE ROAD) PARCEL: 12-07-135-040 (4)50 WEST | 12 MILE ROAD) CITY OF BERKLEY OAKLAND COUNTY, MICHIGAN

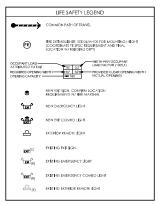
| 2 | [0/]0/24 | RJH | | | | ADDITIONAL UTILITY INFORMATION |
|-------|----------|-------------|-------------|---------------|-------|--------------------------------|
| _ | 09/19/24 | MVZ | AG | 09/11/24 | JN | FOR ISSUE |
| ISSUE | DATE | DRAFT
BY | CHECK
BY | FIELD
DATE | FIELD | DESCRIPTION |

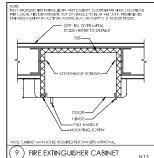
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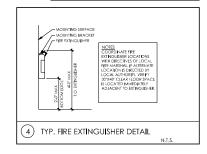
THE FELDWORK WAS COMPLETED ON SEPTEMBER 11, 2024

ROBERT E. HORNYAK, PS MICHIGAN PROFESSIONAL SURVEYOR No. 4001 044286

SCALE: |"=20" PROJECT ID: DET-240246 SHEET: | OF |









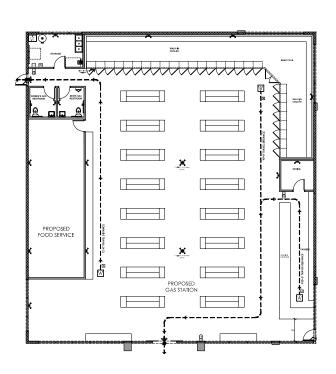
EGRESS PATHS

EXIT PATH
PATH DISTANCE

W TOTAL PATH ENGTH: 100-9

B TOTAL PATH ENGTH: 100-9

TOTAL PATH ENGTH: 120-9





ADG DESIGN STUDIO 189 E. BIG BEAVER ROAD SUITE 200 TROY, MICHIGAN 48083

P. 248-254-3834 W.ABRODESIGNGROUP.COM

O IECT:

MUG & JUG GAS STATION

- BUILDING SHELL & INTERIORS -

4162 TWELVE MILE ROAD, BERKLEY, MI. 48072

SHEET TITLE:

LIFE SAFETY AND EGRESS PLAN

DO NOT SCALE DRAWINGS

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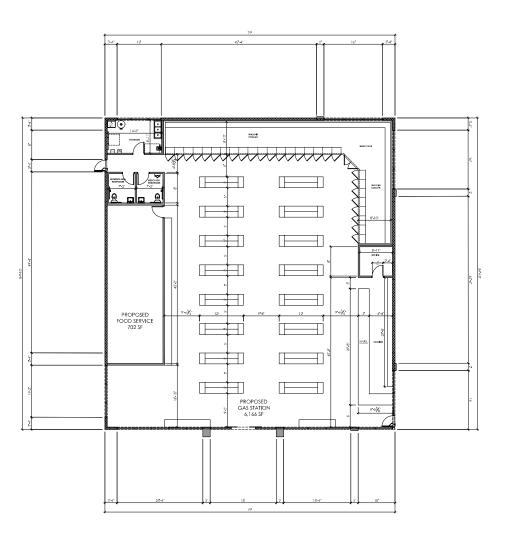
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SHEET NO:

COPYRIGHT 2025 ABRO DESIGN GROUP, INC.

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north

FLOOR PLAN

1/8" = 1'-0"

O COPYRIGHT 2025 ABRO DESIGN GROUP, INC.



FLOOR PLAN KEY NOTES:

In. Burnshed C-endcx exterior structural wall - 12 d.

Glass in Black and Opera aluminum frame first Cook.

ADG DESIGN STUDIO 189 E. BIG BEAVER ROAD SUITE 200 TROY, MICHIGAN 48083

P. 248-254-3834 W.ABRODESIGNGROUP.COM

PROJECT:

MUG & JUG GAS STATION

- BUILDING SHELL & INTERIORS -

4162 TWELVE MILE ROAD, BERKLEY, MI, 48072

SHEET TITLE:

FLOOR PLAN

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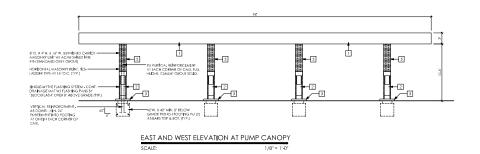
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PROJECT NO:

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ADG DESIGN STUDIO 189 E BIG BEAVER ROAD SUITE 200 TROY, MICHIGAN 48083

P. 248-254-3834 W.ABRODESIGNGROUP.COM

PROJECT:

MUG & JUG GAS STATION

- BUILDING SHELL & INTERIORS -

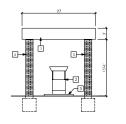
4162 TWELVE MILE ROAD, BERKLEY, MI, 48072

SHEET TITLE:

GAS PUMP CANOPY PLAN, ELEVATIONS AND DETAILS

DO NOT SCALE DRAWINGS

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NORTH AND SOUTH ELEVATION AT PUMP CANOPY SCALE: 1/8" = 1'40"

| north | GAS PUMP CANOPY PLAN | | |
|-------|----------------------|-------|------------------------|
| | SCALE: | 0 2 4 | 1/8" = 1'-0"
8' 16' |

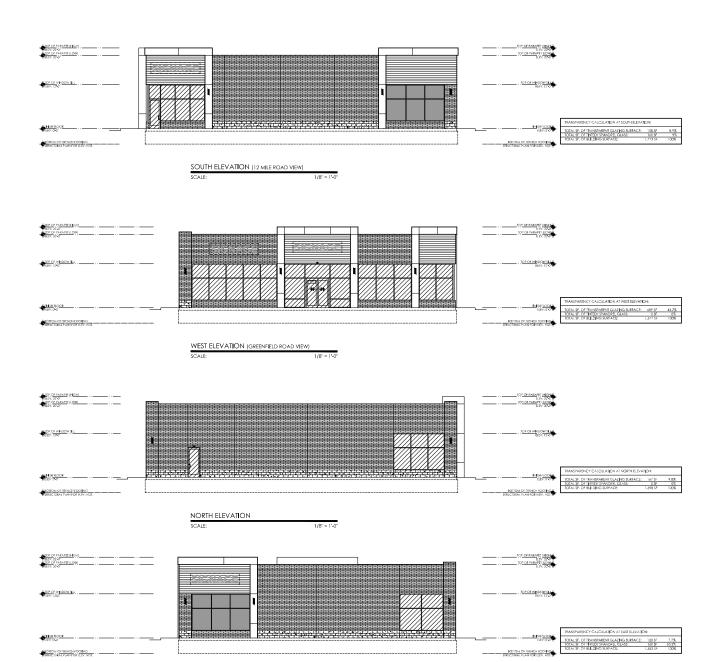
PROJECT NO:

091724

SHEET NO:

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EAST ELEVATION SCALE: CLAYING SYMBOL KEY:

TRANSPARENT GLATING:

TINTED/ SPANDREL GLASS:



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P. 248-254-3834 W.ABRODESIGNGROUP.COM

PROJECT:

MUG & JUG GAS STATION

- BUILDING SHELL & INTERIORS -

4162 TWELVE MILE ROAD, BERKLEY, MI, 48072

SHEET TITLE:

EXTERIOR
BUILDING
ELEVATIONS GLAZING
CALCULATIONS

DO NOT SCALE DRAWINGS

DATE: ISSUE:

03.20.25 57A

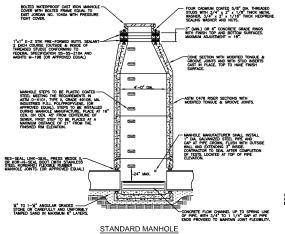
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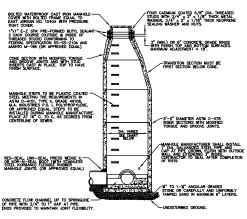
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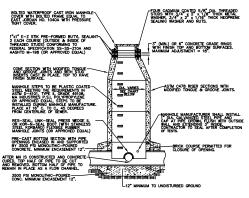
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MAX, PIPE SIZE FOR MAX, PIPE SIZE FOR STRAIGHT THRU INSTALLATION RIGHT ANGLE INSTALLATION



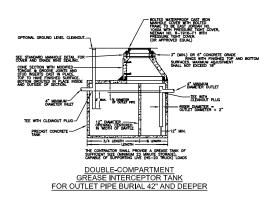


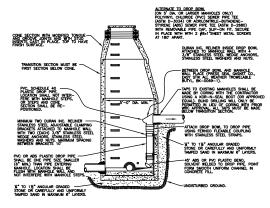
MANHOLE CONSTRUCTED OVER EXISTING SEWER

| MANHOLE SIZING CHART | | |
|----------------------|---|--|
| RANKAFE | MAX. PIPE SIZE FOR
STRAIGHT THRU INST. | |
| · · | 24* | |
| 5' | 36* | |
| 6' | 42" | |
| 7* | 60" | |

STANDARD OVERSIZED MANHOLE

| MANHOLE SIZING CHART | | | | |
|---|-----|-----|--|--|
| MANHOLE MAX. PIPE SIZE FOR MAX. PIPE SIZE
DIAMETER STRAIGHT THRU INST. RIGHT ANGLE | | | | |
| 5' | 36° | 24* | | |
| 6, | 42* | 36* | | |
| | | | | |





INTERIOR DROP CONNECTION

SANITARY SEWER CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECEPATIONS OF THE LOCAL UNIT OF COMERNMENT AND THE WATER RESORRESS COMMISSIONER (WRICK). ALL SHARINFF STERME CONSTRUCTION SHALL HAVE FULL-TIME RESPECTION SUPERINSED BY A STATE OF MICHARM LICENSED PROFESSIONAL ENGINEER PROVIDED BY, OR CAUSED TO BE PROVIDED BY, THE LOCAL WINT OF COMERNMENT.
- 2. AT ALL COMMETCIONS TO WISC SERVERS OF EXTENSIONS, AND BETORE START OF CONSTRUCTION, THE CONTRACTOR MATS GREAN A SERVER INSECTION FEBRUT DISABLE BY MEC. CONVITY SERVER PERMIT CHANGES AND \$250 FOR MATCH CONTRACTOR MATCH SERVER PERMIT CHANGES AND \$250 FOR MATCH SERVER PERMIT CHANGES AND \$250 FOR MATCH SERVER PERMIT CHANGES AND \$250 FOR \$250 LV. AT CONTRACTOR WITH METAL PERMIT CHANGES PERMIT PERMIT CHANGES AND TEST SERVER PERMIT CHANGES AND \$250 FOR \$250 LV. AT CONTRACTOR SHALL ASSO HAVE FORCE SHOPPICE. THE CONTRACTOR SHALL ASSO HAVE FORCE SHOPPICE THE CONTRACTOR SHALL ASSO HAVE FORCE WITH METAL AS \$5,000 SURFEY FORCE AND \$500 CASH DEPOSIT. THE CONTRACTOR SHALL ASSO HAVE FORCE WITH METAL \$5,000 SURFEY FORCE AND \$500 CASH DEPOSIT. THE CONTRACTOR SHALL NOTIFY THE LOCAL UNIT OF DOCUMENTATION AND \$600 FORCE ASSOCIATION OF ANY CONSTRUCTION. FINAL ACCEPTANCE TESTS MAST SE WITHESSED BY COUNTY PERSONNEL, NO MUST SE SCHEDULED BY MANUFALITY OR IT'S CONSULTANT IN ADVANCE WITH 24 HOUR MOTICE AT 264-865-1100.
- 3. NO SEWER INSTALLATION SHALL HAVE AN INFILITATION EXCEEDING 100 GALLONS PER INCH DAMETER PER MILE OF PIPE IN A 24 HOUR PERGO, AND NO SHIGLE RIN OF SERVE RETWEEN MANIFOLDS SHALL DOCEDO 100 GALLONS PER INCH DAMEDER PER MILE AIR TESTS IN LIG. OF INFILITATION TESTS SHALL BE AS SECREDE IN THE MATER RESOURCES COMMISSIONER STANDARDS, ONLY PIPE MID PIPE JOINTS APPROVED BY WRIC MAY BE USED FOR SWANTAR SERVER CONSTRUCTION.
- 4. LOCATED IN THE FRIST MANHOLE UPSTREAM FROM THE POINT OF ALL CONNECTIONS TO AN DISTING WIRC SEMER, OR EXTENSION THERETO, A TEMPORARY 12-MICH DEEP SUAP SHALL BE FROMDED IN THE FIRST MANHOLE ADDRESS THE CONNECTION WHICH WILL BE HELD IN AFTER SUCCESSION, COMMENTION OF ANY ACCEPTANCE TISTS UP TO THE STROMAGO FALLEY PROVIDED FOR THE FLOW CHANNEL. A MATERITIONT BULGREDO SHALL BE PROVIDED ON THE CONNICTIONAL SEC. OF THE SUAP MANICLE.
- 5. AT ALL TIMES WHEN LATING OF NEW PIPE IS NOT ACTUALLY IN PROGRESS, THE UPSTREAM OPEN END OF THE PIPE SHALL BE CLOSED BY TEMPORARY INNERTIGHT PLUGS OR BY OTHER APPROVED MEMS. IF INVERT IS IN THE TRENCH WHEN MOOK IS RESAMED, THE PLUG SHALL NOT BE REMOVED UNTIL THE DAMAGER OF WATER ENTERING THE PIPE MAS PASSED.
- ALL BUILDING LEADS AND RISERS SHALL BE SIX INCH SOR 23.5 ABS PIPE WITH CHEMICALLY FUSED JOINTS OR AN
 APPROVED EQUAL PIPE AND JOINT, BUILDING LEADS TO BE FURNISHED WITH REMOVABLE AIRTIGHT AND WATERTIGHT
 STOPPERS.
- ALL RIGID SEWER PIPE SHALL BE INSTALLED IN CLASS "B" BEDDING OR BETTER. ALL FLEXIBLE, SEMI-FLEXIBLE, OR COMPOSITE SEWER PIPE SHALL BE INSTALLED IN CONFORMANCE TO WIRC SPECIFICATIONS.
- 8. ALL NEW MANHOLES SHALL HAVE WER APPROVED FLORIDE. MATERIORT SPLAS HARDER PRES THROUGH MALES, MANHOLES SHALL BE OF PRE CAST SECTIONS WITH MODERN GROOVED TOWN OF MORE PROPERTY PRE-DIMENS. PRE CAST MANHOLE COME SECTIONS SHALL BE WITH APPROVED MODIFIED ECCENTRIC CONE TYPE. ALL MANHOLES SHALL BE PROVIDED WITH BUELDE. MATERIORIF CONSES.
- AT ALL CONNECTIONS TO MANHOLES ON WRC SEWERS, OR EXTENSIONS THERETO, DROP CONNECTIONS WILL BE REQUIRED WHEN THE DIFFERENCE IN INVERT ELEVATIONS EXCEEDS 18 INCHES.
- 10. TAPS TO EXISTING MANHOLES SHALL BE MADE BY CORING. THE CONTRACTOR SHALL PLACE A KOR-N-SEAL BOOT (OR WIC APPROVED EQUAL) AFTER CORING IS COMPLETED. BLIND DRILLING WILL ONLY BE PERMITTED IN LIEU OF CORING WITH PRIOR WIC APPROVAL.
- 12. NO GROUND WATER, STORM WATER, CONSTRUCTION WATER, DOWN SPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- 13. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGOUND PIECUME AND CHALE FACILITIES AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE WORNLY OF THE WORK.
- 14. AN 18 INCH MINIMUM VERTICAL SEPARATION AND A 10 FOOT MINIMUM HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN SANITARY SEWER AND WATER MAIN.
- 15. NEW MANHOLES BUILT OVER AN EXISTING SANITARY SEWER SHALL HAVE MONOLITHIC POURED BOTTOMS.
- 16. IF THE STRUCTURE FALLS WITHIN THE ROADBED OF A GRAVEL ROAD OR WITHIN THE UNPAVED SHOULDER OF A PAVED ROAD, THE COVER SHALL BE SIX (6") INCHES BELOW THE FINISHED GRAVEL SURFACE.

REVISION BLOCK
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| SANITARY SEWER DETAILS AND NOTES |
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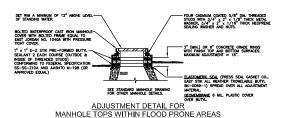


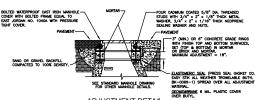
SCALE:

DRAWN BY:

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| WRC | ONE PUBLIC WORKS DRIVE, BLDG 95 WEST
WATERFORD, MICHIGAN
48328-1907 |
| | SHEET NO . |





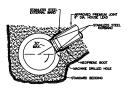


ADJUSTMENT DETAIL MANHOLE TOPS WITHIN PAVEMENT AREAS

WATER RESOURCES COMMISSIONER GRAVITY BUILDING LEAD REQUIREMENTS AND DETAILS

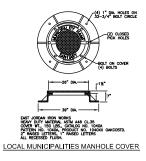
- ALL BUILDING LEAD WORK MUST BE PERFORMED UNDER WATER RESOURCES COM (WRC) AND/OR LOCAL UNIT OF GOVERNMENT INSPECTION.
- FOR ALL WRC-OPERATED SYSTEMS, CALL 248-858-1110 24-HOURS IN ADVANCE OR WORK TO SCHEDULE INSPECTION.
- 3. NO SANITARY SEWER MAY BE USED AS A CLEANOUT OF DEWATERING OUTLET.

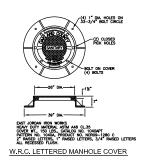
- ALLOWABLE TYPES OF SEWER PIPE ADAPTERS:
 A. FERNICO ADAPTER/REDUCER DONUTS.
 FERNICO FLEXIBLE COUPLING.
 C. MISSION CLAY BAND-SEAL COUPLING.
 D. SMITH-BLAYS STANLESS STEEL REPEAR CLAW
 HURON-CLINTON O-RING ADAPTER.

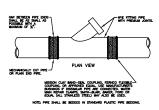


- APPROVED PREMIUM JOIN 6 DIA HOUSE LEAD.

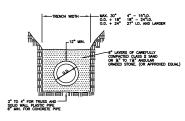
KOR-N-TEE TAP FOR CONCRETE PIPE







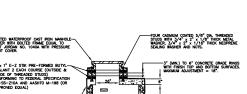
WYE PIPE INSERTION WITH FLEXIBLE COUPLINGS (RIGID PIPE)





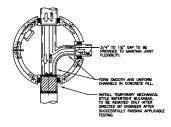


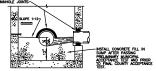
STANDARD BEDDING (CLASS B)



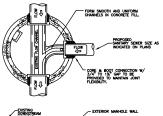
GEOMEMBRANE 6 MIL. PLASTIC COVER OVER BUTYL.

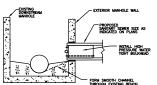
FLAT TOP MANHOLE



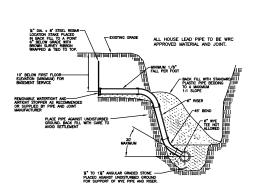


SUMP MANHOLE FOR TESTING, CLEANING AND DEWATERING





TESTING BULKHEAD WITH PIPE TAP



HOUSE LEAD DETAIL

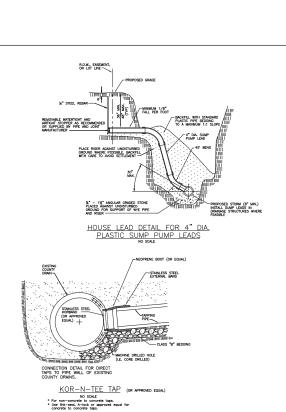
| REVISION BLOCK | | | |
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| Parcel Base / Source D. | | | |
| Rev | Rev | Rev | |

SANITARY SEWER DETAILS AND NOTES

| ORIG. DATE: | 05-09-03 | |
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| DRAWN BY: | Mapping Staff | |

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WATERFORD, MICHIGAN
48328-1907 | |
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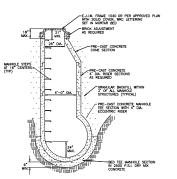


SAND BACKFILL TRENCH STANDARD BACKFILL TRENCH

30" MAX. TRENCH WIDTH 4" - 10" DIA. PIPE ABS (TRUSS AND SOLID WALL), PVC (TRUSS, SOLID WALL, A2000),

ADS N-12 WT PIPE BEDDING DETAIL



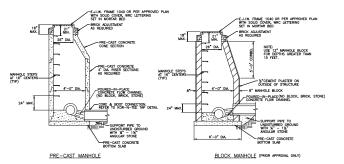


F.J.J.W. COVER #6508 OR PER APPROVED PLAN, SET IN MORTAR RED.

EU-EURURE S

END VIEW

PRE-CAST TEE MANHOLE DETAIL



STANDARD MANHOLE DETAILS

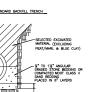


PRE-CAST LOW HEAD MANHOLE DETAIL NO SCALE

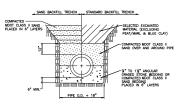




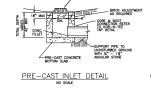
END SECTION AND BAR SCREEN DETAIL



CLASS "B" BEDDING TRENCH DETAIL FOR 27" DIAMETER AND LARGER CONCRETE PIPE



CLASS "B" BEDDING TRENCH DETAIL FOR 24" DIAMETER AND SMALLER CONCRETE PIPE



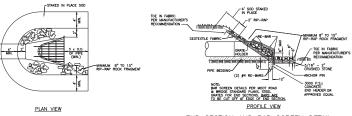


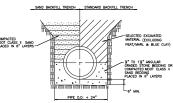
LETTERED MANHOLE COVER FOR WRC



STORM DRAIN NOTES AND DETAILS

| | VISION BLOCK | | | | |
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| w. | Rev. | Rev. | Descriptors | | |
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| 1 | н | 313.99 | | N. CHANGES / NEW LOCK | |
| 2 | E | | APPROVAL PER STANDARDS COMMETTEE | | |
| 3 | H 03/09/10 RENERSO SHI COVER DETAY. | | | | |
| DS 042710 RENESD CENERAL NOTES | | | | | |
| PRIG DATE: | | ATE; | 05/05/97 | | ONE PUBLIC WORKS DRIVE BLDG 95 WEST |
| CALE: | | | NONE | MAKC | WATERFORD, MICHIGAN
48328-1907 |
| ESIGNED BY: | | ED BY; | WRC | | SHEET NO. |
| RAWN BY; | | BY; | Mapping | The second second | 1 of 1 |





GENERAL NOTES

- Type and class of pipe shall be as specified on plans.
- Class "B" bedding shall be used throughout, unless otherwise specified on the plan.
- Standard rip-rap shall be 8"-15" fragmented rock, heavy rip-rap shall be 16"-24" fragmented rock. (No Broken Co
- MANHOLE REQUIREMENTS:
- to Asiak U-4/a specinications.
 All new cotch bosins, inlets, and manholes shall have WRC approved flexible, watertight seals where pipes pass through wal Manholes shall be of precast sections with modified groove tangue and nubber gasket type joints. Per cast manhole consections shall be WRC approved modified ecentric cone type.
- prohibited unless otherwise approved.

 Morhole steps to be plastic cooled steel meeting the requirements in ASTM D 2146, Type II, Grade 49108, MA. Industries P.S.I. Polypropylene, (or approved equal). Steps to be installed during manhole manufactur Place at 16° centers 45° from centerline of sewer.
- Cone section with modified groove tongue joints and with stud inserts cast in place. Top to have flush surface.
- ASTM C-478 riser section with modified groove tongue joints.
- Res-seal, link-seal, press wedge II, or kor-n-seal boot (with stainless steel korband) flexible rubber manhole joints. (or approved equal).
- The inside joints of manholes, catch basins, and pipe sizes over 42" and larger in diameter shall be pointed up with mortar upon completi of backfilling.

CONCRETE PIPE REQUIREMENTS:

- JAMMASIL PITC INSURPRIENTS

 Concrete pipe to be per ASTM C76 standards.

 The Barriage and Concrete pipe to be per ASTM C76 standards.

 The Barriage and provide processor consistence pipe as specified on the pipe pipe. The provide pipe consistence pipe consisten
- SUMP PUMP LEAD REQUIREMENTS:

 All sump pump leads connected to a County Drain pipe pre-manufactured.

- pre-manufactured.
 Sump pump loads connected to a manhole shall be cored and booted. Refer to Kort-N-Tee Tag Detail.
 Sump pump minis and leads shall be
 ABS (1128 and sold wall), PVC (11148, solid wall , A2000),
 ASS (1128 Will with premium joints.

- Ends of all 4" sump pump leads shall be temporarily capped and their location staked, witnessed and recorded.
- All sump pump leads to be taken to the property line, easement line or as indicated on the plan.
- Sump pump mains must have a cleanout with a minimum inside diameter of 24" and be constructed at changes of alignment, ends of sump pump mains or as indicated on the plan.

- All disturbed area within the County Drain right-of-way shall be restored as follows:
- be restored as follows: Under roots, sitespain, driversy and porting oress, boddfill moterial shall be pieced loosely into fresches in Sk (5) with layers with each layer by the control of the control o

Slopes and Ditch, M.D.O.T. "Roadside Mix"
Banks, Etc.
Turf Seed Mixture TGM
(10% Kentucky Blue, 20%
Perennial Rye, 30% Hard
Fascue, 40% Creeping Red
Fascue) applied at 220 lb/acre M.D.O.T. Seeding and Sodding Fertilizers, Class A

M.D.O.T. Roadside Mix Turf Seed Mixture THM (30% Kentucky Blue, 20% Perennial Rye, 50% Creeping Red Fescue) applied at 220 lb/acre

- Sod is required in maintained lawn areas, Refer to WRC General Specifications for additional requirements and information apply strow or marsh hay mulch in an air-day condition to all areas over the surface to a uniform thickness at 2 tons/acre.
- mulch shall be enchored in Jace with biodegradable netting, not larger than 1½° by 2° nor smaller than ½° by ½°. The contractor shall be responsible to insure the growth of all seeded areas, and shall re-seed as necessary to accomplish this.
- The Storm Drain Notes and Details Sheet shall be a supplement to WRC Standards and Specifications, which are available on the WRC website (www.oskow.com/water).



117 NORTH FIRST STREET SUITE 70

ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 14, 2025 March 28, 2025 Revised:

Revised: May 5, 2025

Site Plan and Special Use Review For City of Berkley, Michigan

Applicant: Selwan Shina

Project Name: Mug & Jug

Plan Date: January 14, 2025 Revised: March 19, 2025 Revised: April 23, 2025

Location: 4162 W Twelve Mile Road

Zoning: **Gateway District**

Action Requested: Site Plan and Special Use Approval

SITE DESCRIPTION

The applicant is proposing the redevelopment of an existing 0.8-acre site to introduce an automobile filling station with associated restaurant and convenience store. The proposed redevelopment includes renovating much of the existing Mug & Jug liquor store building and removing the adjacent buildings to create one large combination restaurant/convenience store with a combined area of 6,734 square feet. The restaurant and convenience/retail store uses are permitted by right in the Gateway District, and the automobile service station use requires special use approval. The subject property includes three (3) different parcels which the applicant proposes combining into one (1) subject parcel.

The subject property is also located in the Downtown Development Authority area, Character Area 1: Gateway West. The Berkley Downtown Design Guidelines establish design principles and concepts that should be considered when developing or redeveloping projects within the DDA boundary. The site plan, in general, includes design concepts and principles compatible with the Downtown Design Guidelines. Areas of deficiency are identified in this report.

Proposed Uses of Subject Parcels:

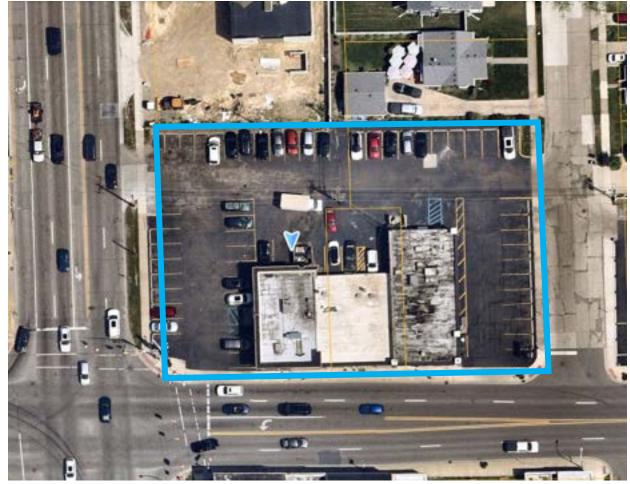
Automobile service station, restaurant/convenience store

Current Use of Subject Parcels:

Mug & Jug liquor store and three (3) commercial tenant spaces, including clothing store, plumber's office, and Berkley Coney Island.

The property is located in the Gateway District at the entry point of the City of Berkley on the major intersection of Twelve Mile and Greenfield Roads. The intent of the Gateway District is to enhance these important landmark locations and provide convenience services and shopping opportunities for the community, particularly the adjacent residential neighborhoods.

Figure 1. Aerial view of subject site and vicinity.



Source: Nearmap

Table 1. Surrounding Property Details.

| Direction | Zoning | Use |
|------------------------|---|--------------------------------|
| North | Greenfield District | Single family homes |
| South Gateway District | | Retail |
| West | Southfield, General Business | Retail |
| East | Greenfield District, Twelve Mile District | Restaurant, single family home |

Items to be addressed: None.

NATURAL FEATURES

The site is currently developed with buildings and impervious asphalt surfaces. No new impervious surface is proposed as part of the development, and no trees are proposed for removal as part of the demolition plan.

Items to be addressed: None.

BUILDING ARRANGEMENT AND SITE DESIGN

The subject property is situated on the northeast corner of Greenfield Road and Twelve Mile Road. The existing buildings are situated right at the sidewalk along Twelve Mile Road with zero setbacks, and the parking area is situated in a U-shape around the buildings on the north, east, and west sides. The existing buildings are connected to one another and include customer entrances on the south, west, and east building sides.

The redevelopment proposes the removal of the middle building and western building while maintaining the existing north, south, and east walls of the Mug & Jug store. The interior of the Mug & Jug store will be remodeled and then combined with the proposed building addition. A fuel canopy is proposed along the western portion of the site, in the location of the existing drive aisle. The canopy includes four (4) pump islands with spaces for eight (8) vehicles. The proposed redevelopment will remove the customer building entrances from the south side along Twelve Mile Road. The primary customer entrance is proposed on the west elevation, facing the proposed fuel canopy.

Most of the existing perpendicular parking spaces along the eastern property line will remain, along with much of the parking along the northern property line. New parking spaces will surround the new building to the north and west.

Items to be addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Section 138-526 establishes the dimensional requirements for structures in the Gateway District. When the parcels are combined, the resulting parcel will front Twelve Mile Road, Greenfield Road, and Ellwood Avenue. According to the definitions in the Zoning Ordinance, this renders the resulting parcel both a corner lot and a double frontage lot, since it has frontage on both parallel streets and perpendicular streets. As such, the front lot line will be along Twelve Mile Road, the rear lot line will be the property line opposite Twelve Mile Road (the north lot line), and the remaining lot lines along Greenfield Road (west) and Ellwood Avenue (east) will be considered the side lot lines.

Table 2. Dimensional requirements

| | Required Provided | | Compliance | |
|--|---|--|------------|--|
| Minimum Front
Setback (south) | 10' or equal to setback of adjacent buildings, whichever less | 0' – in line with existing Mug
& Jug | Complies | |
| Minimum Side
Setback (east and
west) | 0' | 5' on east side (trash enclosure) Complies 24' on west side (canopy) | | |
| Minimum Rear
Setback (north) | 10' | 10' >30' Comple 40' Building: 22' Canopy: 16' Comple | | |
| Maximum Building
Height | 40' | | | |

Items to be addressed: None

TRASH ENCLOSURE

A 100-square-foot trash enclosure is proposed south of the Ellwood Avenue entrance in the side yard. The enclosure doors face northwest toward the parking lot. Section 138-53 requires accessory structures to be erected in the rear yard only, but the proposed trash enclosure is located in the side yard. Sheet C-3 indicates that the applicant intends to seek a variance from the restrictions that only permit accessory structures in the side yard. Section 138-55 requires accessory structures to be located at least five (5) feet from the side lot line; the revised site plan complies with this standard.

Items to be addressed: Applicant must modify proposed trash enclosure placement to comply with Sections 138-53 or obtain a variance from the Zoning Board of Appeals.

PARKING

Section 138-219 indicates parking requirements for most uses in the City of Berkley. The site plan shows the total area of the existing building and the proposed building addition at

6,734 square feet. Of that total area, 702 square feet will be dedicated to the restaurant use with the remainder, including the existing Mug & Jug liquor store, used for convenience store use.

Table 3. Parking requirements

| Parking Standard | Required | Provided |
|---|---|-----------------------|
| Gas station with convenience store: 6 spaces per 1,000 square feet of usable floor area + 1 space per pump + 2 spaces | (70% x 6,032 square feet) / 1,000 x
6 = 25.33
+ 8 pumps + 2 spaces
= 35 spaces | 45 spaces |
| Restaurant (carry-out): 1 space per 75 square feet of usable floor area | (70% x 702 square feet) / 75 = 6.552
7 spaces | |
| TOTAL | 42 spaces | |
| Barrier free spaces: 2 spaces required for parking lot with 26-50 parking spaces | 2 barrier free spaces | 2 barrier free spaces |

Sheet C-3 indicates that all standard parking spaces will be twenty (20) feet long and nine (9) feet wide, in compliance with Section 128-220(a) regulating parking space dimensions. The barrier free spaces will be eight (8) feet wide, in compliance with ADA requirements. No loading spaces are shown on the plan, nor are any required. Two (2) parking spaces south of the proposed trash enclosure include EV charging stations.

Items to be addressed: None.

SITE ACCESS AND CIRCULATION

The proposed development offers customer access from the west and south sides of the building, with an emergency exit on the north side of the building.

The site redevelopment proposes continuing the use of the four (4) existing driveways on the property but with slight modifications. The four (4) existing driveways have full, two-way movement. The site plan proposes maintaining full, two-way movement of the two (2) driveways on the east side of the property – one along Ellwood Avenue and one along Twelve Mile Road. The site plan further proposes altering the movement of the two (2) driveways on the west side of the property to a right-turn-only egress and full movement ingress. The site plan indicates that the western driveway from Twelve Mile Road will be relocated to the east roughly 20 feet to a new distance of 62.1 feet from the southwestern property corner. Mountable curb islands are proposed at these two (2) driveways to restrict left turns, as shown on Sheet C-3. Painted white arrows are shown on the asphalt to show traffic directions.

As discussed further in the "Automobile Service Stations" section of this report, the southeastern driveway along Twelve Mile Road is noncompliant with the standards for automobile service stations. With three (3) other driveways on site, we recommend removing this access drive entirely, as there is no room to relocate it further from the intersection of Ellwood Avenue and Twelve Mile Road. The applicant's March 19, 2025, and April 23, 2025, response letters indicate that they will be requesting a variance from this requirement from the Zoning Board of Appeals .

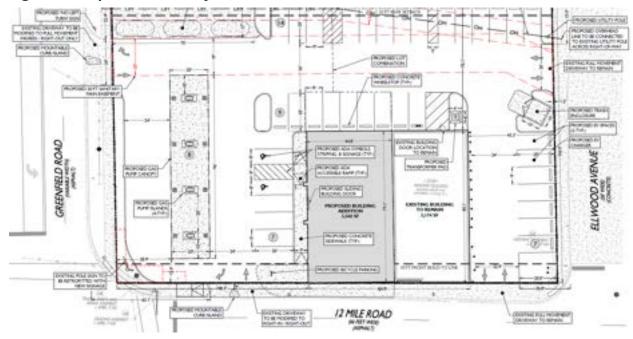


Figure 2. Proposed driveway modifications.

There are existing sidewalks along Twelve Mile Road, Greenfield Road, and Ellwood Avenue surrounding the property. A concrete sidewalk is proposed on the west side of the new building addition.

A bus stop for the 415 smart bus line is located at the northwest corner of the subject site. The site plan proposes a bench and trash receptacle on the subject property, next to the existing bus stop sign, reflecting master plan placemaking goals for the Gateway corridors.

The site plan includes a circulation map on Sheet C-3, indicating how a fuel truck, fire truck, and trash truck will access the site by using the two (2) northern driveways off Ellwood Avenue and Greenfield Road. No large truck access is offered on the southern portion of the property that fronts Twelve Mile Road.

Items to be addressed: Applicant must remove the southeastern driveway from Twelve Mile Road, as discussed in the "Site Access and Circulation" and "Special Use Considerations" sections of this report, or receive a variance.

LANDSCAPING AND SCREENING

Section 138-85(c)3 requires a screen wall at least six (6) feet in height when non-residential properties abut residential properties. The properties to the north of the subject site are residential. There is an existing brick wall along this property line, which is proposed to remain. Sheet C-3 of the site plan indicates that the entire existing screen wall will be increased to a minimum of six (6) feet. This note on the site plan includes some ambiguity regarding this change to the existing screen wall. The note should be revised and elevations provided to indicate the look of the screen wall and how it will meet the height requirements of Section 138-85(c)9, which requires a lower maximum height of four (4) feet, eight (8) inches in the front yard. The Planning Commission may issue a waiver of this requirement if deemed appropriate. Furthermore, we recommend that the existing wall be inspected by the Building Department to ensure that it has adequate support, per the requirements of Section 138-85(a)3.





A landscaping plan is included on Sheet C-8, showing details of 20 proposed evergreen trees, one (1) proposed deciduous street tree along Twelve Mile Road, and 38 proposed deciduous and evergreen shrubs. The evergreen trees are situated around the proposed trash enclosure on the east side of the property. The shrubs are situated to the north of the existing building, along the western property line, and in the southeastern property corner.

As set forth in Section 130-37, when reviewing a site plan, the Planning Commission may require trees to be planted on or near the site consistent with the elements of the adopted city master plan. The Master Plan indicates that the Gateway corridors can be improved through placemaking strategies including streetscape improvements. The Downtown Design Guidelines further indicates how site design should improve pedestrian connections

and provide active outdoor spaces through strategies that include urban streetscape design and landscaping. As such, we recommend that the landscaping plan be amended to include additional street trees along Twelve Mile Road. The area designated for pavement between the proposed bicycle parking and the building can be modified to include landscaping. Furthermore, we recommend that the existing southeastern driveway from Twelve Mile Road, which does not comply with the standards for Automobile Service Stations, be replaced with landscaping.

The existing Mug & Jug store includes an ADA parking space to the east of the rear door; the site plan proposes a 54-square-foot transformer pad in this location as part of a landscape island that offers screening from the east and north. Section 138-73 establishes location standards for exterior appliances, including required opaque screening or landscaping at least four (4) feet in height on at least three (3) sides. The landscaping plan proposes nine (9) juniper trees that are at least six (6) feet in height.

Items to be addressed: (1) Applicant must provide exact height and elevations of proposed modified screen wall. (2) We recommend Building Department verification that the existing screen wall complies with Section 138-85(a)3. (3) Planning Commission may consider requesting that the applicant modify the landscaping plan to improve the Twelve Mile Road streetscape, as discussed in this report.

PHOTOMETRICS

The site plan includes a lighting plan with photometric map on Sheet C-7. There are three (3) pole mounted lights shown, mounted at fifteen (15) feet, next to the parking spaces along the northern property line. Twelve (12) wall sconces are shown around the perimeter of the proposed building addition, the existing Mug & Jug building, and the fuel canopy. The proposed wall sconces on the building are mounted at twelve (12) feet, and the proposed wall sconces on the fuel canopy are mounted at fifteen (15) feet. There are also three (3) soffit lights under the fuel canopy, mounted at fourteen (14) feet. All lights appear to be downward directed and fully shielded.

The photometric map shows illumination reaching 0.5 footcandles along the northern property line and 1.0 footcandle along the southern, eastern, and western property lines.

The Downtown Design Guidelines indicate that projects should minimize the visual impacts of architectural lighting on neighboring properties. This could include using a color temperature similar to daylight, using lights with a low level of luminescence and maintaining lights to prevent light trespass onto neighboring properties or rights-of-way. Sheet C-7 indicates that the proposed color temperature is 3,000 Kelvin, which is considered "warm white". The applicant should also consider replacing the proposed polemounted lights with wall sconces that are mounted on the brick wall along the north property line in order to reduce the impact on the neighboring residences.

Mug & Jug Site Plan and Special Use Review May 5, 2025

Items to be addressed: Applicant should consider replacing the proposed pole-mounted lights with wall sconces along the north property line screening wall.

BICYCLE PARKING

One bicycle hoop with space for two (2) bicycles is shown to the east of the eastern Twelve Mile Road driveway. The hoop is just under three (3) feet in height.

Items to be addressed: None.

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations are included on Sheets A-0.1, A-1.1,- A-0.15, and A-2.4. These details indicate that the convenience store will include shelves for merchandise, two (2) single-user restrooms, storage room, a walk-in cooler and beer cave, small office, and service counter. A 702 square foot, enclosed room is proposed for food service; details of this room are not provided, but we assume it is for a kitchen.

Previous site plan submissions included an Exterior Material Finish Schedule and Notes. This sheet was omitted from the more recent site plan submission. The elevations indicate a predominantly masonry façade with fiber cement board to offer some façade articulation as well as aluminum framing and windows. Tinted glass does not meet the definition in the Zoning Ordinance of a window, which requires that "both sides of the glass are readily made transparent."

The floor plans indicate that the windows are provided in the customer/store area, behind the service counter, and in the beer cave.

Section 138-432 requires first floor elevations that front a street to have windows be between 40 percent and 80 percent of the facade. This requirement only applies to the south elevation that faces Twelve Mile Road. The elevations propose the following transparency levels:

South: 8.9%West: 43.7%North: 9.8%East: 7.7%

The South elevation is, therefore, not compliant with the transparency standard of Section 138-432. Section 138-432 further requires that the south elevation that fronts Twelve Mile Road contains an entrance to the building. Additionally, the Downtown Design Guidelines indicate that buildings should provide an active street edge, including a large storefront and pedestrian-oriented design, and should orient the functional entrance of buildings to face the street rather than the parking lot. The revised site plan added a secondary pedestrian

Mug & Jug Site Plan and Special Use Review May 5, 2025

entrance to the south elevation, but the primary entrance remains on the proposed west elevation facing the parking lot.

The applicant can consider rotating the building plan 90 degrees such that the primary building entrance – depicted on the "West Elevation" on Sheet A-2.1 – fronts Twelve Mile Road. An interior reconfiguration could also ensure that windows and primary entrance are placed in areas where transparency would be most appropriate. The Planning Commission may revise the requirements of Section 138-432 when it finds that the proposal meets the standards for site plan approval.

The elevations of the fuel canopy indicate an overall height of 18.5 feet, with a steel structure and pillars faced with masonry façade.

Items to be addressed: (1) Applicant must include Exterior Material Finish Schedule and Notes. (2) Applicant must amend transparency levels of south elevation to comply with Section 138-432 or receive a waiver from the Planning Commission. (3) Applicant should consider rotating the building 90 degrees such that the primary entrance fronts Twelve Mile Road, in conformance with the Downtown Design Guidelines.

SIGNS

The proposed elevations indicate that signs are proposed on the south, west, and east building facades. Sheet C-3 indicates that the existing pole sign on the southwestern property corner will be retrofitted.

Items to be addressed: Sign permits applications must be submitted for all signs prior to installation, in compliance with Chapter 94 of the Berkley Code of Ordinances.

AUTOMBILE SERVICE STATIONS

Special use approval shall be granted for automobile service stations which comply with the following site development standards:

(1) An automobile filling and service station shall not be located nearer than 500 feet to a school, church, public park or auditorium.

CWA Response: The nearest school, church, public park, or auditorium is the Christ the Good Sheperd Old Catholic Church, which is over 500 feet from the subject property. This standard is met.

(2) The minimum site size shall be 15,000 square feet, and, in addition, gasoline filling and service stations shall have 500 square feet of site area for each additional pump over 4, and 1,000 square feet of site area for each additional service bay over 2.

CWA Response: The subject site is 34,638 square feet. The gasoline filling canopy has four (4) fuel pumps and is 1,920 square feet. This standard is met.

(3) The minimum site width shall be 130 feet.

CWA Response: The site width is 150 feet. This standard is met.

(4) All points of entrance or exit for motor vehicles shall be no closer than 30 feet from the intersection of the right-of-way lines proposed in the city's land use plan for those streets on which it fronts. Points of entrance or exit for motor vehicles shall be no closer than 20 feet from any adjacent property line. The minimum driveway width at the curbline shall be 22 feet and the maximum driveway width at the curbline shall be 30 feet. The minimum width of access drive shall be 16 feet. The angle of intersection of the centerline of any driveway with the centerline of the street shall not be less than 60 degrees, unless separated acceleration and deceleration lanes are provided.

CWA Response: The eastern driveway off Twelve Mile Road is 26.8 feet from the intersection of Twelve Mile Road and Ellwood Avenue; this does not meet the 30-foot standard. All other driveways meet the standard.

The northwest driveway is 22.4 feet from the adjacent property, and the northeast driveway is twenty-five 25 feet from the adjacent property. The southeastern driveway is 22.9 feet wide, and the other three driveways are 24 feet wide. This standard is met.

The interior access drives vary in width from 19 feet to 26 feet. This standard is met.

The angles between the centerline of the driveways and centerline of the streets are all 90 degrees. This standard is met.

(5) All equipment including hydraulic hoist, pits and oil lubrication, greasing and automobile washing, repairing equipment and body repair shall be entirely enclosed within a building. There shall be no outdoor storage of merchandise such as tires, lubricants and other accessory equipment except that outdoor trash storage may be provided in a properly screened container consisting of a brick masonry wall at least 6 feet high with a sturdy, 100% view-obscuring gate.

CWA Response: No exterior work or outdoor storage of merchandise is proposed. This standard is met.

(6) All activities, except those required to be performed at the fuel pump shall be carried on inside a building. All vehicles upon which work is performed shall be located entirely within a building.

CWA Response: No outside activities are proposed except for fuel pumping. This standard is met.

(7) There shall be no aboveground tanks for the storage of gasoline, liquefied petroleum gas, oil or other inflammable liquids or gas.

CWA Response: No aboveground storage is proposed. This standard is met.

(8) The automobile service station shall provide one parking space for each person employed at the station during any given period of the day. Each required parking space shall be no less than 200 square feet in area. No outdoor storage or parking of vehicles other than those used by employees while on duty.

CWA Response: As indicated in the "Parking" section of this report, there are three (3) parking spaces in excess of what is required by the standards set forth in Section 138-219.

Items to be addressed: Applicant must remove the southeastern driveway from Twelve Mile Road or obtain a variance.

SPECIAL USE CONSIDERATIONS

Special use approval for the proposed automobile service station requires a public hearing, notice of which must be given in accordance with the Michigan Zoning Enabling Act. All special use applications must be reviewed by the Planning Commission and City Council and approved upon finding that the following standards are met. We offer some suggested findings and recommend that the Planning Commission discuss these standards prior to any action.

(1) The proposed use will promote the use of land in a socially and economically desirable manner.

CWA Response: The application does not include a discussion of the proposed gas station operations. The Planning Commission can request further information from the applicant to determine if this standard is met.

(2) The proposed use is necessary for the public convenience at that location.

CWA Response: The nearest gas station on Twelve Mile Road roughly 0.4 miles east of the subject site. The nearest gas station on Greenfield Road is roughly 1 mile north of the subject site. Both of these gas stations, along with the proposed gas station, are small, convenience-style corner gas stations that are arranged to quickly serve local community members rather than draw from a broader geographic area. It is unclear whether there is demand for an additional gas station in this area.

(3) The proposed use is compatible with adjacent land uses.

CWA Response: The surrounding uses include small retail, restaurants, and residences, which are typically complementary to a small gas station.

(4) The proposed use is designed so that the public health, safety and welfare shall be protected.

CWA Response: Several modifications to the site plan design – as well as additional site plan details – are required to meet the standards of the Zoning Ordinance, which is intended to preserve the public health, safety, and welfare. This includes site changes or clarifications to site access, building elevations, landscaping and screening, lighting, and dimensional standards. By addressing these site plan deficiencies, as described throughout this report, this standard may be met.

(5) The proposed use will not cause injury to other property in the neighborhood.

CWA Response: If compliant with all local, state, and federal laws, this standard will be met.

Items to be addressed: (1) Applicant must amend eastern driveway off Twelve Mile Road to comply with the 30-foot standard or obtain a variance. (2) Applicant must provide a complete and compliant site plan. (3) Planning Commission review of the proposed special use application through the lens of the five (5) special use standards.

RECOMMENDATIONS

Special use approval for the proposed automobile service station may only be granted if the site plan demonstrates compliance with the standards indicated in the preceding section of this report. The eastern driveway off Twelve Mile Road is 26.8 feet from the intersection of Twelve Mile Road and Ellwood Avenue; this does not meet the 30-foot standard. The Planning Commission must not grant special use approval until this item is addressed.

Further, although the site plan is compliant with many of the requirements of the Zoning Ordinance, there are some deficiencies that the applicant must address prior to site plan approval.

- 1. Applicant must modify proposed trash enclosure placement to comply with Section 138-53 or obtain a variance from the Zoning Board of Appeals.
- 2. Applicant must remove the southeastern driveway from Twelve Mile Road, as discussed in the "Site Access and Circulation" and "Special Use Considerations" sections of this report or obtain a variance.
- 3. Applicant must provide exact height and elevations of proposed modified screen wall.
- 4. We recommend Building Department verification that the existing screen wall complies with Section 138-85(a)3.

Mug & Jug Site Plan and Special Use Review May 5, 2025

- 5. Applicant should consider replacing the proposed pole-mounted lights with wall sconces along the north property line screening wall.
- 6. Applicant must include Exterior Material Finish Schedule and Notes.
- 7. Applicant must amend transparency levels of south elevation to comply with Section 138-432. Applicant should consider rotating the building 90 degrees such that the primary entrance fronts Twelve Mile Road, in conformance with the Downtown Design Guidelines.
- 8. Sign permits applications must be submitted for all signs prior to installation, in compliance with Chapter 94 of the Berkley Code of Ordinances.

The Planning Commission should provide direction to the applicant on the following:

- 1. Modifications to landscaping plan to improve the Twelve Mile Road streetscape, as discussed in this report.
- 2. Modifications to the building orientation and architecture, as discussed in this report.
- 3. Possible waiver of screen wall requirements, as discussed in this report.
- 4. Possible waiver of transparency requirements, as discussed in this report.

Respectfully submitted,

CARLISLE/WORTMAN ASSOC., INC. Megan Masson-Minock, AICP

Megan Masson-Minock, AlCi

Principal

CARLISLE/WORTMAN ASSOC., INC.

Michelle Marin, AICP Community Planner

#354-2500

cc. Kristen Kapelanski, Community Development Director

Kim Anderson, Zoning Administrator



To: Kristen Kapelanski, Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)

Adam Woznaik, Public Works Superintendent (via email)

From: Shawn Young, Deputy City Manager for Public Services

Date: April 1st, 2025

Subject: 4162 Twelve Mile Rd "Mug and Jug"

We have reviewed the site plans provided by the Community Development Department on March 20th, 2025. I recommend approval for submission to the planning commission at this time. Additional information and plan review may be needed before construction permitting.

Feel free to call with any questions or concerns. Thank you.

555 Hulet Drive Bloomfield Hills, MI 48302-0360

248-454-6300

www.hrcengr.com



April 7, 2025

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attn: Kim Anderson, Zoning Administrator

Re: 4162 Twelve Mile Rd HRC Job No. 20250096

Engineering Site Plan - Review No.2

City of Berkley, Michigan

Dear Ms. Anderson:

In accordance with your request, as Consulting Engineers for the City of Berkley, our office has conducted a Site Plan review for the above referenced proposed development for compliance with the City of Berkley's engineering and site plan requirements. The plan was prepared by Stonefield of Birmingham, Michigan with a revision date of March 19, 2025. The scope of the project includes the demolition of two commercial buildings and the construction of a gas station and building addition to the west of the existing Mug & Jug. Per the City's standards and requirements for construction, we hereby offer the following comments:

General:

- 1. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. This item will be provided upon site plan approval and reviewed and approved by the City and their consultants prior to construction.
- 2. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road and Greenfield Road right-of ways as well as for construction signage. An RCOC permit will need to be submitted to and approved by RCOC prior to final engineering plan approval.
- 3. Existing sanitary leads and water services must be shown on the plans. The diameter and material of all existing and proposed storm and sanitary sewers and leads must be indicated. This item has been satisfactorily addressed.
- 4. Any work within the City and/or RCOC roadways will have to be replaced, in kind, or as per their requirements. The DPW must be contacted prior to the commencement of work within the right-of-way (ROW). This item has been acknowledged.
- 5. The extent of demolition and pavement modifications are unclear from the plans. A demolition plan will be required with removal quantities. The demolition plan must clearly define the limits of building and pavement removal, other site feature removals, and utility removal and/or abandonment. **This item has been satisfactorily addressed.**
- 6. Will the wall at the back of the existing property be maintained/protected during construction or is it proposed to be rehabilitated/replaced? A note has been added to the plans stating the existing wall is to remain and be protected throughout construction.



7. What is the plan for the existing parking bumper blocks on the site? Existing parking bumper blocks are to be removed and replaced with new parking blocks as needed. This should be noted on the plan, as it currently looks like all bumper blocks are proposed with none currently existing.

Storm Drainage and Detention/Sanitary Sewer:

- 8. A stormwater detention system must be added to the plan set and a geotechnical investigation must be performed in order to evaluate the system. The soil logs from that investigation must be shown on the plans, including the elevation of the groundwater table, soil types encountered, and the written report indicating the design recommendations or comments on the proposed stormwater collection system. Stormwater runoff calculations must be provided in accordance with the City's current Engineering Standards. Details for the proposed detention system should be shown on the plans. A stormwater detention system and supporting calculations have been added to the plans. A geotechnical investigation will need to be performed following site plan approval and soil logs will need to be provided prior to approval of the engineering plans to confirm constructability of the detention system.
- 9. The plans must show locations of all existing/proposed roof downspouts. Roof downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area (or directed through the new detention system) to prevent ponding of water on the property or from being directed towards adjacent properties. **This item has been satisfactorily addressed.**
- 10. The stormwater collection and sanitary sewer systems must have separate connections to the existing City combined sewer system, rather than combining the flows within the proposed site development. **This item has not yet been addressed.**
- 11. A profile view of all existing and proposed storm and sanitary sewers must be indicated on the plans. Profiles will be provided for detailed engineering review following site plan approval.
- 12. Detail sheets for the proposed storm and sanitary sewers must be provided with structures, covers, pipe requirements/cross sections and connection/tap details in accordance with City and County Standards. In addition, shop drawings for the said appurtenances will be required to be reviewed by the City and HRC. OCWRC storm and sanitary details have been added to the plans. Additional details will be provided during the detailed engineering review.
- 13. The developer will be required to complete a perpetuity maintenance agreement with the City for the proposed private stormwater systems. **This item has been acknowledged.**

Recommendation:

Based on our aforementioned comments, we recommend conceptual approval of the proposed Site Plan; however, the above items must be addressed in the engineering plans prior to final approval of the project.

If you have any questions or require any additional information, please contact our office.



Very truly yours,

HUBBELL, ROTH & CLARK, INC.

Edward D. Zmich

Civil Department Manager

EDZ/kab

pc: City of Berkley, Mr. Shawn Young, Ms. Danna Bauer, Ms. Kristen Kapelanski

HRC; R. Alix, K. Barauskas, File



City of Berkley Department of Public Safety

Justin DuLong, Fire Inspector



Date: January 27th, 2025

To: Stonefield Engineering and Design

555 S. Old Woodward Ave, Ste 12L

Birmingham, MI 48009

RE: 4162 Twelve Mile Rd.

Dear Concerned Parties,

I have received the proposed commercial redevelopment plans for the property at 4162 Twelve Mile Rd. For the purposes of the planning commission meeting these plans will suffice and are approved by the fire department only for the site plan review.

A life safety page that shows common path of travel, egress, exit signs, emergency lighting, fire extinguisher locations, and any fire suppression plans will need to be submitted in order for the project to go forward. In addition, for site plan C-2, Berkley's longest fire truck, Tower 4, is 42.71 ft in total length, the axle length is 21.08 ft, and the width is 8.42 ft. It appears that there will not be an issue in fire department access for the property with our largest truck.

Please let me know if you have any questions.

Fire Inspector Justin DuLong (W) 248-658-3397 (C) 248-953-0119 jdulong@berkleymi.gov

THE CITY OF BERKLEY Community Development Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC MEETING BERKLEY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN, in accordance with Section 138-656 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy, Berkley Michigan, on **Tuesday, May 27, 2025** at 7:00pm, or as near thereto as the matter may be reached.

APPLICATION PSU-01-25

Selwan Shina, 4162 Twelve Mile, 4150 Twelve Mile, 4138 Twelve Mile – Parcels 25-07-355-039, 25-07-355-038, 25-07-355-040 is requesting Special Land Use approval to construct a gas station/convenience store with accessory restaurant counter in the Gateway District.

Complete application information is available for review at https://berkleymi.gov/community-development-projects.

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Community Development Department or email to planning@berkleymi.gov before 5:00p.m on the date of the Planning Commission meeting.

You can watch the meeting: https://www.youtube.com/user/cityofberkley

KRISTEN KAPELANSKI COMMUNITY DEVELOPMENT DIRECTOR

THE CITY OF BERKLEY Community Development Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC MEETING BERKLEY PLANNING COMMISSION

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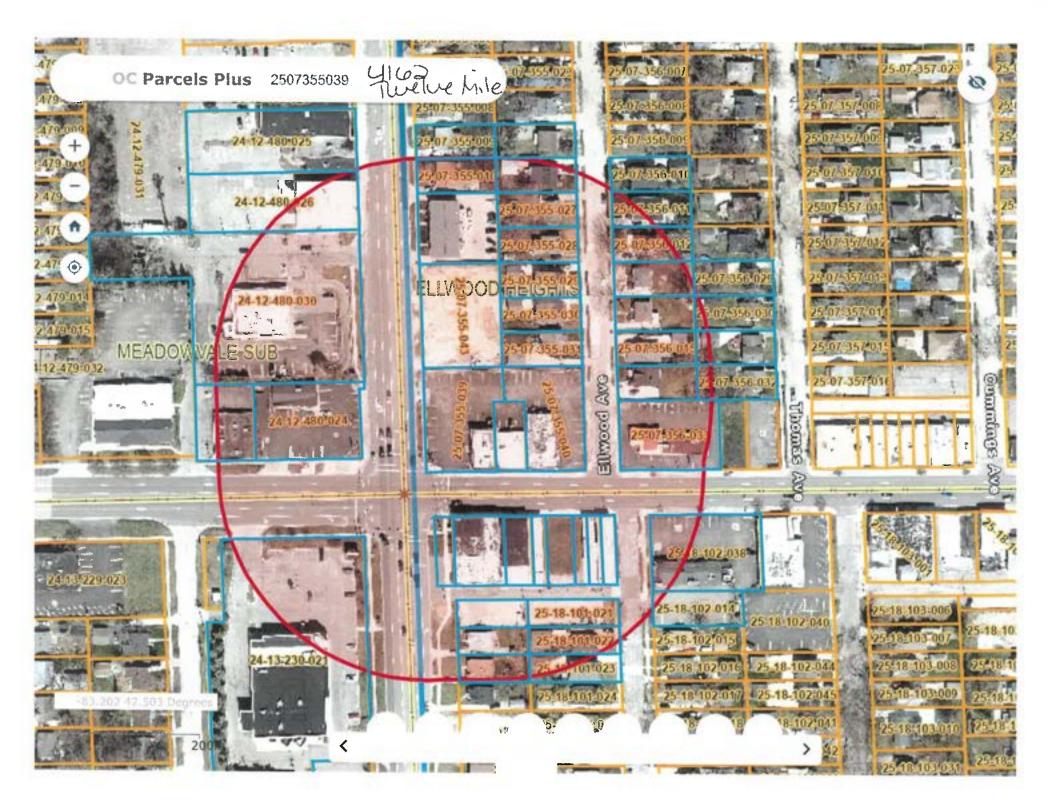
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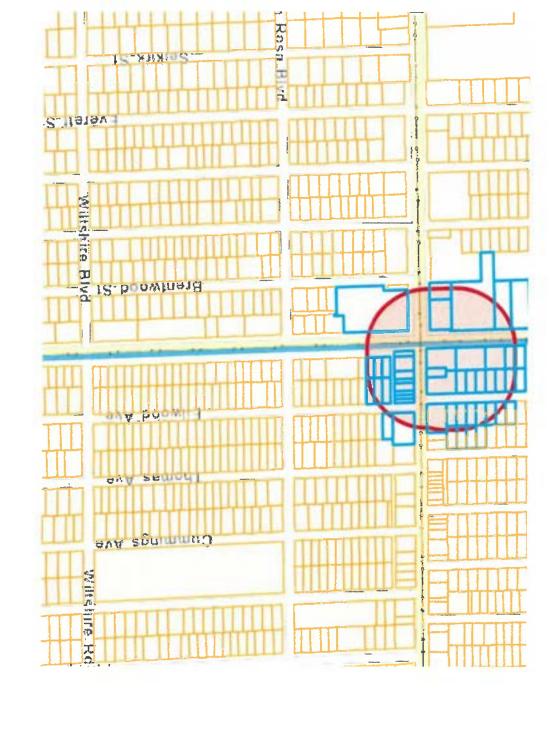
Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Community Development Department or email to planning@berkleymi.gov before 5:00p.m on the date of the Planning Commission meeting.

You can watch the meeting: https://www.youtube.com/user/cityofberkley

KRISTEN KAPELANSKI COMMUNITY DEVELOPMENT DIRECTOR

Publish Once: Royal Oak Tribune Friday, May 9, 2025







JAMES REED 3559 ELLWOOD AVE BERKLEY MI 48072 3119 DEVAN SHAMO 3524 ELLWOOD AVE BERKLEY MI 48072 3117 JOSIMAR FELICIO DA SILVA 3478 ELLWOOD AVE BERKLEY MI 48072 1130

BENJAMIN HIRCHE 3540 ELLWOOD AVE BERKLEY MI 48072 3117 MICHAEL C MOERMAN 3477 ELLWOOD AVE BERKLEY MI 48072 1129 ELIZABETH GLOVER 3506 ELLWOOD AVE BERKLEY MI 48072 3117

Occupant 29111 GREENFIELD RD SOUTHFIELD MI 48076 5831 Occupant 4129 12 MILE RD BERKLEY MI 48072 1121

Occupant 15556 W 12 MILE RD SOUTHFIELD MI 48076 3008

ABRO PLAZA SOUTHFIELD LLC 3807 BEECHCREST ROCHESTER HILLS MI 48309 3595 BATOOL KASSAB EXPRESS COLLISION 21470 COOLIDGE HWY OAK PARK MI 48237 3267 ABRO ELEVEN PROPERTY LLC 3807 BEECHCREST ROCHESTER MI 48309 3595

Occupant 3535 ELLWOOD AVE BERKLEY MI 48072 3119 PAULA ANDREA GRACE 3340 GREENFIELD RD BERKLEY MI 48072 3131 GEVALIN GEGAJ 4162 12 MILE RD BERKLEY MI 48072 1122

CRAIG PEARCE 47335 ANCHOR DR MACOMB MI 48044 5404 Occupant 3510 GREENFIELD RD BERKLEY MI 48072 3132

Occupant 3461 THOMAS AVE BERKLEY MI 48072 1142

EDWARD SOSNOSKI JR 3493 THOMAS AVE 8ERKLEY MI 48072 1142 GREENFIELD-BERKLEY LLC 21170 W 8 MILE RD STE 200 SOUTHFIELD MI 48075 5600 3461 THOMAS AVE LLC 5836 TROTTER LN WEST BLOOMFIELD MI 48322 1635

Occupant 29095 GREENFIELD RD SOUTHFIELD MI 48076 2225 Occupant 3494 ELLWOOD AVE BERKLEY MI 48072 1130

Occupant 29069 GREENFIELD RD SOUTHFIELD MI 48076 2225

ABRO PLAZA SOUTHFIELD LLC 3807 BEECHCREST ROCHESTER HILLS MI 48309 3595 RAMZI H AJO SR 67 PANAMA DR WATERFORD MI 48327 3666 TIM DONUT US INC PO BOX 460389 HOUSTON TX 77056 8389

EILEEN KRUSE 3541 ELLWOOD AVE BERKLEY MI 48072 3119

JARRETT SANDERS OLIVIA SANDERS 3493 ELLWOOD AVE BERKLEY MI 48072 1129 BROOKE KELTER 3477 THOMAS AVE BERKLEY MI 48072 1142



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STAPLES®

MARK A PENXA 3446 ELLWOOD AVE BERKLEY MI 48072 1130 WILLIAM SEAMAN PHYLLIS D YOUNG 3461 ELLWOOD AVE BERKLEY MI 48072 1129 NORTH GREEN TRUST 1359 DAVIS AVE BIRMINGHAM MI 48009 2075

Occupant 15526 W 12 MILE RD SOUTHFIELD MI 48076 3008

JACOB LEIDER JEFFREY S LEIDER 3445 THOMAS AVE BERKLEY MI 48072 1142 Occupant 4105 12 MILE RD BERKLEY MI 48072 1121

K & C DONUTS INC 37102 TURNBURRY DR LIVONIA MI 48152 4021

Occupant 4100 12 MILE RD BERKLEY MI 48072 3177 GLENN MARKOWICZ 22535 STATLER ST SAINT CLAIR SHORES MI 48081 2367

Occupant 4150 12 MILE RD BERKLEY MI 48072 1122 A & W OF BERKLEY 3830 RAVENA AVE ROYAL OAK MI 48073 6440

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RONNIE JAMIL WASIM JAMIL 4138 12 MILE RD BERKLEY MI 48072 1122

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GEZIM PLLUMAJ LIZE PLLUMAJ 42620 SILVERWOOD DR STERLING HEIGHTS MI 48314

JAMES DRAIN 3560 GREENFIELD RD BERKLEY MI 48072 3132

DONALD F MOORE 1900 HICKORY VALLEY RD MILFORD MI 48380 4278

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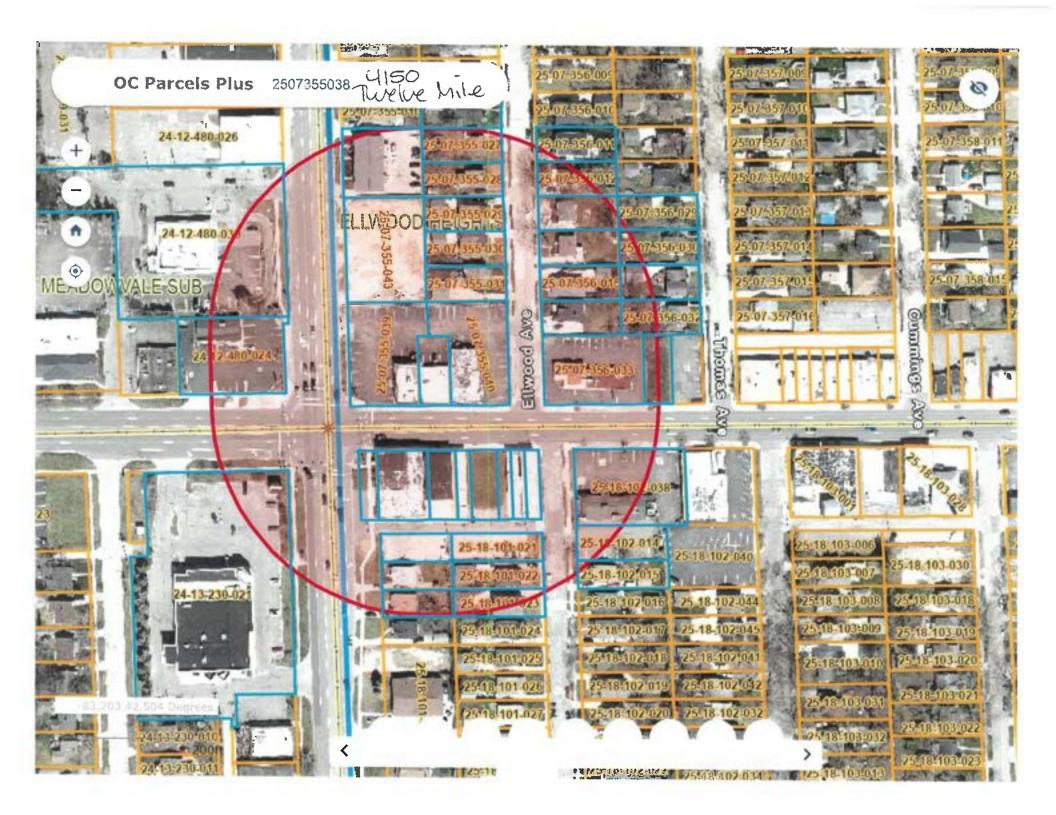
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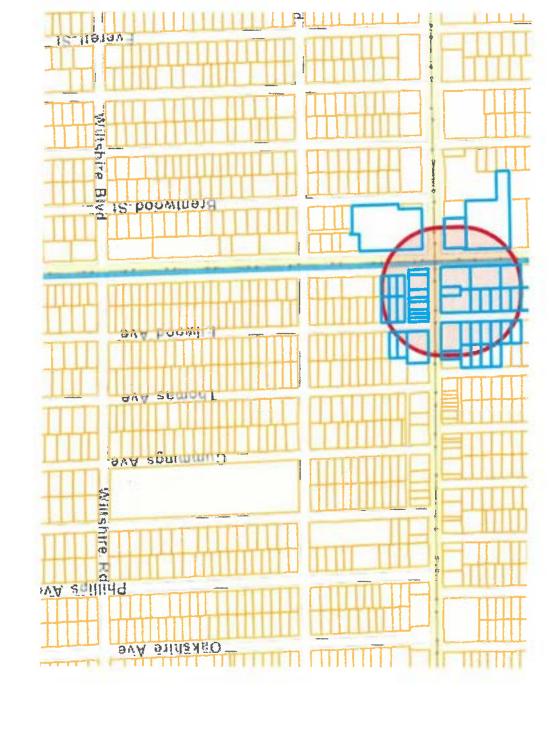
GREENFIELD PLACE LLC 1415 W FARNUM AVE # 5 ROYAL OAK MI 48067 1656

Occupant 28901 GREENFIELD RD SOUTHFIELD Mt 48076 7120

28901 GREENFIELD ROAD HOLDINGS LLC 900 19TH ST NW FL 8 WASHINGTON DC 20006 2105

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CRAIG PEARCE 47335 ANCHOR DR MACOMB MI 48044 5404 Occupant 3494 ELLWOOD AVE BERKLEY MI 48072 1130 A & W OF BERKLEY 3830 RAVENA AVE ROYAL OAK MI 48073 6440

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OLIVIA SANDERS
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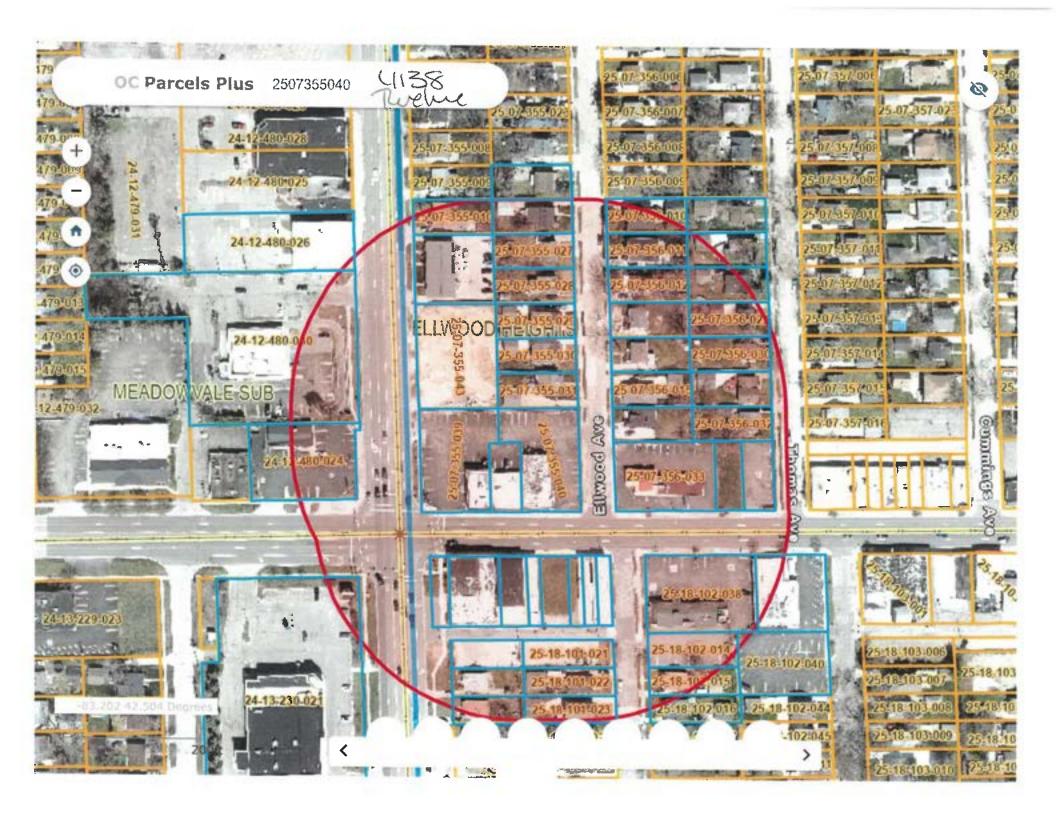
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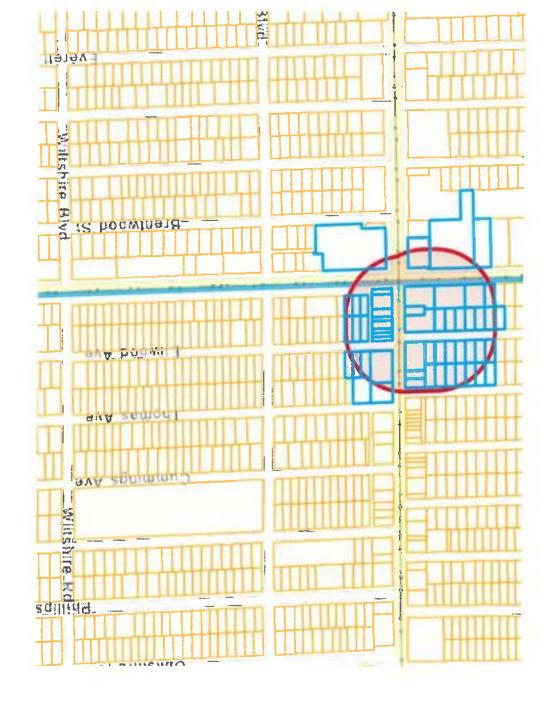
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BERKLEY GREEN LANTERN PROPERTIES L 4033 12 MILE RD BERKLEY MI 48072 1119

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8ERKLEY GREEN LANTERN PROPERTIES L 4033 12 MILE RD BERKLEY MI 48072 1119

MARK GRESNICK 3324 ELLWOOD AVE BERKLEY MI 48072 3115



STONEFIELD

May 19, 2025

Kim Anderson Zoning Administrator City of Berkley 3338 Coolidge Highway Berkley, MI 48072

RE: Site Plan & Special Use Review

Mug & Jug - Proposed Commercial Redevelopment Parcel ID: 2507355039, 250735508, & 2507355040 4162 Twelve Mile Road

City of Berkley, Oakland County, Michigan

Ms. Anderson:

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the Board's Resolution including comments contained within the latest Board Professional's review letters. Please find the following items enclosed:

| ITEM DESCRIPTION | DATED | COPIES | PREPARED BY |
|---|------------|--------|---------------------------------|
| Site Development Plans | 04-23-2025 | I | Stonefield Engineering & Design |
| Exterior Material Finish Schedule and Notes | 03-20-2025 | I | ADG Design Studio |

The following is an itemized response to the comments contained within the Carlisle Wortman Review Letter revised May 28, 2025. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

Recommendations

1. Applicant must modify proposed trash enclosure placement to comply with Section 138-53 or obtain a variance from the Zoning Board of Appeals.

As confirmed in email correspondence, we will be requesting a variance for the location of the trash enclosure following site plan approval.

2. Applicant must remove the southeastern driveway from Twelve Mile Road, as discussed in the "Site Access and Circulation" and "Special Use Considerations" sections of this report or obtain a variance.

As confirmed in email correspondence, we will be requesting a variance for the southeastern driveway from Twelve Mile Road following site plan approval.

3. Applicant must provide exact height and elevations of proposed modified screen wall.

A height of the modified screen wall is proposed to comply with Section 138-85(a)3. The elevation of the wall is proposed to remain as currently exists.

STONEFIELDENG.COM

STONEFIELD

Municipal Response Letter Mug & Jug – Proposed Commercial Redevelopment Berkley, Michigan May 19, 2025

4. We recommend Building Department verification that the existing screen wall complies with Section 138-85(a)3.

Noted.

5. Applicant should consider replacing the proposed pole-mounted lights with wall sconces along the north property line screening wall.

Noted.

6. Applicant must include Exterior Material Finish Schedule and Notes.

The exterior material finish schedule and notes have been provided. Please refer to the attached Exterior Material Finish and Schedule and Notes.

7. Applicant must amend transparency levels of south elevation to comply with Section 138-432. Applicant should consider rotating the building 90 degrees such that the primary entrance fronts Twelve Mile Road, in conformance with the Downtown Design Guidelines.

Noted.

8. Sign permits applications must be submitted for all signs prior to installation, in compliance with Chapter 94 of the Berkley Code of Ordinances.

Noted.

The Planning Commission should provide direction to the applicant on the following:

1. Modifications to landscaping plan to improve the Twelve Mile Road streetscape, as discussed in this report.

Noted.

2. Modifications to the building orientation and architecture, as discussed in this report.

Noted.

3. Possible waiver of screen wall requirements, as discussed in this report.

Noted.

4. Possible waiver of transparency requirements, as discussed in this report.

Noted.

STONEFIELD

Municipal Response Letter
Mug & Jug – Proposed Commercial Redevelopment
Berkley, Michigan
May 19, 2025

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,

Eric Williams, PE

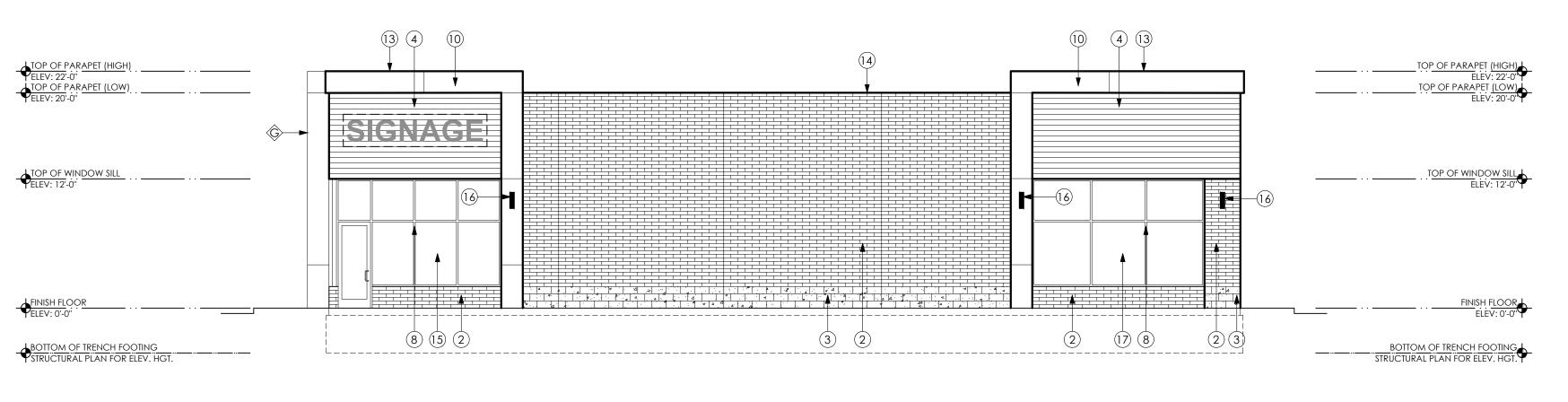
Stonefield Engineering and Design, LLC

William

Joe Delmotte

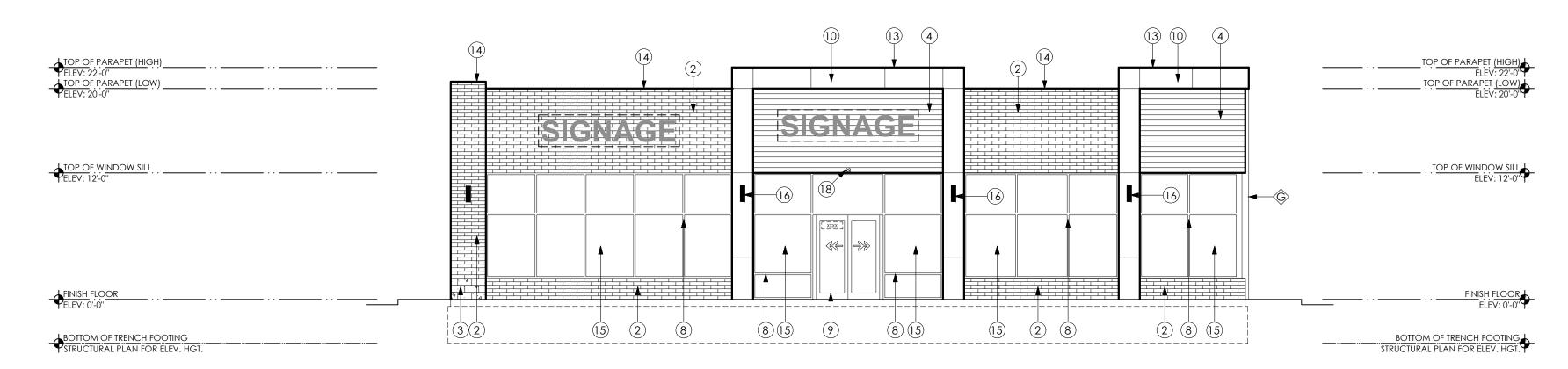
Stonefield Engineering and Design, LLC

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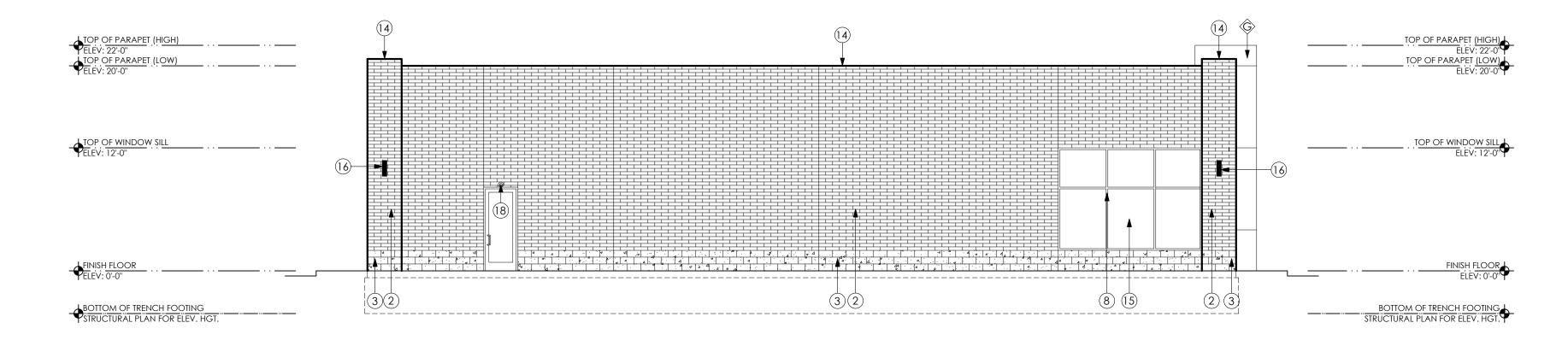
SOUTH ELEVATION (12 MILE ROAD VIEW)

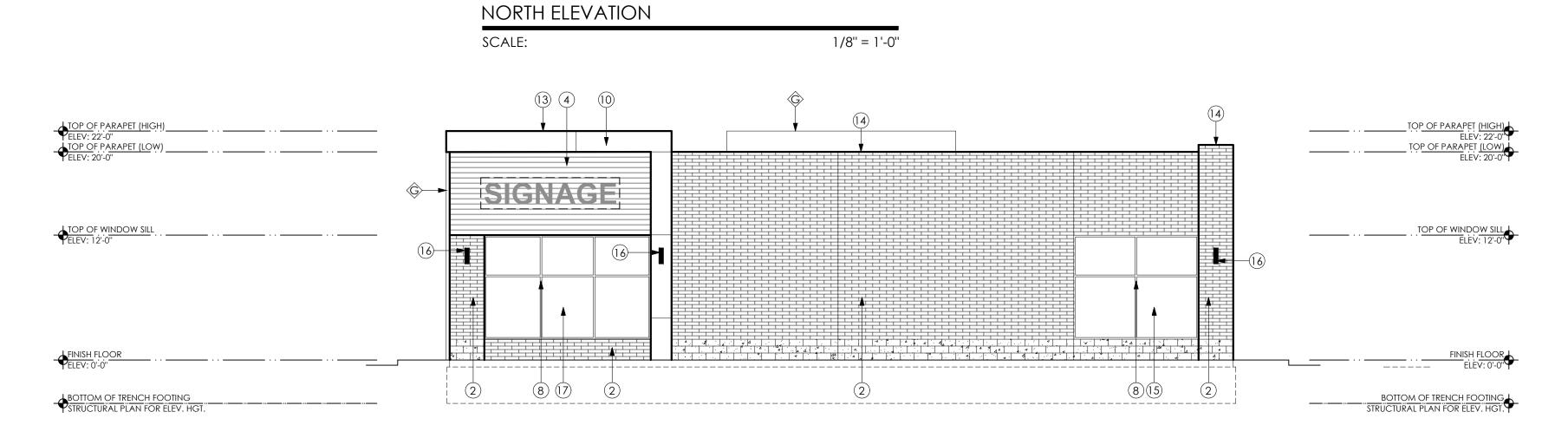
SCALE: 1/8" = 1'-0"



WEST ELEVATION (GREENFIELD ROAD VIEW)

SCALE: 1/8" = 1'-0"





SCALE: 1/8" = 1'-0"

| TAG | MATERIAL | MANUFACTURE | COLOR/ MODEL | SIZE | REMARKS/ NOTES |
|------|---|--------------------------------------|--|--|---|
| 1 | NOT USED | | | | |
| 2 | BURNISHED C-BRICK MASONRY UNIT - EXTERIOR
STRUCTURAL WALL W/ ACME SHIELD IWR | GRAND BLANC CEMENT PRODUCTS | BOARDMAN W/
97H SUPER BLACK GROUT | 12"D X 4"H X 16"W | CONTACT: RALPH (517) 927-3002
SEE MASONRY NOTES BELOW |
| 3 | SPLIT-FACE MASONRY UNIT - EXTERIOR
STRUCTURAL WALL W/ ACME SHIELD IWR | GRAND BLANC
CEMENT PRODUCTS | UNICORN;
STANDARD GREY GROUT | 12"D X 8"H X 16"W | CONTACT: RALPH (517) 927-3002
SEE MASONRY NOTES BELOW |
| 4 | FIBER CEMENT WALL SYSTEM ON MTL. STUD
FRAMING SYSTEM | NICHIHA FIBER CEMENT | VINTAGEWOOD;
CEDAR | 17 7/8" H X 119 5/16" L | CONTACT: NICHIHA
(866) 424-4421 |
| 5 | NOT USED | | | | |
| 6 | NOT USED | | | | |
| 7 | STOREFRONT TENANT DOOR ENTRY W/ 10"
HIGH BOTTOM RAIL | TUBELITE | CLEAR ANODIZED
ALUMINUM | SEE SHEET A-8.1 FOR DETAILS | SEE MFG. SPECIFICATIONS FOR DETAILS |
| 8 | CLEAR INSULATED GLASS IN ANODIZED ALUMINUM FRAME STOREFRONT SYSTEM | TUBELITE | CLEAR ANODIZED
ALUMINUM | SEE SHEET A-8.1 FOR DETAILS | SEE MFG. SPECIFICATIONS FOR DETAILS |
| 9 | STOREFRONT TENANT DOOR, AUTOMATIC DOORS, SELECTION BY OWNER | TUBELITE | CLEAR ANODIZED
ALUMINUM | SEE SHEET A-8.1 FOR DETAILS | SEE MFG. SPECIFICATIONS FOR DETAILS |
| 10 | ALUMINUM COMPOSITE PANEL SYSTEM "CLIP & CAULK" INSTALLATION | OMEGA PANEL PROD.
LAMINATORS INC. | SLATE, CAULK JOINT TO
MATCH MTL. PANEL | SEE ELEV. AND WALL SECTIONS FOR JOINTS | CONTACT: TOM OLSON
(734) 777-6788 |
| (11) | NOT USED | | | | |
| (12) | NOT USED | | | | |
| 13) | METAL COPING (TYP.) | PAC-CLAD | COLOR;
SLATE | | BY OAKLAND METAL SALES 248-377-8847
ADG TO APPROVE COLOR |
| 14) | METAL COPING (TYP.) | PAC-CLAD | COLOR;
MATTE BLACK | | BY OAKLAND METAL SALES 248-377-8847
ADG TO APPROVE COLOR |
| (15) | GLASS | VIRACON OR EQUAL | 1" CLEAR INSULATED
GLAZING | | GLASS TO BE TEMPERED PER MBC WHERE NEEDED. |
| 16) | EXTERIOR DECORATIVE WALL MOUNTED SCONCE | MAXIM LIGHTING | LIGHTRAY 6102/86102,
ARCHITECTURAL
BRONZE FINISH | 5"W X 15.75"H X 6.5"D | REFER TO ELECTRICAL PLAN FOR DETAILS |
| (17) | SPANDREL GLASS | VIRACON OR EQUAL | 1" CLEAR INSULATED
GLAZING | | GLASS TO BE TEMPERED PER MBC WHERE NEEDED. |
| (18) | WALL MOUNTED STAND ALONE LED EMERGENCY
LIGHTING | LITHONIA LIGHTING
AFFINITY SERIES | DARK BRONZE
METALLIC | LOCATE 12" ABOVE
DOOR. SEE SPECS | REFER TO ELECTRICAL PLAN FOR DETAILS |

MASONRY NOTES: INFORMATION PROVIDED BY SUPPLIER, CONTRACTOR TO COORDINATE INFORMATION W/ SUPPLIER.

1. FOR ALL BURNISHED MASONRY UNITS, PROVIDE PHYLON 1422, SERIESS G20 ACRYLIC, 1 COAT ACRYLIC APPLIED AT PLANT AND 1 COAT ACRYLIC APPLIED AT JOB SITE AFTER CLEANING BY THE PAINTING CONTRACTOR AND USE PAINT SPRAYER, NO AIR-LESS SPRAYER. CONTACT RON HUNT FOR ADDITIONAL INFO.

2. FOR ALL C-BRICK (SMOOTH-FACE)/ SPLITFACE MASONRY UNITS, PROVIDE PRIME-A-PELL PLUS WATER REPELLANT AT JOB SITE AFTER CLEANING BY THE PAINTING

BUILDING ELEVATION NOTES:

1. ADG SHALL REVIEW AND APPROVE ALL FINAL EXTERIOR MATERIALS AND COLOR FINISH SELECTIONS PRIOR TO PURCHASE/ FABRICATION. SUBMIT MATERIALS, COLOR FINISHES AND PRODUCT SAMPLES FOR APPROVAL.

2. ALL DOORS AND WINDOWS TO BE TEMPERED PER MBC. PROVIDE SAFETY GLAZING AS REQUIRED PER CODE.

3. FIELD MEASURE ALL STOREFRONT WINDOWS AND DOOR OPENINGS PRIOR TO FABRICATION. PROVIDE WINDOW SIZES BASED ON FIELD MEASUREMENTS TO FABRICATOR. FABRICATOR TO PROVIDE SHOP DWG'S TO ADG FOR REVIEW PRIOR TO FABRICATION.

4. ALL SIGNAGE SHALL COMPLY WITH CITY'S ORDINANCE AND SIGNAGE DETAILS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT IF NEEDED.

5. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND SHIELDED SO THAT LIGHT DOES NOT SHINE INTO THE ADVANCEMENT PROPERTY.

6. ALL FINISH GRADES/ SLOPES TO BE VERIFIED PER CIVIL ENGINEERING DRAWINGS IF PROVIDED.

7. ALL RTU TO BE FULLY SCREENED BY PARAPET. PROVIDE SCREENING IF NEEDED BY CONTRACTOR.

8. ADDITIONAL DOORS AND EXITING REQUIREMENTS WILL BE LOCATED TO MEET THE MBC EXIT REQUIREMENTS ONCE THE INDIVIDUAL TENANT LAYOUTS ARE KNOWN.

9. "M.C.J.": PROVIDE C-BRICK EXPANSION JOINTS AT 20'-0" O.C. SPACING MAX.

 $10.\ EXPANSION\ JOINTS\ COLOR\ TO\ MATCH\ C-BRICK/\ EIFS/\ ETC.\ PROVIDE\ SAMPLE\ TO\ ADG\ FOR\ APPROVAL.$

11. SEALANT; AS REQUIRED PER MBC. COLOR TO MATCH STOREFRONT/ MASONRY, PRODUCT BY TREMPCO

| | ELEVATION NOTES: | |
|----------|---|--|
| © | BACK SIDE OF ROOF PARAPET BEYOND ROOFING SYSTEM MEMBRANE EXPOSED. | |

ADG

DESIGN STUDIO

ADG DESIGN STUDIO 189 E. BIG BEAVER ROAD SUITE 200 TROY, MICHIGAN 48083

P. 248-254-3834
W.ABRODESIGNGROUP.COM

PROJECT:

MUG & JUG GAS STATION

- BUILDING SHELL & INTERIORS -

4162 TWELVE MILE ROAD, BERKLEY, MI, 48072

SHEET TITLE:

EXTERIOR
BUILDING
ELEVATIONS

DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY

DATE: ISSUE:

03.20.25 SPA

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