

**CITY OF BERKLEY PUBLIC NOTICE  
REGULAR CITY COUNCIL MEETING  
Monday, May 19, 2025  
7:00 P.M. – City Hall  
248-658-3300**

**CALL 40<sup>th</sup> COUNCIL TO ORDER  
APPROVAL OF AGENDA  
MAYOR-LED MOMENT OF REFLECTION  
PLEDGE OF ALLEGIANCE  
PUBLIC COMMENT**

*Comments are invited on each Agenda item when that item comes up for consideration. Matters not listed on the Agenda may be addressed at this time. Please state your name and residential city. Each speaker's remarks are a matter of public record, and the Council will not engage in a back-and-forth discussion. Any person speaking at a City Council Meeting may be called to order by the Mayor or any Council Member for failure to be germane to the business of the City or for disruptive or disorderly behavior which prevents the Council from conducting its business. There is a three-minute limit per speaker.*

**ORDER OF BUSINESS**

***Consent Agenda***

1. **APPROVAL OF THE MINUTES:** Matter of [approving the minutes](#) of the 40th Regular City Council meeting on Monday, May 5, 2025; the Special Work Session on Monday, May 5, 2025; and the Special City Council Budget Work Sessions on Monday, April 28, 2025 and Tuesday, April 29, 2025.
2. **WARRANT LIST:** Matter of approving [Warrant List No.1410](#).
3. **ORDINANCE NO. O-06-25:** Matter of approving the [Second Reading and Adoption of an ordinance](#) of the City Council of the City of Berkley, Michigan to add Article III, Workforce Housing PILOT to Chapter 114 Taxation, of the City of Berkley Code of Ordinances to provide for approval of an exemption from ad valorem property taxes for housing being developed or rehabilitated for workforce housing for persons and families whose household income is not greater than 120% of area median income, as authorized by provisions of the State Housing Development Authority Act of 1966, Public Act 346 of 1966. MCL 125.1401, et seq.
4. **RESOLUTION NO. R-06-25:** Matter of [approving a resolution](#) of the Council of the City of Berkley, Michigan authorizing the Decertification of Local Roadways.
5. **MOTION NO. M-32-25:** Matter of [approving](#) the Southeastern Oakland County Public Works Association joint and cooperative agreement.
6. **RESOLUTION NO. R-07-25:** Matter of [approving participation](#) in the "Tie Michigan Teal" campaign to promote awareness of ovarian cancer and its symptoms.
7. **PROCLAMATION NO. P-19-25:** Matter of proclaiming June 2025 as [LGBTQIA+ Pride Month](#).
8. **PROCLAMATION NO. P-20-25:** Matter of proclaiming June 19, 2025 as [Juneteenth Celebration Day](#).
9. **PROCLAMATION NO. P-21-25:** Matter of proclaiming June 6, 2025 as [National Gun Violence Awareness Day](#).

***Regular Agenda***

1. **RECOGNITIONS/PRESENTATIONS:** Matter of receiving any recognitions or presentations from the Consent Agenda.
2. **MOTION NO. M-33-25:** Matter of [considering the First Reading](#) for an amendment to the Planned Unit Development previously approved for a multiple-family development on the east side of Coolidge Highway, south of Cambridge Road and north and south of Columbia Road by the applicant, Krieger Klatt Architects on behalf of WJ Ventures LLC, 2465 Columbia, 2475 Columbia, 2468 Columbia, 2476 Columbia, and 2475 Cambridge.

3. **MOTION NO. M-34-25**: Matter of [approving the “Berkley Street Art Fest” event](#) on Saturday, July 12, 2025 from 11 a.m.-5 p.m. on Coolidge Highway, between Catalpa and Beverly, for the Berkley Area Chamber of Commerce, P.O. Box 72-1253. Approval is conditional upon the submission of required items and documents prior to event dates.
4. **MOTION NO. M-35-25**: Matter of [approving the “Berkley Art Bash” event](#) on Saturday, June 14, 2025 from 10 a.m.-6 p.m. on 12 Mile Road for the Berkley Area Chamber of Commerce, P.O. Box 72-1253. Approval is conditional upon the submission of required items and documents prior to event dates.
5. **MOTION NO. M-36-25**: Matter of [approving a Downtown Development Authority \(DDA\) event](#), "Berkley Pride Block Party" on Robina south of 12 Mile Road, on Gardner south of 12 Mile Road, and in the Municipal Parking Lot located between those two roads, on Sunday, June 22, 2025 from 1 to 5 p.m. Approval is conditional upon the submission of required items and documents prior to the event date.
6. **PRESENTATION**: Matter of receiving a presentation regarding the 2025/26 FY City Manager proposed budget for the City of Berkley, Michigan.
7. **PUBLIC HEARING**: Matter of holding a [public hearing](#) regarding the City Manager proposed 2025/26 FY Budget and supporting tax rates for the City of Berkley, Michigan.
8. **RESOLUTION NO. R-08-25**: Matter of [approving a resolution](#) of the Council of the City of Berkley, Michigan approving the 2025/26 through 2030/31 Capital Improvement Plan of the City of Berkley, Michigan.
9. **RESOLUTION NO. R-09-25**: Matter of [approving a resolution](#) of the Council of the City of Berkley, Michigan setting the residential and commercial service fee for the collection and disposal of solid waste, effective July 1, 2025.
10. **RESOLUTION NO. R-10-25**: Matter of [approving a resolution](#) of the Council of the City of Berkley, Michigan setting the various rates for water and sewer services, effective July 1, 2025.
11. **MOTION NO. M-37-25**: Matter of [receiving updates](#) to the City of Berkley Fee Schedule.
12. **RESOLUTION NO. R-11-25**: Matter of [approving a resolution](#) of the Council of the City of Berkley, Michigan adopting the annual budget for the fiscal year 2025/26 and acknowledgment of the 2026/27 and 2027/28 budget projections.
13. **MOTION NO. M-38-25**: Matter of [approving the terms](#) of the second amendment to the City's Ground Lease agreement with AT&T.

## COMMUNICATIONS

## ADJOURN

Note: The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and verbal representations of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days' notice to the City. Individuals with disabilities requiring auxiliary aids or services should contact the City by writing or calling: Victoria Mitchell, ADA Contact, Berkley City Hall, 3338 Coolidge Highway, Berkley, MI 48072 (1-248-658-3310).

Note: Official minutes of City Council Meetings and supporting documents for Council packets are available for public review in the City Clerk's Office during normal working hours. Anyone wishing to submit correspondence to the Council before the meeting may send an email to [comment@berkleymi.gov](mailto:comment@berkleymi.gov) by noon on the day of the meeting. Emails sent prior to the deadline will be a part of the meeting record but will not be read during the Council meeting.

**THE REGULAR MEETING OF THE FORTIETH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 7 PM ON MONDAY, MAY 5, 2025 BY MAYOR DEAN**

**PRESENT:** Councilmember Steve Baker  
Mayor Pro Tem Ross Gavin  
Councilmember Dennis Hennen  
Mayor Bridget Dean  
**ABSENT:** Councilmember Clarence Black  
Councilmember Gregory Patterson  
Councilmember Jessica Vilani

**OTHER STAFF PRESENT:**

City Manager Crystal VanVleck  
City Attorney Dan Christ  
City Clerk Victoria Mitchell  
Deputy City Manager of Public Services Shawn Young  
Parks & Recreation Superintendent Dan McMinn  
Community Development Director Kristen Kapelanski  
Deputy Finance Director Amy Zurawski  
Department of Public Services Superintendent Adam Wozniak  
Emergency Manager Jack Blanchard

**APPROVAL OF AGENDA**

Mayor Pro Tem Gavin moved to approve the Agenda  
Seconded by Councilmember Baker  
Ayes: Black, Gavin, Hennen, Patterson, Vilani, Baker and Dean  
Nays: None  
Motion Approved.

**PUBLIC COMMENT**

None.

**CONSENT AGENDA**

Councilmember Hennen moved to approve the following Consent Agenda  
Seconded by Councilmember Baker

**APPROVAL OF THE MINUTES:** Matter of approving the minutes of the 40th Regular City Council meeting on Monday, April 21, 2025 and the Special City Council meeting on Monday, April 21, 2025.

**MOTION NO. M-26-25:** Matter of awarding the contract to the lowest qualified bidder, BT's Construction Inc., 3234 Auburn Road, Shelby Twp., 48317, to complete wall repairs at Community Center Senior Annex for \$11,175 and to allocate \$2,500 in construction contingencies. This project is being funded by a FY 2024 special grant from the State of Michigan.

**MOTION NO. M-27-25:** Matter of awarding a contract for Community Park sidewalk and path improvements to Hartwell Cement Company of Oak Park, Michigan.

**MOTION NO. M-28-25:** Matter of approving The Local Road Improvement Program provided by Oakland County.

**PROCLAMATION NO. P-17-25:** Matter of proclaiming May 11-17, 2025 as National Police Week.

**PROCLAMATION NO. P-18-25:** Matter of proclaiming May 18-24, 2025 as National Public Works Week.

Ayes: Hennen, Baker, Gavin and Dean  
Nays: None  
Absent: Black, Patterson and Vilani  
Motion Approved.

## **REGULAR AGENDA**

**RECOGNITIONS/PRESENTATIONS:** Matter of receiving any recognitions or presentations from the Consent Agenda.

Councilmember Hennen read P-18-25 in its entirety.  
Mayor Dean read P-17-25 in its entirety.

**MOTION NO. M-29-25:** Matter of approving the "Corporate Cup Relays" event on Saturday, June 14, 2025 from 8 a.m.- 4:30 p.m. at Anderson Middle School for the MidWest Corporate Athletic Association. Approval is conditional upon the submission of required items and documents prior to event dates. Mayor Pro Tem Gavin moved to approve Motion No. M-29-25  
Seconded by Councilmember Hennen  
Ayes: Baker, Gavin, Hennen and Dean  
Nays: None  
Absent: Black, Patterson and Vilani  
Motion Approved.

Jack Blanchard, Berkley Emergency Manager, said he met with Chief Koehn and he has an emergency plan for the event.

**RESOLUTION NO. R-05-25:** Matter of tabling until the May 19, 2025 City Council meeting a resolution of the Council of the City of Berkley, Michigan authorizing the Decertification/Vacation of Local Roadways. Councilmember Hennen moved to approve Resolution No. R-05-25  
Seconded by Councilmember Baker  
Ayes: Baker, Gavin, Hennen and Dean  
Nays: None  
Absent: Black, Patterson and Vilani  
Motion Approved.

**ORDINANCE NO. O-06-25:** Matter of approving the First Reading of an ordinance of the City Council of the City of Berkley, Michigan to add Article III, Workforce Housing PILOT to Chapter 114 Taxation, of the City of Berkley Code of Ordinances to provide for approval of an exemption from ad valorem property taxes for housing being developed or rehabilitated for workforce housing for persons and families whose household income is not greater than 120% of area median income, as authorized by provisions of the State Housing Development Authority Act of 1966, Public Act 346 of 1966. MCL 125.1401, et seq. Councilmember Hennen moved to approve Ordinance No. O-06-25  
Seconded by Mayor Pro Tem Gavin  
Ayes: Gavin, Hennen, Baker and Dean  
Absent: Black, Patterson and Vilani  
Nays: None  
Motion Approved.

**MOTION NO. M-30-25:** Matter of authorizing the amendment of the 2024/25 budget as presented. Councilmember Baker moved to approve Motion No. M-30-25  
Seconded by Councilmember Hennen  
Ayes: Hennen, Baker, Gavin and Dean  
Absent: Black, Patterson and Vilani



Nays: None  
Motion Approved.

**MOTION NO. M-31-25:** Matter of accepting the quarter ended March 31, 2025 budget-to-actual report.  
Councilmember Hennen moved to approve Motion No. M-31-25  
Seconded by Mayor Pro Tem Gavin  
Ayes: Baker, Gavin, Hennen and Dean  
Nays: None  
Absent: Black, Patterson and Vilani  
Motion Approved.

## **COMMUNICATIONS:**

### **MAYOR PRO TEM GAVIN**

- For Parks & Recreation Advisory Board:
  - The next meeting of the Parks & Rec Advisory Board will be May 8th at 7:00 PM at the Community Center.
  - Dog Man reading challenge brought to you by Parks & Rec and the Berkley Library. Pick up your reading log at Parks & Rec or the library, read 13 Dog Man books, have a parent sign the form, turn it into Parks & Rec or the Library for a prize ticket. Then bring that ticket to the showing of Dog Man on Friday, June 13th at Bacon Park to claim your prize; the movie starts at 6:00 p.m.
- For the Library Board:
  - The next meeting will be May 21st at 7 PM at the Library.
  - Reminder that the Friends of Berkley Library book sale will be on Friday, May 16th, 1 PM to 6 PM, and Saturday, May 17th, 10:00 AM to 3 PM. The spring sale will take place at the Berkley Library and proceeds from the sale will help support the library's programs and services throughout the year.

### **COUNCILMEMBER BAKER**

- For the Historical Committee:
  - Happy Berkley History Month! Berkley became a city in May of 1932, which is great.
  - Their next meeting is on Tuesday, May 13th at 7 PM.
  - Please visit the museum to see the display on Berkley's First Methodist Church here on 12 Mile. Over 100 items are being presented; for more information visit [berkleyhistory.com](http://berkleyhistory.com).
- The Downtown Development Authority will meet on Wednesday, May 14<sup>th</sup> at 8:15 AM.
- Congratulations to all participants and organizers of the Leia's Day Out last Saturday in honoring May the 4th be with you, which was awesome.
- Memorial Day events are coming up on Monday, May 26th. Farmers markets start up on Thursdays in June. For more information on that and to check out the DDA's brand new website, go to [downtownberkley.com](http://downtownberkley.com).
- It was Jimmy Kimmel who once said, "Cinco de Mayo, proof that Americans will celebrate anything with tacos and beer." As it turns out, today is not actually Mexico's independence day—that's September 16th. Cinco de Mayo is specific to the military victory over the more powerful French army. That battle represented a broader struggle against foreign domination, making it a historical touchstone for resistance to oppression. Cinco de Mayo is actually more widely celebrated here in the U.S. than in most parts of Mexico, evolving into a celebration of Latino culture and contributions to American society. Without quoting any specific commercial, I'll just say: stay safe, my friend, and please hug somebody you love.

### **COUNCILMEMBER HENNEN**

- For the Tree Board:

- Met last week and already planning Arbor Day and they're already starting to make plans for next year to try and make it a bigger draw. They're also looking at getting a booth at the farmers market to help with outreach.
  - The City learned that we were awarded a grant for 30 trees from DTE.
- For the Zoning Board of Appeals, they've had no recent cases and I don't know yet if we're meeting in May.

**CITY MANAGER VANVLECK**

- Thanked everyone for a collaborative, thoughtful approach to this year's budget—from all of our Councilmembers to all of staff. There was a lot of work that went in; there were a lot of meetings. We started early on internally with staff and we've had quite a bit of transition in the last year; there was a lot of catching up to do and everyone just jumped right in eagerly. It was a very collaborative approach, people were very thoughtful about their budgets and passionate about what they're doing for the community.
- The meetings on Monday and Tuesday with City Council were also very collaborative and productive. I think we're lucky to have a passionate, innovative team dedicated to serving the community. I want to thank everybody for their hard work and dedication—especially Ms. Zurowski and our finance director Carl Johnson. They've been doing quite a bit of work on the back end. Also, our Communications Director did a lot of work on the budget document this year.
- We talked a bit about that at the meetings on Monday and Tuesday, but a lot of work went into how we are delivering the budget this year in a way that people can digest and understand. We'll continue to work on that as the years go on, but I'm really proud of what they produced this year.

**CITY ATTORNEY DAN CHRIST**

- No update.

**MAYOR DEAN**

- Slows Barbecue is coming to Berkley, she welcomed them. She said that she believes that Slows is a perfect fit for our downtown and she looks forward to enjoying a meal as soon as they open.
- She congratulated PSO William Donnelly for graduating from the Oakland Fire Academy last Monday and having already completed the Oakland Police Academy. Now all that's left is his medical first responder training.
- She thanked the City Manager, department directors and staff, and specifically the finance department. She said that what we got this year looked so much different and felt different. She said she is speaking for all of Council and said that it was a pleasure to read that document and certainly to have the supporting documents there.
- Said that she is pleased that Berkley had a facilities assessment this year because it was completed in time for budgeting. She said that it gave Council that additional information about the condition of our buildings and where to direct our resources.
- She guesses that her favorite thing about budget work sessions is not just seeing the work from all departments but also seeing the priorities, the things that are important. She said that that is exciting to her because it all dovetails into the City's strategic framework. Unfunded mandates aside, the creative part of the budget to her is looking at direction and where you want to take things; it's an exciting thing to see.
- She said that she feels a renewed energy in this process and it really came through in the budget document. She appreciates the thoughtfulness, diligence, and professionalism shown.
- Her next stop on the Mayor's Road Show will be this Friday, May 9th at June and December, 2670 Coolidge, from 4 to 6 PM. If you haven't visited that beautiful store, Friday is a great time to go.

**ADJOURNMENT:**

Councilmember Hennen moved to adjourn the Regular Meeting at 7:45 PM  
Seconded by Councilmember Baker  
Ayes: Baker, Gavin, Hennen and Dean  
Nays: None  
Absent: Black, Patterson and Vilani  
Motion Approved.

**ATTEST:**

\_\_\_\_\_  
Victoria Mitchell, City Clerk

\_\_\_\_\_  
Bridget Dean, Mayor



**THE SPECIAL WORK SESSION OF THE FORTIETH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 6:00 PM ON MONDAY, MAY 5, 2025 BY MAYOR DEAN**

**PRESENT:** Councilmember Steve Baker  
Mayor Pro Tem Ross Gavin  
Councilmember Dennis Hennen  
Mayor Bridget Dean

**ABSENT:** Councilmember Clarence Black  
Councilmember Jessica Vilani  
Councilmember Gregory Patterson

**OTHER STAFF PRESENT:**

City Manager Crystal VanVleck  
City Clerk Victoria Mitchell  
Deputy City Manager of Public Services Shawn Young  
Deputy Finance Director Amy Zurawski  
Library Director Matt Church  
Human Resource Director Jessica Stover  
Parks & Recreation Superintendent Dan McMinn  
Department of Public Works Superintendent Adam Wozniak  
Facilities Manager Alex Brown

**APPROVAL OF AGENDA**

Councilmember Hennen moved to approve the Agenda  
Seconded by Councilmember Baker  
Ayes: Gavin, Hennen, Baker and Dean  
Nays: None  
Absent: Black, Patterson and Vilani  
Motion Approved.

**PUBLIC COMMENT**

None.

**REGULAR AGENDA**

**DISCUSSION:** Matter of participating in a Michigan Municipal League Thriving Communities Workshop.

City Manager Crystal VanVleck introduced the item. She explained how the Thriving Communities Workshop fits into the Strategic Plan.

Richard Murphy and Margaret Mooney from the Michigan Municipal League (MML) were present to lead the Thriving Communities Workshop.

Mr. Murphy said Berkley is the first community they visited in the field to conduct the workshop. He thanked the City for being the League's inaugural group.

Mr. Murphy introduced MML's Thriving Communities initiative, provided some helpful tools the League created within this framework, and instructed the group on utilizing the tools.

Discussion included:

- Introduction of the MML

- It is a premier statewide association representing more than 500 full-service cities, villages, and urban townships dedicated to making Michigan's communities better
- Introduction of the Thriving Communities initiative
- Setting a baseline with the Equalizer Tool
- How Thriving Communities fits into the City's Strategic Plan
  - Thriving Communities is an evolution of the MML's continuing placemaking work
- Reviewing the placemaking term: "We love where you live"
  - Help communities figure out their assets
  - Define themselves as a place
  - Public space adaptation is only part of the answer
- Reviewing Thriving Communities tools
- Reviewing local government can lead, but it can't go it alone
  - Local government has important tools, but not the complete set needed
  - Local government is the conveners of place, and the stewards of it communities; bringing people together to do inclusive community guiding and moving toward thriving
    - A thriving community embodies connection
    - There are six focus areas of thriving communities
    - Thriving isn't one size fits all

Group members participated in the following activity:

What Makes a Community Thrive

Some answers included:

- Downtown
- Foot traffic
- People
- Parks and green space
- Library
- Family businesses
- Events
- Opportunities
- Public safety
- Belonging
- Events
- Involvement
- Eagerness to say, "Yes"

Group members discussed setting a baseline utilizing the Equalizer Analysis and determining a baseline frequency.

Group members participated in another exercise where members marked on their Equalizer each focus area based on Berkley's current position.

Members rated on a scale from one to 10 each of the following factors:

- Financial Security
- Sustainability
- Infrastructure
- Arts & Culture
- Public Health and Safety
- Life-long Learning

Mr. Murphy reviewed the Equalizer Analysis Tool for Policies, Projects, and Initiatives. He discussed how the Tool would help and inform the City's Strategic Framework, including:

- What Thriving Communities focus areas does the City have well addressed
- What focus areas are outside or beyond the City's framework
- Where might the City need to identify partners who can complement Berkley's role?

Mr. Murphy reviewed the Community Partnership Map exercise that was provided to participants before the meeting, and how it relates to the Equalizer Analysis and the City's Strategic Plan.

Further discussion took place on relationship building and other tools the City could utilize moving forward.

**ADJOURNMENT:**

Councilmember Baker moved to adjourn the Special Meeting at 6:54 PM

Seconded by Mayor Pro Tem Gavin

Ayes: Gavin, Hennen, Baker and Dean

Nays: None

Absent: Black, Patterson and Vilani

Motion Approved.

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Bridget Dean, Mayor

**ATTEST:**

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Victoria Mitchell, City Clerk

**THE SPECIAL BUDGET WORK SESSION OF THE FORTIETH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 6:00 PM ON MONDAY, APRIL 28, 2025 BY MAYOR DEAN**

**PRESENT:** Councilmember Steve Baker  
Mayor Pro Tem Ross Gavin  
Councilmember Dennis Hennen  
Councilmember Gregory Patterson  
Councilmember Jessica Vilani  
Mayor Bridget Dean  
**ABSENT:** Councilmember Clarence Black

**OTHER STAFF PRESENT:**

City Manager Crystal VanVleck  
City Clerk Victoria Mitchell  
Finance Director Carl Johnson  
Deputy Finance Director Amy Zurawski  
Deputy City Manager of Public Services Shawn Young  
Community Development Director Kristen Kapelanski  
Library Director Matt Church  
Human Resource Director Jess Stover  
Chief Innovation Officer Stan Lisica

**APPROVAL OF AGENDA**

Councilmember Baker moved to approve the Agenda  
Seconded by Mayor Pro Tem Gavin  
Ayes: Gavin, Hennen, Patterson, Vilani, Baker and Dean  
Nays: None  
Absent: Black  
Motion Approved.

**PUBLIC COMMENT**

None.

**REGULAR AGENDA**

**PRESENTATION:** Matter of receiving a presentation summarizing the proposed FY 2025/26 budget.

City Manager Crystal VanVleck opened the presentation. She thanked the Finance Department and department heads. She said the budget team is already noting items for improvement to the budgeting process for next year.

City Manager VanVleck explained the evening's format as far as what information would be presented along with questions.

City Manager VanVleck explained directors would be presenting their department's bigger picture and deviations from what was already approved for 2025-26 last year.

Finance Director Carl Johnson presented the budget overview, including:

- Taxable Value v. Assessed Value
- Overview of Millages subject to Headlee Reductions
  - Operating
  - Public Safety



- Sanitation
  - Infrastructure
- Overview of FY 2024-25 GF
  - Revenue – Main Drivers
    - Movement of the HVAC grant (\$1.4 million)
    - \$500,000 in property tax revenue
  - Expenditures – Main Drivers
    - HVAC
    - Amendments made throughout the year
    - \$315,000 investment into Public Improvement Fund
- Overview of FY 2025-26: What Changed?
  - Revenue – Main Drivers
    - Estimating \$377,300 in property taxes
    - \$150,000 additional marihuana license revenue
  - Expenditures – Main Drivers
    - Strategic investment based on the priorities of the Strategic Framework
      - Renewed commitment to maintenance of city facilities
- Overview of General Fund
  - Revenue
    - Property Taxes 65.36 percent
    - Federal Grants 6.62 percent
    - State Sources .01 percent
    - Charges for Services 12.48 percent
    - Fines and Forfeitures 8.52 percent
    - Licenses and Permits 1.03 percent
    - Investment Earnings 1.92 percent
    - Other Revenue 4.06 percent
  - Expenditures – Main Drivers
    - Public Safety 42.01 percent
    - Animal Control 0.52 percent
    - Public Works 7.22 percent
    - Building & Planning 4.32 percent
    - Library 4.19 percent
    - Transfers Out 6.02 percent
    - City Council .26 percent
    - City Manager 1.75 percent
    - Finance 5.13 percent
    - City Clerk 2.15 percent
    - IT 2.16 percent
    - Communications 1.46 percent
    - Active Employee Benefits 9.92 percent
    - Retiree Benefits 8.33 percent
    - City Attorney .93 percent
    - Facilities 2.89 percent
    - Human Resources .75 percent
- Housekeeping
  - Two new Funds
    - Opioid Settlement Fund
    - Public Improvement Fund
  - Removal of Departments
    - Citywide Projects
    - Community Promotion
  - Addition of Department
    - Human Resources Department

**BUDGET WORK SESSION:** Matter of a discussion of the proposed FY 2025/26 City of Berkeley Budget:

Mayor Bridget Dean stated she is suspending decorum as far as any member of Council could ask questions without going through the chair.

- A. City Clerk
  - Elections:
    - Purchase five new election tablets, “line-chasers”
    - New signage for Precinct 3 and temporary precinct signage
  - Clerk’s Office Efficiencies:
    - Software Suite automating City Council management, Boards & Commissions, website document storage, and FOIA
  - Administrative changes to reclassify expenditures:
    - Budgeted election supply expenses moved from Stationery to Election Supplies accounts
    - Computer software and maintenance fees moved from Consultant to Computer Software account
- B. Information Technology
  - Expense reallocation from Citywide Projects
    - Mailing Machine
    - Copier
    - Desk phone circuit and services
    - All GF cell phones (previously allocated to each dept.)
  - Software subscription increases due to Windows 11 upgrades
  - Continued cybersecurity upgrades
  - Computer replacement over 26/27 27/28 and server replacement
- C. City Manager
  - Removal of HR related costs
  - Removal of contractual services
  - Movement of Citywide supplies form the citywide department
- D. City Council
  - Movement of some items that were in City Wide or Community Promotions Departments:
    - Memberships and dues
    - Youth Assistance & Tri Community Coalition – needs discussion
      - City Manager VanVleck discussed contributions to Youth Assistance and Tri Community Coalition – staff will need direction before the budget is finalized. There is \$2k budgeted for this. The majority of Council stated they would like to donate to Youth Assistance and HAVEN. Not Youth Assistance and Tri-County Coalition.
  - \$70k in FY 26/27 for Strategic Plan Process (includes \$20k community survey)
- E. City Attorney
  - Labor
  - Primary Attorney fees (prosecution, general City, copyright/trademark)

- General Liability (MML Claims)
- City Manager VanVleck discussed legal fee rates. She reiterated an RFP for legal services was issued
- She discussed the Copyright attorneys and fees, and general liability.

F. CDBG Fund

- Revenue/Expenditure set annually based on the award
  - Historically – approx. \$35,000/year
- Group 2-3 years' worth of funding into one project – various architectural barriers
- \$2,500 – Yard Services
- \$2,500 – Large Print Books

G. Human Resources

- First Year HR has its own budget. Relevant line items were moved from the Finance and City Manager budgets.
- Advertising budget for recruitment factors including the cost of MML and Oakland Press job boards.
- Professional development includes funds for citywide staff training
  - Will be working on a larger organizational development strategy

H. Building and Planning

- Planning
  - Contractual Services includes funding for an Economic Development Strategy
  - General planning consulting budget reduced based on actual usage
  - Ms. Kapelanski discussed Redevelopment Ready certification and the benefits
  - Reducing reliance on professional contractors.
- Building
  - Cellular laptop added for code enforcement
  - Contractual inspections separated from code enforcement costs for easier tracking
  - CIP Item:
    - Upgraded vehicle

I. Communications

- Some of the money previously allocated to Contractual Services line item has shifted to full time employees to cover the cost of an intern
  - Less help will be needed from PR firm with help from an intern
- Community Promotions budget items have been moved to Communications to avoid redundancy
  - Postage-Printing-Mailing
  - Advertising
- Professional Development budget has increased to cover cost of networking organizations and attendance at Government Social Media Conference
  - ICCA
  - Inforum
- Berkley Buzz and community survey – survey will show how people like to

communicate and if the Buzz is something they utilize. The Buzz may or may not come back and could be in different iterations.

J. Library

- Copier replacement and reupholstery of chairs pushed out to future fiscal years
- Cabling for all security camera replacements and three-five cameras for next three fiscal years
- CIP Item:
  - Biggest and most exciting project is addition of two study rooms at the library
- Could the hours that were cut from the library be reinstated? City Manager VanVleck said right now we have a balanced budget and any additions would rock that.

K. Finance and Treasury

- Finance
  - Increase in Salaries & Wages
  - Expense reallocation from Citywide Projects to Finance (~ \$85k)
    - Postage
    - Annual memberships
    - Liability Insurance
    - Utilities
    - Mr. Johnson addressed investment strategy/policy including OPEB.
- Treasury
  - Aligns with current fiscal year projections
  - Discussed outsourcing Assessing considering the current state of the rising Oakland County prices. It could be an opportunity to bring treasury/taxes in house.

Ms. VanVleck closed the meeting with a preview of the next budget hearing and the CIP.

Mayor Dean thanked everyone for their hard work, especially the finance department and communications for creating the new budget document.

**ADJOURNMENT:**

Councilmember Baker moved to adjourn the Special Meeting at 8:36 PM

Seconded by Councilmember Patterson

Ayes: Gavin, Hennen, Patterson, Vilani, Baker and Dean

Nays: None

Absent: Black

Motion Approved.

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Bridget Dean, Mayor

**ATTEST:**

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Victoria Mitchell, City Clerk

**THE SPECIAL BUDGET WORK SESSION OF THE FORTIETH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 6:00 PM ON TUESDAY, APRIL 29, 2025 BY MAYOR DEAN**

**PRESENT:** Councilmember Steve Baker  
Mayor Pro Tem Ross Gavin  
Councilmember Dennis Hennen  
Councilmember Gregory Patterson  
Councilmember Jessica Vilani  
Mayor Bridget Dean

**ABSENT:** Councilmember Clarence Black

**OTHER STAFF PRESENT:**

City Manager Crystal VanVleck  
City Clerk Victoria Mitchell  
Finance Director Carl Johnson  
Deputy Finance Director Amy Zurawski  
Deputy City Manager of Public Services Shawn Young  
Public Safety Director Matt Koehn  
Public Safety Lt. Corey Miller  
Parks & Recreation Superintendent Dan McMinn  
Department of Public Works Superintendent Adam Wozniak  
Facilities Manager Alex Brown

**APPROVAL OF AGENDA**

Mayor Pro Tem Gavin moved to approve the Agenda  
Seconded by Councilmember Vilani  
Ayes: Gavin, Hennen, Patterson, Vilani, Baker and Dean  
Nays: None  
Absent: Black  
Motion Approved.

**PUBLIC COMMENT**

None.

**REGULAR AGENDA**

**BUDGET WORK SESSION:** Matter of a discussion of the proposed FY 2025/26 City of Berkley Budget:

Mayor Bridget Dean stated she is suspending decorum as far as any member of Council could ask questions without going through the chair.

City Manager Crystal VanVleck opened the presentation. She stated last night there were no Capital Improvement Plan (CIP) items, and tonight they would be reviewing the CIP. The CIP is six years, but they will covering three years as that is what is covered in the budget.

City Manager VanVleck explained how the evening would run as far as what information would be presented along with questions.

City Manager VanVleck introduced the overview of the CIP by Fund – FY 25/26.

Finance Director Carl Johnson reviewed the summary of capital improvements by general fund for fiscal year 2025/26.

Funds discussed included the General Fund, Major Street Fund, Recreation Revolving Fund, Solid Waste, Infrastructure Millage Fund, Public Improvements Fund (this is the money we are starting to set aside), Water Sewer Fund, and Sidewalks.

City Manager VanVleck provided an overview of the CIP by Type – FY 25/26, including:

- A large portion of funding is roads and the City has an infrastructure millage
- FY 25-26 capital improvements by type:
  - Vehicles, Technology, Machinery and Equipment, Roads, Sidewalks and Pathways, Storm Sewer and Drainage, Water Distribution, Parks, Recreation & Cultural Services, Buildings & Property.

A. Parks and Recreation

- Moved to a Public Service model. Maintenance items shifted to Public Works or Facilities.
- Creation of Community Field One Enterprise Fund
- CIP Items:
  - Concession Stand and Community Center Bathrooms (accounts for a large majority of increased budget in 25/26 from Council to CM Recommended)
  - Future improvements focus on upgrades to existing facilities

B. Public Safety

- Continue to leverage shared services, mutual aid, automatic aid, and relationships with our local, county, state, and federal law enforcement and fire partners as a force multiplier to assist in keeping our residents, business, and visitors safe.
- Continue to utilize technology to the fullest extent, including:
  - Documents/accreditation
  - Early warning system
  - Body worn and in-car camera
  - Scheduling, fire inspections/Preplans
- DPS has virtually no paper documents.
- Several items were moved to more appropriate accounts in this budget. The movements are including in the notes.
- K-9
- CIP Items:
  - Polaris Emergency Response Vehicle
    - Need is based on the results of several major incident debriefs, prior experience, and best practices
    - Will notably improve flexibility during special events, in the downtown, and at parks
    - Will replace existing/budgeted Ford Police Interceptor Utility AWD
  - Ford Police Interceptor Utility (replacement)
  - Future: Fire Engine 4 replacement (FY 27/28 – funded by Public Improvement Fund)

C. Facilities

- Shifting Maintenance budgets out of individual departments into the Facilities budget
- Increased budget to address immediate needs identified both internally and through the recently completed facilities assessment
- Proactive approach to building issues, being ahead of the problems - note increased maintenance budget
- CIP items:
  - Security cameras
  - Future CIP expansion
  - Discuss salt dome

D. Public Works

- Public Works – Major, Local and Infrastructure Fund:
  - Bacon Ave. water main and road replacement: targeted start date spring of 2026

- Harvard Road (tentative) water main and road replacement: targeted start date spring of 2027
  - Wakefield Road (tentative) water main and road replacement: targeted start date spring of 2028
- Finance Director Johnson reviewed the CIP, Capital Outlay, Light-duty vehicles, and service improvements.
- Public Works – General Fund
  - Moved to a Public Service Model
  - Parks and ball field maintenance now handled by Public Works
  - CIP Items: equipment replacement based on lifecycles and operational efficiencies
- Public Works – Water & Sewer Fund
  - Continued 10 percent rate increase similar to the current fiscal year
    - 7.5 percent increase (storm/water/sewage)
    - Infrastructure needs/catastrophic reserve
  - Lead Service Line Replacement Program - \$1 million/year
  - Sewer Lining Program - \$600k/year
  - Addition of MY Neptune 360 Resident Portal – residents could sign up for alerts and login to view water usage
  - Additional Meter Reading Antenna
  - Roughly 1,000 replacement Water Meters annually
- Public Works – Solid Waste
  - Full season of curbside leaf collection
  - Elimination of yard waste tags
  - Restoration of curbside brush pickup program on a bi-weekly basis
  - Increase in quality and cost for “free compost” provided to our residents
  - Purchase of a small chipper
- Public Works – Sidewalk Fund
  - Sidewalk replacements across the city were completed a few years ago
  - An undetermined variation of the original program would begin in FY 26/27.

City Manager VanVleck turned the floor over to Council for comments and questions.

Councilmember Patterson asked about Solid Waste Fund allocations. Members discussed the allocation.

City Manager VanVleck described the next steps in the budgeting process. The budget hearing and the budget document will be before Council on May 19<sup>th</sup>.

A discussion took place regarding next year - when Council would like to receive the budget document and the new budget product.

Mayor Dean thanked the Finance Department and all directors. She said every year when we sit down to do this, the beauty is to see the priorities and look at the strategic framework. She said that we have pulled together and become more united. She thanked her colleagues at the table for the work they did together and the respectful discourse.

#### **ADJOURNMENT:**

Councilmember Patterson moved to adjourn the Special Meeting at 8:34 PM

Seconded by Councilmember Vilani  
Ayes: Gavin, Hennen, Patterson, Vilani, Baker and Dean  
Nays: None  
Absent: Black  
Motion Approved.

\_\_\_\_\_  
Bridget Dean, Mayor

**ATTEST:**

\_\_\_\_\_  
Victoria Mitchell, City Clerk





CITY OF BERKLEY  
WARRANT LIST  
#1410  
APRIL 2025

Check Date	Check #	Payee	Description	GL #	Amount
04/17/2025	78031	21ST CENTURY MEDIA - MICHIGAN	ADVERTISING	101-215-901-000	260.34
04/17/2025	78032	ACUITY SPECIALTY PRODUCTS, INC.	VEHICLE SUPPLIES	101-443-781-000	265.72
04/17/2025	78033	AIRGAS USA, LLC	VEHICLE SUPPLIES	101-443-781-000	57.86
04/17/2025	78034	ALTA CONSTRUCTION EQUIPMENT LLC	VEHICLE SUPPLIES	101-443-781-000	166.40
04/17/2025	78035	AMAZON CAPITAL SERVICES	EQUIPMENT SUPPLIES	101-228-778-000	23.95
			EQUIPMENT SUPPLIES	101-228-778-000	44.99
			MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	153.00
			MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	821.39
			SUPPLIES	101-345-728-000	37.99
			FUEL & OIL	101-441-751-000	72.00
			VEHICLE SUPPLIES	101-443-781-000	38.64
			VEHICLE SUPPLIES	101-443-781-000	38.63
			VEHICLE SUPPLIES	101-443-781-000	22.99
			MAINTENANCE SUPPLIES - PARKS	208-267-776-208	34.99
			EQUIPMENT	592-536-982-592	96.50
			EQUIPMENT	592-536-982-592	34.18
					1,419.25
04/17/2025	78036	AMY LEIGH	SUPPLIES	101-345-728-000	51.41

04/17/2025	78037	ANDREWS HOOPER PAVLIK PLC	AUDIT SERVICES	101-191-807-000	<b>8,000.00</b>
04/17/2025	78038	AT&T	TELEPHONE	101-265-853-000	660.90
			TELEPHONE	101-265-853-000	159.81
			TELEPHONE	101-345-853-000	94.41
			TELEPHONE	101-345-853-000	420.53
			TELEPHONE	101-441-853-000	47.21
			TELEPHONE	101-441-853-000	75.70
			TELEPHONE	101-790-853-000	47.21
			TELEPHONE	101-790-853-000	75.70
			TELEPHONE	208-751-853-000	161.48
			TELEPHONE	208-751-853-000	94.41
			TELEPHONE	208-751-853-000	109.34
					<b>1,946.70</b>
04/17/2025	78039	AT&T	CONTRACTUAL SERVICES	101-228-818-000	<b>195.24</b>
04/17/2025	78040	BALBES CUSTOM BUILDERS INC	BBE24-0014 - PBRA24-0062	101-000-283-000	<b>800.00</b>
04/17/2025	78041	BIG D LOCK CITY	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	4.00
				101-267-776-441	15.00
				101-267-931-441	9.00
				208-267-776-208	44.95
					<b>72.95</b>
04/17/2025	78042	BLUE CROSS BLUE SHIELD OF MICHIGAN	HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-254-716-600	879.62
			HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-355-716-600	3,078.67
					<b>3,958.29</b>
04/17/2025	78043	BLUE CROSS BLUE SHIELD OF MICHIGAN	HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-254-716-600	879.62
			HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-355-716-600	3,078.67
					<b>3,958.29</b>
04/17/2025	78044	BLUE CROSS BLUE SHIELD OF MICHIGAN	HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-254-716-600	15,345.50
			HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-355-716-600	12,583.31

					<b>27,928.81</b>
04/17/2025	78045	BLUE CROSS BLUE SHIELD OF MICHIGAN	HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-254-716-600	15,345.50
			HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	101-355-716-600	12,276.40
					<b>27,621.90</b>
04/17/2025	78046	BREANNA YOUNG	CONTRACTUAL SERVICES	208-845-818-000	<b>468.30</b>
04/17/2025	78047	BRYAN MICHAEL KUNKA	BD25-0002 - PBD25-0004	101-000-283-000	<b>1,000.00</b>
04/17/2025	78048	CAMELOT CLEANERS	PRISONER BOARD	101-345-753-000	<b>131.75</b>
04/17/2025	78049	CINTAS	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	<b>80.37</b>
04/17/2025	78050	CMNTV	CABLE PRODUCTION	101-250-815-000	<b>1,678.11</b>
04/17/2025	78051	CMV LANDSCAPE & EQUIPMENT COMPANY	CONTRACTUAL SERVICES	592-536-818-000	89.60
			CONTRACTUAL SERVICES	592-536-818-000	302.40
			CONTRACTUAL SERVICES	592-536-818-000	156.80
			CONTRACTUAL SERVICES	592-536-818-000	84.00
			CONTRACTUAL SERVICES	592-536-818-000	155.40
			CONTRACTUAL SERVICES	592-536-818-000	2,544.00
			CONTRACTUAL SERVICES	592-536-818-000	196.00
			CONTRACTUAL SERVICES	592-536-818-000	68.60
			CONTRACTUAL SERVICES	592-536-818-000	84.00
			CONTRACTUAL SERVICES	592-536-818-000	190.40
			CONTRACTUAL SERVICES	592-536-818-000	252.00
			CONTRACTUAL SERVICES	592-536-818-000	100.80
			CONTRACTUAL SERVICES	592-536-818-000	2,365.00
			CONCRETE REPAIR	592-536-982-000	4,860.00
			CONCRETE REPAIR	592-536-982-000	4,863.00
			CONCRETE REPAIR	592-536-982-000	8,586.00
			CONCRETE REPAIR	592-536-982-000	3,339.00
			CONCRETE REPAIR	592-536-982-000	2,977.00
					<b>31,214.00</b>

04/17/2025	78052	COMFORT INN & SUITES AND CONF. CTR.	PROFESSIONAL DEVELOPMENT	101-253-960-000	<b>504.00</b>
04/17/2025	78053	CONTRACTORS CLOTHING CO.	UNIFORMS	202-464-744-000	13.49
				592-536-744-000	17.99
				592-537-744-000	151.47
					<b>182.95</b>
04/17/2025	78054	CONTRACTORS CONNECTION	VEHICLE SUPPLIES	101-443-781-000	<b>210.00</b>
04/17/2025	78055	DEALER AUTO PARTS SALES	VEHICLE MAINTENANCE	101-345-939-000	118.68
			VEHICLE MAINTENANCE - DPW	101-345-939-002	133.89
			VEHICLE MAINTENANCE - DPW	101-345-939-002	131.98
			VEHICLE SUPPLIES	101-443-781-000	439.45
			VEHICLE SUPPLIES	101-443-781-000	168.40
					<b>992.40</b>
04/17/2025	78056	DELUXE	OFFICE SUPPLIES	101-191-728-000	<b>2,498.34</b>
04/17/2025	78057	DURST LUMBER & ACE HARDWARE	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	3.80
			OFFICE SUPPLIES	101-441-728-000	8.18
			VEHICLE SUPPLIES	101-443-781-000	28.72
			VEHICLE SUPPLIES	101-443-781-000	22.98
			BUILDING MAINTENANCE -PARKS	208-267-931-208	28.77
			BUILDING MAINTENANCE -PARKS	208-267-931-208	6.97
			PLAYGROUND/ATHLETIC	208-751-750-000	26.92
			VEHICLE MAINTENANCE	592-536-939-000	39.98
					<b>166.32</b>
04/17/2025	78058	ELI'S CONSTRUCTION	Water	592-001-642-000	<b>258.29</b>
04/17/2025	78059	ELLEN BRISSON	PROGRAM SUPPLIES-CONTRIBUTIONS - LIBRARY	101-790-758-005	<b>291.35</b>
04/17/2025	78060	ENCORE COMMERCIAL INVESTMENTS III	BUILDING MAINTENANCE - MARQUEE	101-267-931-001	<b>4,000.00</b>

04/17/2025	78061	ERC-LED, LLC	LAND IMPROVEMENTS	101-265-971-150	<b>4,170.00</b>
04/17/2025	78062	ETHAN GURSKI	BD25-0003 - PBD25-0006	101-000-283-000	<b>1,000.00</b>
04/17/2025	78063	EXTENSION CENTER FOR GOVERNMENTAL	PROFESSIONAL DEVELOPMENT	101-215-960-000	<b>75.00</b>
04/17/2025	78064	FERGUSON WATERWORKS #3386	EQUIPMENT	592-536-982-592	213.99
			EQUIPMENT	592-536-982-592	957.00
			EQUIPMENT	592-536-982-592	12,425.84
					<b>13,596.83</b>
04/17/2025	78065	FISHMAN STEWART PLLC	CITY ATTORNEY	101-266-825-000	<b>688.80</b>
04/17/2025	78066	FOREMAN CONSTRUCTION INC	BD24-0020 - PBD24-0022	101-000-283-000	<b>1,000.00</b>
04/17/2025	78067	FOX ISUZU TRUCK	VEHICLE SUPPLIES	101-443-781-000	<b>163.80</b>
04/17/2025	78068	FRONT LINE SERVICES, INC.	FIRE GEAR	101-345-744-002	453.00
			FIRE EQUIPMENT	101-345-979-000	2,939.95
					<b>3,392.95</b>
04/17/2025	78069	GARRETT DOOR CO.	BUILDING MAINTENANCE - DPW	101-267-931-441	<b>442.50</b>
04/17/2025	78070	GINA HAROLD	MEETINGS & CONFERENCES	101-253-864-000	43.95
			MEETINGS & CONFERENCES	101-253-864-000	23.52
					<b>67.47</b>
04/17/2025	78071	GMIS INTERNATIONAL	MEMBERSHIPS	101-228-803-000	<b>250.00</b>
04/17/2025	78072	HAFELI, STARAN, & CHRIST, P.C.	CITY ATTORNEY	101-266-825-000	<b>5,940.00</b>

04/17/2025	78073	HENRY FORD HEALTH	CONSULTANT	101-191-817-000	725.00
04/17/2025	78074	HENRY FORD HEALTH SYSTEM	MEDICAL EXPENSES	592-536-835-000	190.00
04/17/2025	78075	HUBBELL, ROTH & CLARK	BUILDING ESCROW-ENGINEERING REVIEW	101-000-283-371	900.00
			BUILDING ESCROW-ENGINEERING REVIEW	101-000-283-371	650.00
			BUILDING ESCROW-ENGINEERING REVIEW	101-000-283-371	650.00
			BUILDING ESCROW-ENGINEERING REVIEW	101-000-283-371	650.00
			BUILDING ESCROW-ENGINEERING REVIEW	101-000-283-371	650.00
			ENGINEERING	202-464-821-010	8,246.57
			BUILDING IMPROVEMENTS - PARKS	208-267-976-208	1,200.60
			ENGINEER - ROAD PROJECT	443-901-821-000	8,246.57
			ENGINEER - ROAD PROJECT	443-901-821-000	2,089.44
			ENGINEER	592-536-821-000	2,089.44
			ENGINEER	592-536-821-000	5,124.32
			ENGINEER	592-536-821-000	3,675.22
					<b>34,172.16</b>
04/17/2025	78076	HYDROCORP	CROSS CONNECTIONS	592-536-822-000	1,769.00
04/17/2025	78077	IAN PFISTER	PRINTING	101-345-904-000	75.00
04/17/2025	78078	IMAGE PRINTING	PROGRAM SUPPLIES	101-701-758-000	270.00
			PROGRAM SUPPLIES	101-745-758-000	790.00
			PROGRAM SUPPLIES	101-745-758-000	144.00
					<b>1,204.00</b>
04/17/2025	78079	J.H. HART URBAN FORESTRY	CONTRACTUAL SERVICES	202-468-818-000	2,361.03
			CONTRACTUAL SERVICES	202-468-818-000	1,415.32
			CONTRACTUAL SERVICES	203-468-818-000	5,509.07
			CONTRACTUAL SERVICES	203-468-818-000	3,302.41
					<b>12,587.83</b>
04/17/2025	78080	JACK DOHENY COMPANIES, INC.	VEHICLE MAINTENANCE	592-536-939-000	190.38
			VEHICLE MAINTENANCE	592-536-939-000	190.24

			VEHICLE MAINTENANCE	592-536-939-000	375.96
			VEHICLE	592-536-985-000	221,159.23
					<b>221,915.81</b>
04/17/2025	78081	JAMES TONG	GAZEBO	101-000-301-000	<b>450.59</b>
04/17/2025	78082	JAYE SANDERS	PARK RENTALS	208-001-675-003	<b>125.00</b>
04/17/2025	78083	JB DONALDSON CO INC	BF23-0004 - PB22-0515	101-000-283-000	<b>1,000.00</b>
04/17/2025	78084	JOHNSON CONTROLS, INC.	HEAT/COOLING	101-265-976-002	109,543.37
			HEAT/COOLING	101-265-976-002	86,184.27
					<b>195,727.64</b>
04/17/2025	78085	JOSEPH NAZIONE	PROFESSIONAL DEVELOPMENT	101-443-960-000	<b>30.62</b>
04/17/2025	78086	JUMPARAMA GYMNASTICS	CONTRACTUAL SERVICES	208-845-818-000	<b>414.60</b>
04/17/2025	78087	KANOPY, INC.	DOWNLOADABLE CONTENT	101-790-731-001	<b>256.70</b>
04/17/2025	78088	KIMBALL MIDWEST	VEHICLE SUPPLIES	101-443-781-000	<b>154.92</b>
04/17/2025	78089	KONICA MINOLTA BUSINESS SOLUTIONS	OFFICE EQUIPMENT RENTAL	101-265-946-000	553.37
			OFFICE EQUIPMENT RENTAL	101-441-946-000	21.11
			OFFICE EQUIPMENT MAINTENANCE	101-790-934-000	40.10
			OFFICE EQUIPMENT RENTAL	592-536-946-000	21.10
					<b>635.68</b>
04/17/2025	78090	LARRY'S WELDING SUPPLY	VEHICLE SUPPLIES	101-443-781-000	<b>62.65</b>
04/17/2025	78091	LGC GLOBAL ENERGY FM, LLC	CUSTODIAL SERVICES - CITY HALL	101-267-811-101	919.40
			CUSTODIAL SERVICES - LIBRARY	101-267-811-271	2,268.85

			CUSTODIAL SERVICES - PUB SAFETY	101-267-811-345	1,711.71
			CUSTODIAL SERVICES - DPW	101-267-811-441	282.81
			CUSTODIAL SERVICES - PARKS	208-267-811-208	1,386.49
					<hr/> 6,569.26
04/17/2025	78092	LIGHTING SUPPLY COMPANY	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	175.95
04/17/2025	78093	LISA LITTELL	PUBLIC ART/PLACEMAKING	248-729-818-201	400.00
04/17/2025	78094	MALONEY TRUCKING	DPW CONTRACTUAL	592-536-830-000	3,035.00
04/17/2025	78095	METRO PUMP SERVICE	FUEL & OIL	101-441-751-000	410.00
04/17/2025	78096	MICHIGAN ASSOCIATION OF PLANNING	PROFESSIONAL DEVELOPMENT	101-701-960-000	35.00
04/17/2025	78097	MICHIGAN GRAPHICS & AWARDS	OFFICE SUPPLIES	101-172-728-000	18.00
04/17/2025	78098	MIDWEST TAPE	DOWNLOADABLE CONTENT	101-790-731-001	444.25
04/17/2025	78099	MISDU	PAYROLL DEDUCTIONS	101-000-231-000	82.99
			PAYROLL DEDUCTIONS	101-000-231-000	542.76
					<hr/> 625.75
04/17/2025	78100	MOBILESPIKE TECHNOLOGIES INC	EQUIPMENT	101-345-982-000	8,793.00
04/17/2025	78101	MSTS RECEIVABLES LLC	TOOLS	592-536-787-000	61.97
04/17/2025	78102	MTD CONSTRUCTION INC.	BUILDING MAINTENANCE -PARKS	208-267-931-208	1,602.00
04/17/2025	78103	NELSON BROTHERS SEWER & PLUMBING	BUILDING MAINTENANCE - LIBRARY	101-267-931-271	155.00



04/17/2025	78104	NEWTON CRANE ROOFING INC.	BUILDING MAINTENANCE - LIBRARY	101-267-931-271	555.00
04/17/2025	78105	NYE UNIFORM	UNIFORMS-CLEANING & PURCHASES	101-345-744-000	430.50
			UNIFORMS-CLEANING & PURCHASES	101-345-744-000	583.50
			UNIFORMS-CLEANING & PURCHASES	101-345-744-000	390.00
					<b>1,404.00</b>
04/17/2025	78106	O'REILLY AUTOMOTIVE, INC.	FUEL & OIL	101-441-751-000	179.04
			VEHICLE SUPPLIES	101-443-781-000	470.68
			VEHICLE MAINTENANCE	211-755-939-000	93.48
					<b>743.20</b>
04/17/2025	78107	OAKLAND COUNTY	CONTRACTUAL SERVICES	101-430-818-000	2,268.00
			DELINQUENT PPT RECEIVABLE	248-000-026-000	4.47
			BULK SEWAGE	592-536-927-000	94,052.07
			STORM FLOW	592-537-927-000	170,435.17
					<b>266,759.71</b>
04/17/2025	78108	OAKLAND COUNTY CLERKS ASSOCIATION	PROFESSIONAL DEVELOPMENT	101-215-960-000	70.00
04/17/2025	78109	OLIVER CONSTRUCTION	Water	592-001-642-000	132.65
04/17/2025	78110	ORKIN PEST CONTROL	BUILDING MAINTENANCE - CITY HALL	101-267-931-101	45.00
			BUILDING MAINTENANCE - PUB SAFETY	101-267-931-345	75.00
					<b>120.00</b>
04/17/2025	78111	P. A. MORRIS COMPANY	SECRETARIAL SERVICES	248-722-818-205	150.00
04/17/2025	78112	PITNEY BOWES GLOBAL FINANCIAL SERV.	OFFICE EQUIPMENT RENTAL	101-265-946-000	799.14
04/17/2025	78113	PROGRESSIVE PLUMBING SUPPLY CO.	BUILDING MAINTENANCE -PARKS	208-267-931-208	94.65

04/17/2025	78114	QUANTUM SERVICES GROUP, LLC	SOFTWARE MAINT AND SUBSCRIPTIONS	101-228-760-000	4,257.00
			CONTRACTUAL SERVICES	101-228-818-000	1,642.00
					<b>5,899.00</b>
04/17/2025	78115	RAD HATTER MARKETING	CONTRACTUAL SERVICES	248-726-818-000	<b>4,200.00</b>
04/17/2025	78116	RENAISSANCE BUILDING, INC	BBE23-0022 - PB23-0322	101-000-283-000	<b>800.00</b>
04/17/2025	78117	RKA PETROLEUM COS, INC	INVENTORY - FUEL & OIL	101-000-110-002	1,369.71
			INVENTORY - FUEL & OIL	101-000-110-002	17,404.86
					<b>18,774.57</b>
04/17/2025	78118	ROYAL OAK FORD	VEHICLE MAINTENANCE - DPW	101-345-939-002	<b>149.96</b>
04/17/2025	78119	SHIFMAN FOURNIER	LEGAL SERVICES - LABOR	101-266-824-000	<b>1,584.00</b>
04/17/2025	78120	SOCRRA	RUBBISH COLLECTION	226-528-818-001	34,383.52
			TRASH DISPOSAL	226-528-818-003	22,484.48
					<b>56,868.00</b>
04/17/2025	78121	SOCWA	BULK WATER	592-536-926-000	<b>74,040.26</b>
04/17/2025	78122	SPARTAN DISTRIBUTORS INC.	VEHICLE SUPPLIES	101-443-781-000	<b>122.84</b>
04/17/2025	78123	STAPLES	EQUIPMENT SUPPLIES	101-228-778-000	38.45
			STATIONARY	101-253-729-000	287.40
			OFFICE SUPPLIES	101-265-728-000	1,527.49
			OFFICE SUPPLIES	101-265-728-000	209.61
			OPERATING SUPPLIES	101-345-732-000	37.59
			OFFICE SUPPLIES	101-790-728-000	156.75
					<b>2,257.29</b>
04/17/2025	78124	STEVEN KING	PROFESSIONAL DEVELOPMENT	101-443-960-000	<b>24.00</b>

04/17/2025	78125	STEWART & SONS CONCRETE	DPW CONTRACTUAL	592-536-830-000	<b>5,220.00</b>
04/17/2025	78126	SUBURBAN FORD OF TROY	VEHICLE MAINTENANCE - DPW	101-345-939-002	<b>175.59</b>
04/17/2025	78127	SWANK MOTION PICTURES, INC.	CONTRACTUAL SERVICES	208-844-818-000	<b>500.00</b>
04/17/2025	78128	T-MOBILE	DOWNLOADABLE CONTENT	101-790-731-001	<b>287.00</b>
04/17/2025	78129	THE LIBRARY NETWORK	LIBRARY COOP	101-790-828-000	1,247.05
			PROFESSIONAL DEVELOPMENT	101-790-960-000	199.00
					<b>1,446.05</b>
04/17/2025	78130	TMD PROPERTY MANAGEMENT LLC	BBE22-0005 - PB22-0032	101-000-283-000	<b>800.00</b>
04/17/2025	78131	TRANSUNION RISK AND ALTERNATIVE	MEMBERSHIPS	101-345-803-000	<b>110.00</b>
04/17/2025	78132	TRESNAK CONSTRUCTION INC	BUILDING PERMITS	101-001-478-000	<b>102.50</b>
04/17/2025	78133	TRUCK & TRAILER SPECIALTIES, INC.	VEHICLES	101-441-985-000	75,475.00
			VEHICLES	101-441-985-000	2,696.58
			VEHICLE SUPPLIES	101-443-781-000	1,132.00
			VEHICLE	592-536-985-000	16,880.00
					<b>96,183.58</b>
04/17/2025	78134	UNIQUE MANAGEMENT SERVICES, INC.	CONTRACTUAL SERVICES	101-790-818-000	<b>23.30</b>
04/17/2025	78135	UNITED FACILITY SUPPLIES	MAINTENANCE SUPPLIES - DPW	101-267-776-441	376.00
			MAINTENANCE SUPPLIES - PARKS	208-267-776-208	147.54
					<b>523.54</b>

04/17/2025	78136	UPWORDS INC.	PROFESSIONAL DEVELOPMENT	101-172-960-000	2,500.00
04/17/2025	78137	VERIZON WIRELESS	TELEPHONE	101-172-853-000	177.00
			TELEPHONE	101-172-853-000	177.00
			TELEPHONE	101-191-853-000	83.44
			TELEPHONE	101-191-853-000	45.50
			TELEPHONE	101-215-853-000	81.00
			TELEPHONE	101-215-853-000	81.00
			SOFTWARE MAINT AND SUBSCRIPTIONS	101-228-760-000	135.00
			SOFTWARE MAINT AND SUBSCRIPTIONS	101-228-760-000	135.00
			CONTRACTUAL SERVICES	101-228-818-000	42.90
			TELEPHONE	101-228-853-000	151.03
			TELEPHONE	101-228-853-000	151.03
			TELEPHONE	101-250-853-000	81.07
			TELEPHONE	101-250-853-000	81.07
			TELEPHONE	101-345-853-000	288.79
			TELEPHONE	101-345-853-000	289.48
			TELEPHONE	101-430-853-000	40.50
			TELEPHONE	101-430-853-000	40.50
			TELEPHONE	101-441-853-000	251.23
			TELEPHONE	101-441-853-000	251.23
			TELEPHONE	101-701-853-000	91.00
			TELEPHONE	101-701-853-000	91.00
			TELEPHONE	101-790-853-000	45.50
			TELEPHONE	101-790-853-000	45.50
			CONTRACTUAL SERVICES	208-751-818-000	45.50
			CONTRACTUAL SERVICES	208-751-818-000	45.50
			TELEPHONE	208-751-853-000	302.77
			TELEPHONE	208-751-853-000	264.83
			CONTRACTUAL SERVICES	208-754-818-000	384.49
			CONTRACTUAL SERVICES	208-754-818-000	384.49
			TELEPHONE	211-755-853-000	41.11
			TELEPHONE	211-755-853-000	41.11
			TELEPHONE	248-722-853-000	40.50
			TELEPHONE	248-722-853-000	40.50
			TELEPHONE	592-536-853-000	308.66
			TELEPHONE	592-536-853-000	306.24
					5,062.47
04/17/2025	78138	WINDSTREAM	CONTRACTUAL SERVICES	101-228-818-000	744.82

04/17/2025	78139	WOW! BUSINESS	CONTRACTUAL SERVICES	101-228-818-000	851.98
04/22/2025	78140	CONSUMERS ENERGY	BUILDING IMPROVEMENTS - DPW	101-267-976-441	2,048.00
04/22/2025	78141	JEFFERY SLICK	SERVICE CREDIT PURCHASE	732-345-718-100	16,697.28
04/22/2025	78142	ZACHARY WAGNER	CONTRACTUAL SERVICES	101-215-818-000	155.00
04/22/2025	78143	MERS OF MICHIGAN	MERS-SERVICE CREDIT PURCHASE	101-254-718-100	5,888.15
04/30/2025	78144	21ST CENTURY MEDIA - MICHIGAN	BOARD OF CANVASSERS	101-253-703-000	708.81
04/30/2025	78145	A & B ALARM SYSTEMS, INC.	BUILDING MAINTENANCE - DPW	101-267-931-441	279.00
04/30/2025	78146	ACUITY SPECIALTY PRODUCTS, INC.	VEHICLE SUPPLIES	101-443-781-000	159.72
04/30/2025	78147	ADAM J STEPEK	BS24-0011 - PZC24-0117	101-000-283-000	200.00
04/30/2025	78148	ADN ADMINISTRATORS, INC.	CONSULTANT	101-191-817-000	1,017.75
			CONSULTANT	101-191-817-000	983.25
			CONSULTANT	101-191-817-000	989.00
					2,990.00
04/30/2025	78149	AERO/PACIFIC DRAPERY	BUILDING IMPROVEMENTS - CITY HALL	101-267-976-101	1,800.00
04/30/2025	78150	AMAZON CAPITAL SERVICES	OFFICE SUPPLIES	101-172-728-000	17.75
			OFFICE SUPPLIES	101-191-728-000	20.16
			MAINTENANCE SUPPLIES - DPW	101-267-776-441	23.96
			SUPPLIES	101-345-728-000	68.33
			SUPPLIES	101-345-728-000	118.34
			FURNITURE	101-345-981-000	534.57

			FURNITURE	101-345-981-000	209.99
			VEHICLE SUPPLIES	101-443-781-000	47.99
			VEHICLE SUPPLIES	101-443-781-000	93.09
			VEHICLE SUPPLIES	101-443-781-000	249.99
			VEHICLE SUPPLIES	101-443-781-000	39.99
			VEHICLE SUPPLIES	101-443-781-000	5.99
			VEHICLE SUPPLIES	101-443-781-000	50.44
			VEHICLE SUPPLIES	101-443-781-000	376.77
			PROGRAM SUPPLIES	203-471-758-000	36.99
					<b>1,894.35</b>
04/30/2025	78151	ANDREA CHRISTINE NEIGHBORS	BBE23-0016 - PB23-0205	101-000-283-000	<b>755.00</b>
04/30/2025	78152	ANGELA RANDAZZO	OFFICE SUPPLIES	101-265-728-000	<b>79.98</b>
04/30/2025	78153	B&H PHOTO-VIDEO	TELECOMMUNICATIONS EQUIPMENT	101-250-984-002	<b>642.54</b>
04/30/2025	78154	BEACON ATHLETICS	PLAYGROUND/ATHLETIC	208-751-750-000	<b>1,039.99</b>
04/30/2025	78155	BERKLEY ANIMAL CLINIC	CONTRACTUAL SERVICES	101-430-818-000	<b>529.15</b>
04/30/2025	78156	BERKLEY AREA CHAMBER OF COMMERCE	ADVERTISING/MARKETING	248-726-901-000	<b>1,500.00</b>
04/30/2025	78157	BERKLEY SCHOOL DISTRICT	COMMUNITY EVENTS	101-741-932-100	<b>500.00</b>
04/30/2025	78158	BIG D LOCK CITY	MAINTENANCE SUPPLIES - DPW	101-267-776-441	8.00
			MAINTENANCE SUPPLIES - DPW	101-267-776-441	40.00
			BUILDING MAINTENANCE - CITY HALL	101-267-931-101	110.00
			BUILDING MAINTENANCE - PUB SAFETY	101-267-931-345	150.00
			VEHICLE MAINTENANCE - DPW	101-345-939-002	40.00
			VEHICLE MAINTENANCE - DPW	101-345-939-002	105.00
					<b>453.00</b>
04/30/2025	78159	BILLINGS LAWN EQUIPMENT	VEHICLE SUPPLIES	101-443-781-000	<b>138.29</b>

04/30/2025	78160	BLACKSTONE PUBLISHING	RENTED MATERIALS	101-790-978-001	<b>18.94</b>
04/30/2025	78161	BRENDEL'S SEPTIC TANK SERVICE, LLC	CONTRACTUAL SERVICES	208-751-818-000	176.07
			CONTRACTUAL SERVICES	208-751-818-000	176.07
			CONTRACTUAL SERVICES	208-751-818-000	620.00
			CONTRACTUAL SERVICES	208-751-818-000	176.07
			CONTRACTUAL SERVICES	208-751-818-000	300.00
			CONTRACTUAL SERVICES	208-751-818-000	155.00
					<b>1,603.21</b>
04/30/2025	78162	BROWNELLS, INC.	RANGE/TRAINING SUPPLIES	101-345-741-002	<b>125.92</b>
04/30/2025	78163	CGS, INC	PROFESSIONAL DEVELOPMENT	592-536-960-000	<b>2,010.00</b>
04/30/2025	78164	CINTAS	MEDICAL SUPPLIES	101-345-758-011	<b>85.49</b>
04/30/2025	78165	CLARKE MOSQUITO CONTROL	PROGRAM SUPPLIES	592-536-758-000	<b>5,898.84</b>
04/30/2025	78166	CMNTV	CABLE PRODUCTION	101-250-815-000	<b>991.92</b>
04/30/2025	78167	CMV LANDSCAPE & EQUIPMENT COMPANY	CONTRACTUAL SERVICES	592-536-818-000	560.00
			CONCRETE REPAIR	592-536-982-000	1,450.00
			CONCRETE REPAIR	592-536-982-000	9,087.00
			CONCRETE REPAIR	592-536-982-000	2,519.00
			CONCRETE REPAIR	592-536-982-000	3,427.00
			CONCRETE REPAIR	592-536-982-000	488.00
			CONCRETE REPAIR	592-536-982-000	7,039.00
					<b>24,570.00</b>
04/30/2025	78168	CONTRACTORS CONNECTION	UNIFORMS	101-441-744-000	262.50
			VEHICLE SUPPLIES	101-443-781-000	535.34
			PROGRAM SUPPLIES	202-475-758-000	299.88
			PROGRAM SUPPLIES	203-475-758-000	128.52

					<b>1,226.24</b>
04/30/2025	78169	CORE & MAIN LP	EQUIPMENT	592-536-982-592	<b>227.54</b>
04/30/2025	78170	DAILY TRIBUNE	BOOKS / PERIODICALS	101-790-731-000	<b>301.00</b>
04/30/2025	78171	DEALER AUTO PARTS SALES	VEHICLE MAINTENANCE - DPW	101-345-939-002	334.60
			VEHICLE MAINTENANCE - DPW	101-345-939-002	185.80
			VEHICLE SUPPLIES	101-443-781-000	140.00
			VEHICLE SUPPLIES	101-443-781-000	250.00
					<b>910.40</b>
04/30/2025	78172	DELANG FLUID POWER, INC.	VEHICLE SUPPLIES	101-443-781-000	43.60
			VEHICLE SUPPLIES	101-443-781-000	187.60
					<b>231.20</b>
04/30/2025	78173	DENITA WALKER	BOOKS / PERIODICALS	101-790-731-000	<b>364.00</b>
04/30/2025	78174	DURST LUMBER & ACE HARDWARE	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	26.99
			MAINTENANCE SUPPLIES - DPW	101-267-776-441	29.99
			PROGRAM SUPPLIES	203-471-758-000	13.18
			EQUIPMENT	592-536-982-592	10.58
					<b>80.74</b>
04/30/2025	78175	EMERGENCY DRAIN AND PLUMBING	BBP25-0011 - PUT25-0016	101-000-283-000	5,000.00
04/30/2025	78176	FERGUSON WATERWORKS #3386	PROGRAM SUPPLIES	592-536-758-000	404.63
			EQUIPMENT	592-536-982-592	1,032.02
					<b>1,436.65</b>
04/30/2025	78177	GARRETT DOOR CO.	BUILDING MAINTENANCE - DPW	101-267-931-441	<b>340.00</b>
04/30/2025	78178	GORDON FOOD SERVICE INC.	CONTRACTUAL SERVICES	211-752-818-000	<b>155.57</b>



04/30/2025	78179	GREAT LAKES WATER AUTHORITY	NONRESIDENTIAL SURCHARGE	592-536-928-000	<b>3,307.08</b>
04/30/2025	78180	GUNNERS METERS & PARTS INC.	EQUIPMENT	592-536-982-592	3,527.00
			EQUIPMENT	592-536-982-592	151.00
					<b>3,678.00</b>
04/30/2025	78181	HENRY FORD @ WORK	MEDICAL EXPENSES	101-172-835-000	327.00
			MEDICAL EXPENSES	101-191-835-000	264.00
			MEDICAL EXPENSES	101-441-835-000	95.00
			MEDICAL EXPENSES	101-441-835-000	94.00
			MEDICAL EXPENSES	592-536-835-000	95.00
			MEDICAL EXPENSES	592-536-835-000	94.00
					<b>969.00</b>
04/30/2025	78182	HERSCH'S INC.	PROGRAM SUPPLIES	202-471-758-000	21.75
			PROGRAM SUPPLIES	203-471-758-000	14.50
			PROGRAM SUPPLIES	203-471-758-000	21.75
					<b>58.00</b>
04/30/2025	78183	HOME DEPOT CREDIT SERVICES	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	<b>102.45</b>
04/30/2025	78184	HOOVER ELECTRIC INC	BSW25-0006 - PUT25-0013	101-000-283-000	<b>500.00</b>
04/30/2025	78185	HUBBELL, ROTH & CLARK	PROJECT ESCROW - PATTENGILL PROJECT	101-000-283-251	237.11
			PROJECT ESCROW ENGIN - BEAR FIELDHOUSE	101-000-283-252	588.17
					<b>825.28</b>
04/30/2025	78186	HUNT SIGN CO LTD	VEHICLE SUPPLIES	101-443-781-000	36.00
			PROGRAM SUPPLIES	226-528-758-000	264.00
					<b>300.00</b>
04/30/2025	78187	IMMEDIATE CONTRACTOR SERVICES	BBP24-0060 - PUT24-0155	101-000-283-000	<b>5,000.00</b>

04/30/2025	78188	J.H. HART URBAN FORESTRY	CONTRACTUAL SERVICES	202-468-818-000	1,749.65
			CONTRACTUAL SERVICES	202-468-818-000	1,982.50
			CONTRACTUAL SERVICES	203-468-818-000	4,082.51
			CONTRACTUAL SERVICES	203-468-818-000	4,625.83
					<hr/> 12,440.49
04/30/2025	78189	JACK DOHENY COMPANIES, INC.	VEHICLE MAINTENANCE	592-536-939-000	192.66
04/30/2025	78190	JOANNE SHINTAKU	SENIOR PROGRAMS	211-001-651-000	95.00
04/30/2025	78191	JOHNSON CONTROLS, INC.	HEAT/COOLING	101-265-976-002	112,660.60
			HEAT/COOLING	101-265-976-002	9,046.21
			BUILDING MAINTENANCE - CITY HALL	101-267-931-101	3,002.73
			BUILDING MAINTENANCE - DPW	101-267-931-441	368.95
					<hr/> 125,078.49
04/30/2025	78192	KATHY HARVEY	SENIOR PROGRAMS	211-001-651-000	95.00
04/30/2025	78193	KODEX, INC	DATA PROCESSING	101-345-814-000	245.00
04/30/2025	78194	KONICA MINOLTA BUSINESS SOLUTIONS	OFFICE EQUIPMENT RENTAL	101-441-946-000	12.77
			OFFICE EQUIPMENT MAINTENANCE	101-790-934-000	96.32
			OFFICE EQUIPMENT RENTAL	208-751-946-000	131.78
			OFFICE EQUIPMENT RENTAL	208-751-946-000	0.66
			OFFICE EQUIPMENT RENTAL	592-536-946-000	12.78
					<hr/> 254.31
04/30/2025	78195	LARA, BUREAU OF CONSTRUCTION CODES	BUILDING MAINTENANCE - PUB SAFETY	101-267-931-345	155.00
04/30/2025	78196	LEVINE & SONS INC	BBP25-0003 - PUT25-0004	101-000-283-000	5,000.00
04/30/2025	78197	MAIN'S LANDSCAPE SUPPLY	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	1,676.40

04/30/2025	78198	MALONEY TRUCKING	DPW CONTRACTUAL	592-536-830-000		<b>3,325.00</b>
04/30/2025	78199	MATTIE STEWART	CONTRACTUAL SERVICES	208-845-818-000		<b>770.00</b>
04/30/2025	78200	MCKENNA	CONTRACTUAL INSPECTIONS	101-745-822-003		<b>14,868.75</b>
04/30/2025	78201	MHRAC INC.	BBA23-0125 - PB23-0232	101-000-283-000		<b>100.00</b>
04/30/2025	78202	MICHIGAN GRAPHICS & AWARDS	OFFICE SUPPLIES	101-172-728-000	30.00	
			OFFICE SUPPLIES	101-172-728-000	90.00	
					<b>120.00</b>	
04/30/2025	78203	MINUTEMAN PRESS	SUPPLIES	101-345-728-000		<b>186.20</b>
04/30/2025	78204	MISDU	PAYROLL DEDUCTIONS	101-000-231-000	82.99	
			PAYROLL DEDUCTIONS	101-000-231-000	542.76	
					<b>625.75</b>	
04/30/2025	78205	MNC & ANC PROFESSIONAL SERVICES	BUILDING MAINTENANCE - CITY HALL	101-267-931-101	750.00	
			STREETSCAPE IMPROVEMENTS	248-902-972-200	8,000.00	
					<b>8,750.00</b>	
04/30/2025	78206	MORBARK, LLC	VEHICLE SUPPLIES	101-443-781-000		<b>167.55</b>
04/30/2025	78207	NELSON BROTHERS SEWER & PLUMBING	BUILDING MAINTENANCE -PARKS	208-267-931-208		<b>250.00</b>
04/30/2025	78208	OAKLAND COUNTY	DATA PROCESSING	101-345-814-000	6,490.25	
			DATA PROCESSING	101-345-814-000	1,207.25	
					<b>7,697.50</b>	
04/30/2025	78209	OVERDRIVE, INC.	DOWNLOADABLE CONTENT	101-790-731-001		1,225.42

			PROFESSIONAL DEVELOPMENT	101-790-960-000	299.00
					<b>1,524.42</b>
04/30/2025	78210	PATRICK KEMP	Refuse, Res.	226-001-629-001	32.27
			Water	592-001-642-000	189.52
			RTS	592-001-642-002	50.50
			Storm Water	592-001-642-003	155.55
					<b>427.84</b>
04/30/2025	78211	PKPERFORMANCE	PROGRAM SUPPLIES	208-821-758-000	<b>432.00</b>
04/30/2025	78212	POMP'S TIRE SERVICE, INC.	VEHICLE MAINTENANCE - DPW	101-345-939-002	48.00
			VEHICLE MAINTENANCE	101-443-939-000	746.40
					<b>794.40</b>
04/30/2025	78213	POWER BRAKE AND SPRING SERVICE CO	VEHICLE SUPPLIES	101-443-781-000	31.60
			VEHICLE SUPPLIES	101-443-781-000	31.60
			VEHICLE SUPPLIES	101-443-781-000	63.20
					<b>126.40</b>
04/30/2025	78214	PRINT MASTERS PRINTING CO.	POSTAGE-PRINTING-MAILING	101-741-730-000	<b>2,673.79</b>
04/30/2025	78215	PRINTING SYSTEMS	STATIONARY	592-536-729-000	<b>1,397.39</b>
04/30/2025	78216	PROGRESSIVE PLUMBING SUPPLY CO.	EQUIPMENT	592-536-982-592	<b>614.72</b>
04/30/2025	78217	REHRIG PACIFIC COMPANY	RUBBISH CARTS/RECYCLE BINS	226-000-110-004	<b>14,075.00</b>
04/30/2025	78218	RENU POWER TOOL & SUPPLY	EQUIPMENT	592-536-982-592	<b>238.70</b>
04/30/2025	78219	ROAD COMMISSION OF OAKLAND CO	CONTRACTUAL SERVICES	202-475-818-000	8,996.18
			EQUIPMENT MAINTENANCE	202-475-933-000	567.20
			EQUIPMENT MAINTENANCE	202-475-933-000	551.43

			EQUIPMENT MAINTENANCE	203-475-933-000	63.02
			EQUIPMENT MAINTENANCE	203-475-933-000	61.27
					<hr/> 10,239.10
04/30/2025	78220	ROTH ELECTRIC, INC	ELECTRICAL PERMITS	101-001-479-000	30.00
04/30/2025	78221	ROYAL OAK FORD	VEHICLE MAINTENANCE - DPW	101-345-939-002	133.36
04/30/2025	78222	SABO PR	CONTRACTUAL SERVICES	101-250-818-000	1,395.75
04/30/2025	78223	SANDOVAL HOMES LLC	BD24-0019 - PBD24-0020	101-000-283-000	1,000.00
04/30/2025	78224	SOCRRA	RUBBISH COLLECTION	226-528-818-001	34,383.52
			TRASH DISPOSAL	226-528-818-003	16,180.48
			TRASH DISPOSAL	226-528-818-003	1,055.12
					<hr/> 51,619.12
04/30/2025	78225	STAPLES	OFFICE SUPPLIES	101-441-728-000	94.00
			OFFICE SUPPLIES	592-536-728-000	96.64
					<hr/> 190.64
04/30/2025	78226	SUBURBAN FORD OF TROY	VEHICLE MAINTENANCE	101-345-939-000	169.00
04/30/2025	78227	SWEETWATER SPRINKLERS	BUILDING MAINTENANCE - LIBRARY	101-267-931-271	100.00
			BUILDING MAINTENANCE - DPW	101-267-931-441	100.00
			BUILDING MAINTENANCE - DPW	101-267-931-441	100.00
					<hr/> 300.00
04/30/2025	78228	THE LIBRARY NETWORK	BOOKS / PERIODICALS	101-790-731-000	22.40
			LIBRARY COOP	101-790-828-000	1,031.51
			LIBRARY COOP	101-790-828-000	9,439.75
			BOOKS	101-790-978-000	2,621.64
			RENTED MATERIALS	101-790-978-001	1,651.03
			CDBG EXPENSES-PROGRAM YEAR 2023-2024	275-902-818-046	588.61
					<hr/>

					<b>15,354.94</b>
04/30/2025	78229	THORNTON & GROOMS INC	BBP25-0009 - PUT25-0014	101-000-283-000	<b>5,000.00</b>
04/30/2025	78230	TOADVINE BOOKS	BOOKS	101-790-978-000	<b>134.30</b>
04/30/2025	78231	TRUCK & TRAILER SPECIALTIES, INC.	VEHICLES	101-441-985-000	<b>13,005.00</b>
04/30/2025	78232	UNEMPLOYMENT INSURANCE AGENCY	UNEMPLOYMENT	208-751-724-000	<b>60.00</b>
04/30/2025	78233	UNITED FACILITY SUPPLIES	MAINTENANCE SUPPLIES - CITY HALL	101-267-776-101	64.58
			MAINTENANCE SUPPLIES - LIBRARY	101-267-776-271	139.75
			MAINTENANCE SUPPLIES - PUB SAFETY	101-267-776-345	402.58
			MAINTENANCE SUPPLIES - PARKS	208-267-776-208	149.44
					<b>756.35</b>
04/30/2025	78234	VERIZON WIRELESS	TELEPHONE	101-172-853-000	177.00
			TELEPHONE	101-191-853-000	45.50
			TELEPHONE	101-215-853-000	81.00
			SOFTWARE MAINT AND SUBSCRIPTIONS	101-228-760-000	135.00
			CONTRACTUAL SERVICES	101-228-818-000	40.02
			TELEPHONE	101-228-853-000	151.03
			TELEPHONE	101-250-853-000	81.07
			TELEPHONE	101-345-853-000	288.79
			TELEPHONE	101-430-853-000	40.50
			TELEPHONE	101-441-853-000	251.23
			TELEPHONE	101-701-853-000	91.00
			TELEPHONE	101-790-853-000	45.50
			CONTRACTUAL SERVICES	208-751-818-000	45.50
			TELEPHONE	208-751-853-000	264.83
			CONTRACTUAL SERVICES	208-754-818-000	384.49
			TELEPHONE	211-755-853-000	41.11
			TELEPHONE	248-722-853-000	40.50
			TELEPHONE	592-536-853-000	306.24
					<b>2,510.31</b>

04/30/2025	78235	VESCO OIL CORPORATION	FUEL & OIL	101-441-751-000	109.75
			FUEL & OIL	101-441-751-000	917.25
					<hr/> 1,027.00
04/30/2025	78236	WENDY EVANS	PROGRAM SUPPLIES-CONTRIBUTIONS - LIBRARY	101-790-758-005	175.00
04/30/2025	78237	WM R CURTIS, INC	BBP23-0012 - PUT23-0059	101-000-283-000	5,000.00
04/30/2025	78238	WM R CURTIS, INC	BBP23-0005 - PUT23-0011	101-000-283-000	5,000.00
		TOTAL - ALL FUNDS	TOTAL OF 208 CHECKS		<hr/> <hr/> 1,611,341.53

DATE	VENDOR	AMOUNT
4/1/2025	A D N DENTAL	\$ 25,000.00
4/3/2025	DTE ENERGY	\$ 32.01
4/3/2025	DTE ENERGY	\$ 226.82
4/3/2025	CONSUMERS ENERGY	\$ 1,862.81
4/3/2025	CONSUMERS ENERGY	\$ 995.66
4/3/2025	CONSUMERS ENERGY	\$ 536.13
4/3/2025	CONSUMERS ENERGY	\$ 1,137.18
4/3/2025	CONSUMERS ENERGY	\$ 1,784.88
4/3/2025	CONSUMERS ENERGY	\$ 855.05
4/4/2025	DTE ENERGY	\$ 4,368.66
4/4/2025	DTE ENERGY	\$ 17.65
4/4/2025	DTE ENERGY	\$ 83.38
4/4/2025	DTE ENERGY	\$ 90.12
4/4/2025	DTE ENERGY	\$ 476.00
4/4/2025	DTE ENERGY	\$ 31.17
4/4/2025	DTE ENERGY	\$ 540.90
4/4/2025	DTE ENERGY	\$ 71.91
4/4/2025	DTE ENERGY	\$ 139.62
4/4/2025	DTE ENERGY	\$ 2,093.46
4/4/2025	DTE ENERGY	\$ 23.72
4/4/2025	ALERUS	\$ 16,873.19
4/4/2025	ALERUS	\$ 6,478.58
4/4/2025	ALERUS	\$ 1,534.95
4/4/2025	ALERUS	\$ 4,072.09
4/4/2025	MERS	\$ 105,282.53
4/7/2025	DTE ENERGY	\$ 599.28

4/9/2025	CREDIT CARD PAYMENT	\$	16,009.84
4/10/2025	UNION DUES	\$	360.00
4/10/2025	MISSIONSQUARE	\$	23,554.94
4/10/2025	UNION DUES	\$	185.84
4/10/2025	UNION DUES	\$	330.00
4/10/2025	UNION DUES	\$	720.00
4/10/2025	IRS TAX PAYMENT	\$	74,220.46
4/10/2025	ALERUS	\$	5,049.67
4/10/2025	ALERUS	\$	1,536.78
4/10/2025	ALERUS	\$	4,072.09
4/10/2025	NATIONWIDE	\$	6,432.45
4/10/2025	NATIONWIDE	\$	2,095.82
4/11/2025	DTE ENERGY	\$	20,538.61
4/16/2025	PNP BILL PAYMENT	\$	70.00
4/16/2025	THE HARTFORD	\$	357.75
4/16/2025	THE HARTFORD	\$	5,373.23
4/16/2025	DTE ENERGY	\$	57.64
4/16/2025	DTE ENERGY	\$	782.77
4/23/2025	PNP BILL PAYMENT	\$	194.47
4/23/2025	STATE OF MICHIGAN - PAYROLL TAX	\$	25,178.36
4/24/2025	UNION DUES	\$	185.84
4/24/2025	UNION DUES	\$	360.00
4/24/2025	UNION DUES	\$	720.00
4/24/2025	MISSIONSQUARE	\$	3,123.62
4/24/2025	IRS TAX PAYMENT	\$	72,802.06
4/24/2025	ALERUS	\$	7,008.82
4/24/2025	ALERUS	\$	1,538.53
4/24/2025	ALERUS	\$	4,453.25
4/24/2025	MERS	\$	105,733.16
4/24/2025	NATIONWIDE	\$	2,075.29
4/24/2025	NATIONWIDE	\$	6,331.30
4/30/2025	IRS TAX PAYMENT	\$	15,671.63
4/30/2025	ALERUS	\$	16,879.75
4/30/2025	PITNEY BOWES - POSTAGE	\$	4,000.00
TOTAL OF ACH TRANSACTIONS		\$	603,211.72

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GRAND TOTAL

\$ 2,214,553.25

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Bridget Dean, Mayor

ATTEST:

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Victoria Mitchell, City Clerk



AN  
ORDINANCE

of the City Council of the City of Berkley, Michigan to add Article III, Workforce Housing PILOT to Chapter 114 Taxation, of the City of Berkley Code of Ordinances to provide for approval of an exemption from ad valorem property taxes for housing being developed or rehabilitated for workforce housing for persons and families whose household income is not greater than 120% of area median income, as authorized by provisions of the State Housing Development Authority Act of 1966, Public Act 346 of 1966. MCL 125.1401, et seq.

**THE CITY OF BERKLEY  
ORDAINS:**

**SECTION 1:** Chapter 114 of the Berkley City Code is amended, as follows:

**Chapter 114 TAXATION**

Article I – Article II     [Unchanged.]

**ARTICLE III. WORKFORCE HOUSING PILOT**

**SECTION 114-24.**     Title. This ordinance shall be known and cited as the “City of Berkley Workforce Housing PILOT Ordinance.”

**SECTION 114-25.**     Preamble.

It is a proper public purpose for the City of Berkley to encourage the development or rehabilitation of workforce housing for persons and families whose household income is not greater than 120% of area median income by exempting such housing from all ad valorem property taxes imposed by any taxing jurisdiction and providing for payment of an annual service charge for public services in lieu of all such taxes. A PILOT, or service charge payment in lieu of taxes, is an effective means of incentivizing the construction of workforce house. A stable and predictable service charge paid in lieu of all ad valorem property taxes for a fixed period is essential to the determination of the economic feasibility of workforce housing projects developed or rehabilitated in reliance on such tax exemption. The City of Berkley is authorized by section 15a of Public Act 346 of 1966, as amended, MCL 125.1415a, to establish, or change by any amount it chooses, the service charge to be paid in lieu of all ad valorem taxes in accordance with section 15a with respect to new or rehabilitated workforce housing, but not an amount that exceeds the taxes that would be paid but for this authorization or the other limitations imposed

by that section. Because workforce housing for individuals and families whose household income is not greater than 120% of area median income is a public necessity, and because the City of Berkley will be benefited and improved by such housing, encouraging the same through an ad valorem property tax exemption is a valid public purpose.

**SECTION 114-26. Definitions.**

- (A) "Accessible Design" means the design of site layouts, building layouts and building features where the needs of people with disabilities are specially accounted for.
- (B) "Authority" means the Michigan State Housing Development Authority.
- (C) "Additional Amount" means an amount equal to the difference between the following:
  - (1) the millage rate levied for operating purposes by the County multiplied by the current Taxable Value of a workforce housing project for which a PILOT Resolution has been adopted, and
  - (2) the amount of the annual service charge paid in lieu of ad valorem property taxes by the housing project under subsection (4)(C) that is distributed to the County pursuant to MCL 125.1415a(5).
- (D) "Annual Shelter Rent" means the total collections during an agreed annual period from or paid on behalf of the occupants of a housing project representing rent or occupancy charges, exclusive of charges for gas, electricity, heat, or other utilities furnished to the occupants and paid for by the housing project.
- (E) "Area median Income" means the midpoint of income distribution for the Detroit-Warren-Livonia area as determined by the Department of Housing and Urban Development.
- (F) "County" means the County of Oakland, State of Michigan.
- (G) "PILOT Resolution" means a project-specific resolution adopted by the City Council of the City of Berkley that approves a housing project for exemption under this ordinance.
- (H) "Rehabilitation" means the process of renovating properties to improve their condition, functionality and value by repairing structural problems, adding features, modernizing layouts and improving energy efficiency. This does not include minor aesthetic upgrades such as paint, cabinet replacement, etc.
- (I) "Restrictive Covenant" means a recorded agreement between Sponsor and the City of Berkley running with the land that restricts the use of the housing project to workforce housing, as defined in this ordinance, for a period not to exceed 15 years, or such greater or lesser period of time as may be authorized by state law and as may be required by the PILOT Resolution.

- (J) "Sponsor" means any person or entity applying for a workforce housing exemption under this ordinance and includes any person or entity who subsequently owns the housing project.
- (K) "Taxable Value" means taxable value as calculated under section 27a of the general property tax act, 1893 PA 206, MCL 211.27a.
- (L) "Universal Design" means the design of site layouts, building layouts and building features that are usable by all people, to the greatest extent possible, without the need for adaptation or specialized design.
- (M) "Workforce housing" means rental units or other housing options that are reasonably affordable to, and occupied by, a household whose total household income is not greater than 120% of the area median income published by the United States Department of Housing and Urban Development.

**SECTION 114-27. Authorization and Establishment of Workforce Housing Exemption.**

- (A) The class of housing projects to which the tax exemption applies and for which a service charge may be paid in lieu of all ad valorem property taxes are housing projects being developed or rehabilitated for workforce housing.
- (B) Subject to the recording of a Restrictive Covenant, workforce housing and the property on which such housing is or will be located is exempt from all ad valorem property taxes as of December 31 of the year in which construction or rehabilitation commences. Construction must start within one year of the date of the Authority's notification of exemption or such longer period of time as may be provided by the PILOT Resolution.
- (C) The City of Berkley will accept payment of an annual service charge in lieu of all ad valorem property taxes for public services from the owner of a housing project for which the City of Berkley has received a certified notification of exemption from the Authority in accordance with the following:
  - (1) Subject to subsections (D), (E) and (F), for a new construction project, an amount that is the greater of the tax on the property on which the project is located for the tax year proceeding the date on which the construction is commenced or 10% of the Annual Shelter Rent obtained from the project.
  - (2) Subject to subsections (D), (E) and (F), for a rehabilitation project, an amount that is the lesser of the tax on the property on which the project is located for the tax year proceeding the date on which rehabilitation is commenced or 10% of the Annual Shelter Rent obtained from the project.

- (3) The service charge paid in lieu of taxes shall not exceed the amount in ad valorem taxes that the Sponsor would have otherwise paid if the workforce housing project were not tax exempt.
- (D) Notwithstanding the provisions of MCL 125.1415a(3)(b) and 125.1415a(7) to the contrary, upon the adoption of a PILOT Resolution and receipt of a certified notification of exemption from the Authority, a contract is be deemed effected between the City of Berkley and the Sponsor, to provide a tax exemption and accept service charge payments in lieu of taxes as previously described by this section.
- (E) Notwithstanding subsection (C), the service charge paid each year in lieu of taxes for that part of a workforce housing project that is tax exempt under this ordinance but not used for workforce housing must be equal to the full amount of the taxes that would be paid on that portion of the project as if the project were not tax exempt. The owner of the project must allocate the benefits of any tax exemption granted pursuant to this ordinance exclusively to workforce housing or to the maintenance and preservation of the housing project as a safe, decent, and sanitary workforce housing.
- (F) The annual service charge under subsection (C) for a workforce housing project for which a PILOT Resolution has been adopted must be increased by the Additional Amount if both of the following requirements are met:
- (1) Not later than 45 days after the County Treasurer's receipt of the certified notification of exemption, the County Board of Commissioners passes a resolution, by majority vote, that provides that the Additional Amount must be paid.
- (2) The approval of the resolution described in subparagraph (1) is in accordance with an ordinance or resolution adopted by the County Board of Commissioners establishing the factors to be considered when assessing whether the Additional Amount must be paid.

**SECTION 114-28. Workforce Housing Exemption Application, Review and Approval Process.**

- (A) The Sponsor of a workforce housing project must own the property that is the subject of the application or must be the purchaser under a purchase or option agreement or otherwise demonstrate that they have control over the property. The property that is the subject of the application must be zoned for the intended use at the time of application.
- (B) Prior to applying for a workforce housing exemption, the Sponsor is required to meet with the City Manager, Treasurer, Assessor, and any other person as may be designated by the City Manager and present the proposed workforce housing project. The presentation must include a description of the Sponsor's organizational structure and development experience, a narrative describing the scope of the

workforce housing project, including location, number and type of units, typical floor plans and exterior elevations, the targeted median income and proposed rent limits, a schedule with projected milestones, a development income and expense pro forma (including the estimated Annual Shelter Rents), and a ten-year cash flow projection.

- (C) The Sponsor must submit its request for a workforce housing exemption using the form provided by the City Manager and including the information identified in subsection (B).
- (D) If a complete application is received, the City Manager will forward the application to be considered by City Council at a regularly scheduled City Council meeting within sixty (60) days of receipt of the completed application.
- (E) When reviewing an application for a workforce housing exemption, the decision to approve or deny the request must increase the number of available workforce housing units in the city and be guided by the City Council's consideration of the following factors:
  - (1) Whether the workforce housing project will reduce the functional obsolescence of an existing building or housing unit(s).
  - (2) Whether the workforce housing project is likely to encourage expansion of the population of the City.
  - (3) Whether the location of the workforce housing project is consistent with the goals and objectives of the City's Master Plan.
  - (4) Whether the development or rehabilitation of the workforce housing project complies with ordinance provisions and does not require zoning variances or results in the elimination of a nonconforming use.
  - (5) Whether the workforce housing project will include a level of amenities desired by or appropriate for the community.
  - (6) Whether the workforce housing project will add attractive, viable housing units to the community.
  - (7) Whether the workforce housing project incorporates green technologies or energy-efficient components.
  - (8) Whether the workforce housing project incorporates accessible design and/or universal design principles.
  - (9) Whether the workforce housing project exceeds the general cost of providing city services to the property.

- (F) Approval of an exemption for a workforce housing project requires passage of a PILOT Resolution by a majority vote of the City Council that includes the findings with respect to the standards of subsection (E) above.
- (G) If the workforce housing exemption application is approved, the City Clerk will deliver to the Sponsor a certified copy of the resolution approving the application.
- (H) To defray the administrative cost of processing an application for a workforce housing exemption, the City Council must include a workforce housing application fee in its annually adopted fee schedule.

**SECTION 114-29. Authority Affidavit and Assessor Notification.**

- (A) Following adoption of the PILOT Resolution, the Sponsor must submit an affidavit to the Authority in the form required by the Authority for certification by the Authority that the project is eligible for the workforce housing exemption.
- (B) Upon receipt of notification from the Authority that the project is eligible for a workforce housing exemption, the Sponsor or the Authority must file the certified notification of exemption with the City Assessor before November 1 of the year preceding the tax year in which the exemption is to be effective.
- (C) Not later than 5 business days after receipt of the certified notification of exemption, the City Assessor must provide a copy of the certified notification of exemption to the County Treasurer.

**SECTION 114-30. Payment of PILOT.**

- (A) No later than April 1, or such other date provided for in the PILOT Resolution, Sponsor must submit to the City Treasurer, Sponsor's budget for Annual Shelter Rent for the current calendar year and a copy of Sponsor's audited financial statements for the preceding calendar year, prepared in accordance with generally accepted auditing standards or, if Sponsor is not subject to an audit requirement, Sponsor's compiled financial statements for the preceding calendar year prepared in accordance with generally accepted accounting principles and certified by Sponsor. Within 30 days of receipt of the foregoing documents, the City Treasurer will issue an invoice showing the PILOT payment due for the current year, which payment is due no later than July 1.
- (B) Except as otherwise provided in this section and section 114-27, any payments for public services under this ordinance must be distributed to the governmental units levying the general property tax in the same proportion as prevailed with the general property tax in the previous calendar year. The distribution to those governmental units must be made as if the number of mills levied for local school district operating

purposes were equal to the number of mills levied for the purposes in 1993 minus the number of mills levied under the state education tax act, 1993 PA 331, MCL 211.901 to 211.906, for the year for which the distribution is calculated. The amount of payments in lieu of taxes to be distributed to a local school district for operating purposes under this subsection must not be distributed to the local school district but instead must be paid to the state treasury and credited to the state school aid fund established by section 11 of article IX of the state constitution of 1963.

- (C) Any PILOT payment or portion of PILOT payment remaining unpaid as of the due date will bear interest at 1% per month and require payment of a 3% penalty fee. The collection of past due PILOT payments must otherwise be in accordance with the provisions of Chapter 211 of the General Property Tax Act, Act 206 of 1893, as amended; MCL 211.44 et seq.

**SECTION 114-31. Duration and Recorded Restrictive Covenant.**

- (A) A workforce housing project approved for an exemption by a PILOT Resolution must be encumbered by a Restrictive Covenant recorded in the office of the Register of Deeds for the County.
- (B) The Restrictive Covenant must acknowledge:
  - 1) That the economic feasibility of the workforce housing project depends on the approval and continuing effect of the payment in lieu of all ad valorem taxes as approved by the PILOT resolution;
  - 2) That the City agreement to accept payment of an annual service charge in lieu of all ad valorem taxes in consideration of the Sponsor's offer to construct or rehabilitate workforce housing; and
  - 3) That the amount of the annual service charge to be paid for each operating year.
- (C) The Restrictive Covenant must provide:
  - 1) For the reporting and monitoring of the Sponsor's compliance with the Restrictive Covenant, this ordinance and the PILOT Resolution;
  - 2) That the Restrictive Covenant is enforceable by City and any Tenants to be benefitted at law or in equity;
  - 3) Other remedies available to the City for non-compliance, including termination of the exemption and repayment of all prior years' tax savings under the workforce housing exemption after notice and hearing; and
  - 4) That the Restrictive Covenant cannot be modified or terminated except in a written instrument executed by the Sponsor or then current owner and the City.

**SECTION 2: Severability Clause**

Should any word, phrase, sentence, paragraph, or section of this Ordinance be held invalid or unconstitutional, the remaining provisions of this ordinance remain in full force and effect.

**SECTION 3: Penalty**

All violations of this ordinance are municipal civil infractions and upon determination of responsibility therefore are punishable by a civil fine of not more than \$500, and/or such other sanctions and remedies as prescribed in Article IX of Chapter 82 of the Code of Ordinances.

**SECTION 4: Effective Date**

This Ordinance becomes effective 30 days following the date of adoption.

**SECTION 5: Publication**

The City Council directs the City Clerk to publish a summary of this ordinance in compliance with Public Act 182 of 1991, as amended, and Section 6.5 of the Berkley City Charter.

Introduced on the First Reading at the Regular City Council Meeting on Monday, May 5, 2025.

Adopted on the Second Reading at the Regular City Council Meeting on Monday, May 19, 2025.

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Bridget Dean, Mayor

Attest:

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Victoria Mitchell, City Clerk



# MEMORANDUM

To: Mayor Dean and City Council  
From: Kristen Kapelanski, Community Development Director  
Date: May 19, 2025  
Subject: Second reading to add Article III, Workforce Housing PILOT to Chapter 114 Taxation of the City of Berkley Code of Ordinances

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Madam Mayor and Members of City Council,

## Background

- The State Housing Development Authority Act was passed in 1966 to provide opportunities for low income housing with federal funding administered by the Michigan State Housing Development Authority (MSHDA). This is accomplished through a Payment in Lieu of Taxes (PILOT) system.
- In 2022, recognizing that there is a gap between low income housing and market rate housing and with the intention to increase the supply and affordability of housing, the State Legislature expanded opportunities for local communities to use similar incentives to promote workforce housing (defined as 80%-120% of the area median income), without the involvement of MSHDA.
- As part of this development incentive, a developer or property owner pays a set percentage of rental income (1% - 10%) instead of a standard property tax for 15 years, with optional extensions.
- The City's Master Plan identified diversifying housing choices to accommodate various populations, ages and incomes as a goal. Adding additional units to communities helps to lower the cost of housing in the community and regionally. Multi-family units, in particular, are a way to add population capacity to already built out communities. This goal and its implementation are reflected in the expansion of multi-family housing opportunities in zoning districts throughout the City's main corridors. The second piece of implementing this goal is to encourage the construction of these new units.
- The City Council approved the first reading of the ordinance on May 5, 2025.

## Summary

- The proposed PILOT ordinance allows the City to negotiate a yearly payment from 1% - 10% of rental income on a project by project basis as a replacement for standard property tax. This negotiation can also include other public benefits related to the project.
- The ordinance is only applicable to workforce housing (defined as 80%-120% of the area median income) and does not include any low income housing.

- The ordinance can be utilized for brand new housing developments but could also include rehabilitated properties, as defined in the ordinance definitions.

**Recommendation**

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to approve the second reading to add Article III, Workforce Housing PILOT to Chapter 114 Taxation, of the City of Berkley Code of Ordinances to provide for approval of an exemption from ad valorem property taxes for housing being developed or rehabilitated for workforce housing for persons and families whose household income is not greater than 120% of the area median income, as authorized by provisions of the State Housing Development Authority Act of 1966, Public Act 346 of 1966, MCL 125.1401, et. seq.

**A RESOLUTION**  
**OF THE COUNCIL OF THE CITY OF BERKLEY, MICHIGAN**  
**AUTHORIZING THE DECERTIFICATION OF LOCAL ROADWAYS**

**WHEREAS,** The City of Berkley does wish to decertify a portion of Royal Ave. This decertification of Royal Ave is located between 12 Mile approach and the Hartfield Lanes parking lot wall for a total decertification length of -250 feet.

**WHEREAS,** The City of Berkley does wish to decertify a portion of Henley Ave. This decertification of Henley Ave is located between Harvard approach and the house for a total decertification length of -140 feet.

**WHEREAS,** The City of Berkley does wish to decertify a portion of Larkmoor Blvd. This decertification of Larkmoor Blvd is located between the Woodward approach and the Westborn Market parking lot wall for a total decertification length of -235 feet.

**WHEREAS,** The City of Berkley does wish to decertify a portion of Sunnyknoll Ave. This decertification of Sunnyknoll Ave is located between the Robina Ave approach and the Sunnyknoll roundabout at the Community Center for a total decertification length of -75 feet.

**NOW, THEREFORE, BE IT RESOLVED THAT THE CITY OF BERKLEY HEREBY:**

Authorizes the decertification of the aforementioned portions of Royal Avenue, Henley Avenue, Larkmoor Boulevard, and Sunnyknoll Avenue, and directs the appropriate city officials to take all necessary actions to effectuate this resolution in accordance with applicable laws and procedures.

At a regular meeting of the City of Berkley, Michigan, held at the city hall on Monday, May 19, 2025, the resolution was offered by member\_\_\_\_\_, and supported by member\_\_\_\_\_.

\_\_\_\_\_  
Bridget Dean, Mayor

Attest:

\_\_\_\_\_  
Victoria Mitchell, City Clerk

I, Victoria Mitchell, being duly appointed City Clerk of the City of Berkley, hereby certify that this is a true and correct copy of Resolution **No. R-05-25**, which was approved by the Berkley City Council at its regular meeting held on Monday, May 19, 2025.

\_\_\_\_\_  
Victoria Mitchell, City Clerk



**CITY OF BERKLEY**  
**DEPARTMENT OF PUBLIC WORKS**  
3238 BACON AVE, BERKLEY, MICHIGAN 48072

# MEMORANDUM

To: Mayor Dean and City Council  
From: Adam Wozniak, Superintendent of Public Works *aw*  
Date: May 7, 2025  
Subject: Resolution for authorizing the Decertification/Vacation of Local Rodeway

---

Madam Mayor and Members of City Council,

## Background

Public Act 51 requires that each incorporated city and village sign and submit the annual map and requested changes to the Data Inventory and Integration Division, Michigan Department of Transportation.

## Summary

- Public Act 51 mileage certification for cities and villages information is reviewed on a yearly basis.
- MDOT has pointed out 4 areas of concern in the City of Berkley which we would have to decertify roughly 700 feet.
- (Royal) The 12 Mile Road approach to the parking lot wall that closes off the pass through to the rest of Royal. (-250 Feet)
- (Henley) We had an extension of Henley that went North past Harvard, where new homes were built. (-140 Feet)
- (Larkmoor) Woodward approach to the parking lot wall that closes off the pass through to the rest of Larkmoor. (-235 Feet)
- (Sunnyknoll) Robina to the Sunnyknoll round about that is closed off at the Community Center. (-75 Feet)

[illegible]





Phillips

Oakshire

Royal

Oakshire

Buckingham

Royal

W 12 Mile Rd

Phillips

Oakshire

Royal

Buckingham

















Gardner

Robina

Wakefield

Cum

Kenn

Catalpa Dr

Robina

Kipling

Sunnyknoll

Oxford

Kipling

Oxford

May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember  
\_\_\_\_\_ to approve the Southeastern Oakland County Public Works Association joint  
and cooperative agreement.

Ayes:

Nays:

Absent:

Motion:





**CITY OF BERKLEY**  
**DEPARTMENT OF PUBLIC WORKS**  
3238 BACON AVE, BERKLEY, MICHIGAN 48072

# MEMORANDUM

To: Mayor Dean and City Council  
From: Adam Wozniak, Superintendent of Public Works *aw*  
Date: May 8, 2025  
Subject: Joint and Cooperative agreement for use of personnel and equipment during emergencies with SOCPWA

---

Madam Mayor and Members of City Council,

## Background

In the interest of emergency preparedness and fiscal responsibility, the City of Berkley and the Southeastern Oakland County Public Works Association (SOCPWA) wish to continue an agreement for shared personnel, equipment and materials. As you know, these resources become extremely valuable during and after a natural disaster.

## Summary

- The City of Berkley has been apart of the SOCPWA since 1986, when it was approved by City Council.
- The current agreement is outdated and has been revised to work with today's standards.
- We utilized this program and asked for assistance when we had our major flood issues in 2014. Neighboring community (Southfield) stepped in and helped with our trash collection.
- A total of 19 communities along with SOCRRRA/SOCWA are all included in this agreement.
- We currently use this as our framework for handling material, equipment, and labor shortages in emergency and non-emergency situations. It is a great regional partnership that helps all of the communities involved.

## Recommendation

It is my recommendation that we continue working with SOCPWA and agree to updating the outdated joint and cooperative agreement that is stated above.

**JOINT AND COOPERATIVE AGREEMENT  
FOR USE OF  
PERSONNEL AND EQUIPMENT DURING EMERGENCIES**

---

**SOUTHEASTERN OAKLAND COUNTY PUBLIC WORKS ASSOCIATION  
PUBLIC WORKS MUTUAL AID AUTHORITY**

**I. PURPOSE**

The member communities of the Southeastern Oakland County Public Works Association (SOCPWA) recognize that they have authority pursuant to the provisions of Public Act 35 of 1951, an Act to authorize intergovernmental contracts between municipal corporations and to authorize any municipal corporation to contract with any other person or any other municipal corporation; to furnish any lawful municipal service to property outside the corporate limits of the first municipal corporation for consideration. The result establishes a regional mutual aid association, to be known as the Public Works Mutual Aid Authority, representative of the various communities with authority and responsibilities relating to utilization of resources to counteract natural and man-made disasters common to all communities, together with the power and authority to implement such services as set forth herein

**II. DEFINITION OF TERMS**

For purposes of this Agreement, the terms defined in this section shall have the meanings given them.

1. *Party* means a governmental unit which is a party to this Agreement.
2. *Eligible party* means a governmental or corporation unit which is entitled to become a party to this Agreement, at its own option.
3. *Requesting party* means a party which requests assistance from other parties.
4. *Responding party* means a party which provides assistance to a requesting party.
5. *Assistance* includes personnel, materials and equipment.
6. *Requesting official* means the person who has been designated by the requesting party to request assistance from other parties.
7. *Responding official* means the person who has been designated by a party to determine whether and to what extent that party should provide assistance to a requesting party.
8. *Emergency* means a sudden and unforeseen situation requiring immediate action beyond the requesting party's capability.
9. *Authority Secretary* means the secretary of the Public Works Mutual Aid Authority.



10. *Public Works Mutual Aid Authority* means the organization formed by the Southeastern Oakland County Public Works Association to meet emergency situations within the boundaries of its member communities.

### III. PARTIES

1. The parties to this Agreement shall consist of members of the Southeastern Oakland County Public Works Association and shall be known as the Public Works Mutual Aid Authority. Upon the adoption of a resolution by its governing body, an executed copy of this Agreement shall be forwarded by the member party together with a certified copy of the resolution authorizing the Agreement.
2. The Authority Secretary shall maintain a current list of the parties to this Agreement. Whenever there is a change of the parties to this Agreement, the Authority Secretary shall notify the designated responding official of each of the parties of such change.

### IV. PROCEDURE

1. Each party shall designate and keep on file with the Authority Secretary the name of the person of that party who shall be its requesting official and responding official. A party may designate alternate officials to act in the absence of the primary official.
2. Whenever, in the opinion of a requesting official of a party, there is a need for assistance from other parties to assist the requesting party, such requesting official may, at his or her discretion, call upon the responding official of any other party to furnish assistance to and within the boundaries of the requesting party. It is the intention of the parties to this Agreement to cooperate in the event of an emergency by making available to a requesting party necessary or requested personnel, materials, and equipment without undue delay.
3. Upon the receipt of a request for assistance from a party, the responding official for any other party may authorize and direct the personnel of the responding party to provide assistance to the requesting party. Whether the responding party shall provide such assistance to the requesting party, and, if so, to what extent such assistance shall be provided, shall be determined solely by the responding official subject to such supervision and direction as may be applicable for him or her within the governmental structure of the party by which he or she is employed. Failure to provide assistance will not result in liability to any party.
4. When a responding party provides assistance under the terms of this Agreement, it may in turn request assistance from other parties as "back-up" during the time that it is providing assistance outside its boundaries.
5. Whenever a responding party has provided assistance to a requesting party, the responding official may at any time recall such assistance or any part thereof to

the responding party, if the responding official in his best judgment deems this is in the best interest of his own agency.

6. When a responding party supplies equipment and personnel to a requesting party, said equipment and personnel shall remain under the direction and control of the responding party; shall be paid by the responding party; shall be protected by the Worker's Compensation of the responding party; and shall otherwise be deemed to be performing their regular duties for the responding party. However, the responding party shall undertake to coordinate with the requesting party the assistance which it provides. The requesting party shall provide all routine fuelling and servicing of respondents' equipment and materials, and shall assume all costs thereof during the assistance period.
7. A responding party shall be responsible for its own personnel, equipment, and materials and for injuries or death to any personnel, or damage to any such equipment or materials, except that unused equipment and materials provided by the responding party shall be returned to the responding party by the requesting party when circumstances permit this to be done.
8. The requesting and responding parties may review any equipment repaired to determine if such repair was directly related to the emergency operation. If mutually agreed that repairs are required, they shall be the responsibility of the requesting party. Any disagreement which cannot be resolved by the responding and requesting parties shall be resolved by a committee established from the Public Works Mutual Aid Authority. Materials and supplies used by the responding party at the request or direction of the requesting party shall be reimbursed by the requesting party to the responding party.
9. An emergency response by a responding party, which is provided on a "gratis" basis, shall be limited to a maximum of forty-eight (48) hours duration. After such time, the responding party shall be reimbursed for labor and equipment by the requesting party. During this period of time, the requesting party shall actively seek to engage outside contractors to conduct the work being done by the responding party so as to expedite the return of the responding party to its home community.
10. The responding party shall maintain such records of the cost of labor, equipment and materials provided; and hours of work or operation as deemed necessary for recovery of costs in the event the incident becomes eligible for Federal or State Disaster Assistance. If declared eligible, these costs shall then be reimbursed by the requesting party in full or in a prorata share of assistance provided.
11. The requesting party shall not be responsible for any injuries, losses, or damages to persons or property arising out of the acts of any of the personnel of a responding party. Nor shall the responding party be responsible for injuries, losses or damages arising out of the acts of any of the personnel of the requesting party or the personnel of any other responding party.

12. Technical service and assistance of non-emergency nature may be requested and/or provided by the parties to this Agreement.

#### V. INSURANCE

Each party to this Agreement shall maintain appropriate insurance policies covering personal and public liability. Said policies shall cover damage or injury caused by negligent operation of its vehicles while operating under the terms of this Agreement outside of its corporate limits or contract areas.

#### VI. RESPONSIBILITY PROVISION

Each party agrees that it shall be responsible for any and all claims, costs, actions, causes of action, losses or expenses – including attorney fees, resulting from or caused by its acts or omissions, the acts or omissions of its employees, officers, or officials, pursuant to this Agreement.

Each party shall be responsible for any claims made against that party and for the acts of its respective officers, officials and employees. For any claims that may arise from the performance of this Agreement, each party shall seek its own legal representation and bear the costs associated with such representation including any attorney fees. Except as otherwise provided in this Agreement, none of the parties shall have any right under any legal principle to be indemnified by either of the other parties or any of the other parties' respective officers, officials, or employees in connection with any claim. For purposes of this paragraph, the term "claims" shall mean and include any alleged losses, claims, complaints, demands for relief or damages, suits, causes of action, proceedings, judgments, deficiencies, liability, penalties, litigation, costs and/or expenses of any kind which are imposed upon, incurred by, or asserted against a party.

Nothing in this Agreement is intended, nor shall it operate, to diminish, delegate, divest, impair, or contravene any constitutional, statutory, and/or other legal right, privilege, power, obligation, duty, capacity, immunity or character of office including, but not limited to, governmental immunity on behalf of the parties to this Agreement or any of their respective employees, appointees, officials or agents.

#### VII. COMPLETE AGREEMENT

The parties agree that the conditions set forth in this Agreement sets forth all terms and conditions of this Agreement. This Agreement supersedes all prior agreements or understandings between the parties. There are no promises, conditions, or understandings other than those stated herein, and, that any prior negotiations, terms or conditions discussed shall not constitute a part of this Agreement. The term "agreement" as used in this clause shall include any future written amendments, modifications, or supplements made in accordance herewith.

#### VIII. APPROVALS

All of the parties have taken all actions and secured all approvals necessary to authorize and complete this Agreement. The person signing this agreement on

behalf of each municipality have legal authority to sign this Agreement and bind the parties to the terms and conditions contained herein.

#### **IX. WITHDRAWAL, TERM, AND TERMINATION**

This Agreement shall be for an Initial Term of five (5) years, from \_\_\_\_\_, 2025 through \_\_\_\_\_, 2030. If this Agreement is not terminated as provided below, it shall automatically renew annually for a Renewal Term of one (1) year, subject to the terms and conditions below. The Renewal Terms possible under this Section are not limited. Any party may withdraw from the Association at any time upon thirty (30) days written notice to the Authority. The Authority Secretary shall thereupon give notice of such withdrawal, and of the effective date thereof, to all other parties, as hereinbefore provided.

#### **X. NO THIRD-PARTY BENEFICIARIES.**

This Agreement is not intended to, and does not, create any special or other duty, obligation, promise, benefit or right to services not herein described in favor or for the benefit of any person, entity, or organization that is not a named party to this Agreement. The parties will not authorize third party use of the system without prior approval of those entering into this Agreement.

#### **XI. ASSIGNMENTS.**

The rights, duties and obligations under this Agreement are not assignable and may not be delegated by any party, except with the written approval of the other parties to this Agreement.

#### **XII. NOTICES.**

Notices under this Agreement shall be directed to current designated the Requesting/Responding Official identified on file with the Secretary.

#### **XIII. AMENDMENTS.**

Amendments of this Agreement shall be in writing, approved by resolution of the councils and boards of the parties, and be signed by authorized representatives of the parties.

#### **XIV. SEVERABILITY.**

If a court of competent jurisdiction finds a term, or condition, of this Agreement to be illegal or invalid, then the term, or condition, shall be deemed severed from this Agreement. All other terms, conditions, and provisions of this Agreement shall remain in full force and effect.

#### **XV. APPLICABLE LAW.**

This Agreement is made and entered into in the State of Michigan and shall in all respects be interpreted, enforced and governed under the laws of the State of Michigan. The language of all parts of this Agreement is intended to and, in all cases, shall be construed as a whole, according to its fair meaning, and not construed strictly for or against any party. As used in this Agreement, the singular or plural number, possessive

or non-possessive, shall be deemed to include the other whenever the context so suggests or requires.

**XVI. NO WAIVER.**

Absent an express written waiver, the failure of a party to pursue any right granted under this Agreement shall not be deemed a waiver of that right regarding any existing or subsequent breach or default under this Agreement. No failure or delay on the part of a party in exercising any right, power or privilege hereunder shall operate as a waiver thereof, nor shall a single or partial exercise of any right, power or privilege preclude any other or further exercise of any other right, power or privilege.

**XVII. COMPLIANCE WITH LAWS.**

Each party shall comply with all federal, state, and local statutes, ordinances, regulations, administrative rules, and requirements applicable to its activities performed under this Agreement.

**XVIII. FILING.**

As provided in MCL 124.510, this Agreement and any amendments of it shall be filed with the Oakland County Clerk and Michigan Secretary of State before taking effect.

**XIX. EFFECTIVE DATE**

This Agreement shall become effective on \_\_\_\_\_, 20\_\_\_\_.  
IN WITNESS WHEREOF, the undersigned, on behalf of their governmental unit, have executed this Agreement pursuant to authorization by the City/Township of \_\_\_\_\_, MICHIGAN on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

WITNESS: \_\_\_\_\_ City/Township of \_\_\_\_\_  
By: \_\_\_\_\_  
Chief Elected Official

WITNESS: \_\_\_\_\_ By: \_\_\_\_\_  
Clerk

Date: \_\_\_\_\_

**SOUTHEASTERN OAKLAND COUNTY  
PUBLIC WORKS ASSOCIATION**

WITNESS: \_\_\_\_\_ By: \_\_\_\_\_

Date: \_\_\_\_\_

**CONSTITUTION AND BY-LAWS  
OF THE  
SOUTHEASTERN OAKLAND COUNTY  
PUBLIC WORKS ASSOCIATION'S  
PUBLIC WORKS MUTUAL AID AUTHORITY**

**ARTICLE I**

**Name and Purpose**

**Section I:** This organization shall be known as the "Public Works Mutual Aid Authority".

**Section II:** The purpose of membership in this association shall be to assist member communities in emergency situations, to exchange ideas, equipment, and methods of dealing with emergencies, and to protect the lives and property within member communities in the case of any emergency or disaster.

**ARTICLE II**

**Membership**

**Section I:** Membership in this authority shall refer to public works departments, or its equivalent department.

**Section II:** Any public works department or organization holding membership in the Southeastern Oakland County Public Works Association, and that can be of reciprocal service to other members of said organizations evidenced by its maintenance of a level of equipment and labor sufficient to meet the ordinary and routine operations and services within its community, and are from an incorporated Village or City, a Township, or an authority created by such bodies, and is approved by a simple majority of the membership, shall be eligible for membership in this authority.

**Section III:** The following shall be known as members of this authority as of November 14, 2012:

Auburn Hills	Berkley	Birmingham	Bloomfield Township
Clawson	Farmington Hills	Ferndale	Hazel Park
Huntington Woods	Lathrup Village	Madison Heights	Novi
Oak Park	Orchard Lake Village	Pleasant Ridge	Rochester
Royal Oak	Southfield	SOCRRA	SOCWA
Village of Franklin			

**ARTICLE III**

**Dues**

**Section I:** Each member shall pay an annual membership fee of \$10.00 per year, which shall be due and payable on January 31 of each year.

## **ARTICLE IV**

### **Officers**

**Section I:** The officers of the Southeastern Oakland County Public Works Association shall be Chairperson, Vice Chairperson, and a Secretary-Treasurer, and shall constitute the Executive Committee of the Public Works Mutual Aid Authority.

**Section II:** The Chairperson shall have the following duties: To call all regular and special meetings; to preside and preserve order at all meetings; to appoint committees; to see that subordinate officers execute the obligations and duties of their respective offices to the best of their ability.

**Section III:** The Vice-Chairperson shall have the following duties: To assist the Chairperson in the discharge of his or her regular duties, and in the event of the absence of the Chairperson, to assume the duties of Chairperson

**Section IV:** The Secretary-Treasurer shall have the following duties: To call the roll; to keep a record of all proceedings of the Authority; to collect all dues and other monies due the Authority; to pay out said monies on the order of the Authority; and to send notices of all regular and special meetings of the Authority. The Secretary-Treasurer shall make an itemized report of all income and expenses to be presented at the first regular meeting of each year. In addition, the Secretary-Treasurer shall maintain a current list of all members in the Authority.

## **ARTICLE V**

### **Meetings**

**Section I:** The regular meeting of the Authority shall be held in January of each year. The time and location shall be determined by the executive committee.

**Section II:** Special meetings shall be called by the Chairperson with at least seven (7) days written notice to the membership.

**Section III:** A simple majority of the membership shall constitute a quorum.

**Section IV:** The Roberts Rules of Order shall govern.

**Section V:** Each member shall have one (1) vote.

## **ARTICLE VI**

### **Elections**

**Section I:** The election of officers shall be held at the regular meeting of each year. This election shall be by secret ballot, or by open ballot, at the selection of the membership.

Section II: The officers of the Authority shall be elected for a term of two (2) years.

Section III: In the event of a vacancy occurring in the office of the Chairperson, the Vice Chairperson shall succeed to that office. The Chairperson shall appoint replacement officers for all vacancies.

#### ARTICLE VII Committees

Section I: The Authority shall have the following annual committee: Executive. Other committees may be formed to serve in an ad-hoc capacity, at the discretion of the executive committee.

Section II: Any committee shall have the authority to request assistance from any members of the Authority.

Section III: It shall be the duty of the Executive Committee to handle all matters that pertain to state legislation on matters of importance to the Authority.

#### ARTICLE VIII Amendment and Dissolution

Section I: No amendment shall be made to these By-Laws unless proposed at the regular meeting in writing.

Section II: An amendment requires a two-thirds majority vote of the entire membership for acceptance.

Section III: This Authority may be disbanded by a three-fourths vote of the entire membership of the Authority, and a published or served notice shall be given to all members for that purpose at least one month before such a vote shall be taken.

\*\*\*\*\*



## **A RESOLUTION**

### **of the Council of the City of Berkley, Michigan** **establishing a Resolution to Tie Teal Ribbons**

- WHEREAS,** Tie Michigan Teal is a state-wide campaign designed to promote awareness of ovarian cancer and its symptoms; and
- WHEREAS,** Teal is the color representing ovarian cancer; and
- WHEREAS,** ovarian cancer is the deadliest of the gynecologic cancers and one of the five leading cancer related deaths among women in the United States; and
- WHEREAS,** each year approximately 22,000 women are diagnosed with the disease and 15,000 women will die; and
- WHEREAS,** women diagnosed with ovarian cancer have an average five-year survival rate of 45 percent; and
- WHEREAS,** unlike other cancers, there is no early detection test for ovarian cancer and because symptoms which are often subtle and mimic other diseases awareness of symptoms is the key to early diagnosis; and
- WHEREAS,** Tie Michigan Teal consists of volunteers tying ribbons on lampposts, trees and sign-posts and providing local businesses and offices with symptom information cards; and
- WHEREAS,** Tie Michigan Teal takes place the entire month of September and the City of Berkley supports their efforts to educate our residents and all members of the public about ovarian cancer and its symptoms; and

#### **NOW, THEREFORE, THE CITY OF BERKLEY RESOLVES:**

- SECTION 1:** I, Berkley Mayor and the members of the Berkley City Council hereby proclaim September 2025 as Ovarian Cancer Awareness Month and will join Tie Michigan Teal with communities across the state and will have teal ribbons tied on lampposts, trees and sign posts and informational cards distributed to local businesses and offices to raise awareness of ovarian cancer and its symptoms.

Introduced and Passed at a Regular City Council Meeting on Monday, May 19, 2025.

\_\_\_\_\_  
Bridget Dean, Mayor

Attest:

\_\_\_\_\_  
Victoria Mitchell, City Clerk



## **2025 Tie Michigan Teal**

**Dear Administrator:**

***Tie Michigan Teal*** is a statewide campaign of the Michigan Ovarian Cancer Alliance (MIOCA) designed to promote awareness of ovarian cancer and its symptoms. Teal is the color representing ovarian cancer. Ovarian cancer is the deadliest of the gynecologic cancers and one of the five leading cancer related deaths among women in the United States.

Unlike other cancers, there is no early detection test for ovarian cancer. A woman's risk of getting ovarian cancer during her lifetime is about 1 in 87.

The ***Tie Michigan Teal*** campaign consists of volunteers tying teal ribbons on lamp posts, benches, or other approved landmarks in downtown areas, and distributing awareness information to local businesses to display. The campaign is held during the month of September, which has been declared National Ovarian Cancer Awareness Month. There is no cost to the city and the ribbons will be taken down at the end of the month by volunteers.

We are asking for your permission for our volunteers to tie ribbons throughout your town/city/village this September, 2025. Please sign on the bottom of this letter and return the signed letter to the volunteer whose name and contact information is below. Thank you for your support of our efforts to raise awareness and educate on ovarian cancer. If you have any questions or concerns, please contact us at: [info@mioca.org](mailto:info@mioca.org) or (734) 800-6144

Sincerely,

A handwritten signature in dark ink that reads 'Megan Neubauer'.

**Megan Neubauer**  
Executive Director



**Town/City/Village:** City of Berkley

**Mayor/Town Official Name:** Mayor Bridget Dean

**Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

***Please return the signed letter to the volunteer listed below. They will be responsible for the Tie the Michigan Teal Campaign in your city/town.***

**Volunteer Name:** *Marcia Gurche*

**Phone Number:** *586-323-0838*

**Email:** *mgurche@gmail.com*

**A PROCLAMATION**  
**of the Council of the City of Berkley, Michigan**  
**Proclaiming June 2025 as LGBTQIA+ Pride Month**

- WHEREAS,** The City of Berkley strives to be an exceptional place to live, work, play, learn, grow a business, raise a family; and
- WHEREAS,** The City of Berkley accepts and welcomes all people of diverse backgrounds and believes a diverse population leads to a more vibrant community; and
- WHEREAS,** The City of Berkley supports the rights of every citizen to experience equality and freedom from discrimination; and
- WHEREAS,** The City of Berkley is dedicated to fostering acceptance of all of its residents and further preventing discrimination, harassment, and bullying based on sexual orientation, gender identity, and the expression of both facets of an individual; and
- WHEREAS,** While we as a society-at-large are slowly embracing new definitions of sexuality and gender we must also acknowledge that the need for education and awareness remains vital to end discrimination and prejudice; and
- WHEREAS,** It is imperative that young people in our community, regardless of sexual orientation, gender identity, and expression, feel valued, safe, and supported by their peers and community leaders; and
- WHEREAS,** The City of Berkley's Lesbian, Gay, Bisexual, Transgender, Queer, Intersex, Asexual, and nonbinary identifying (LGBTQIA+) community members are a vital part of our overall community and contribute to making it a stronger one.

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF BERKLEY HEREBY PROCLAIMS**

- SECTION 1:** That June 2025 shall be recognized as *LGBTQIA+ Pride Month* in the City of Berkley.
- SECTION 2:** The City of Berkley urges the citizens, government agencies, public and private institutions, businesses, and schools in the City of Berkley to recommit to increasing our support and recognition of the contributions made by members of the LGBTQIA+ community and to actively promote the principles of equality, liberty, and justice.

*Proclaimed this 19th day of May 2025 at a Regular Meeting of the Berkley City Council.*

---

*Bridget Dean, Mayor*

Attest:

---

*Victoria Mitchell, City Clerk*

**A PROCLAMATION**  
**of the Council of the City of Berkley, Michigan**  
**Declaring June 19, 2025, to be Juneteenth Celebration Day**

**P-20-25**

- WHEREAS,** Juneteenth is a holiday marking the end of slavery in the United States; and
- WHEREAS,** The State of Michigan began recognizing Juneteenth as an official state holiday in June 2005 with the passage of PA 48 of 2005; and
- WHEREAS,** Millions of African-Americans were captured and brought to this country as slaves in the inhumane conditions of slave ships that sailed across the Atlantic Ocean; and
- WHEREAS,** While approximately 11.5 million African-Americans survived the inhumane conditions, it is acknowledged that many millions of African-Americans did not survive the passage; and
- WHEREAS,** It is recognized that slavery then existed in this country for more than 200 years until the United States Congress passed the Thirteenth Amendment of the Constitution, abolishing slavery throughout the country, on January 31, 1865; and
- WHEREAS,** Union Army General Gordon Granger arrived in Galveston, Texas several months after the passage of the amendment, and one of his first actions was to read General Order #3, which stated that all slaves are free and that former masters and slaves have absolute equality of personal and property rights; and
- WHEREAS,** Following General Granger's reading of General Order #3 celebrations erupted as slaves learned of their freedom, and subsequently, June 19<sup>th</sup> (Juneteenth) became the emancipation date for those long-suffering for freedom; and
- WHEREAS,** Since then, Juneteenth has been known as the oldest celebration commemorating the end of slavery in the United States; and
- WHEREAS,** This tradition of celebration has remained strong in recognizing the great triumph against the cruelty of slavery, and honoring and respecting the strength, endurance, and immense resilience of all African-American ancestors who endured the shackles of slavery and those who persevered to see its end; and
- WHEREAS,** citizens must join together to acknowledge the history of slavery and the oppression which followed its ending, and to further carry forward the ideals of equality and democracy for all regardless of a person's racial identity.

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF BERKLEY HEREBY PROCLAIMS**

**SECTION 1:** That June 19, 2025, is hereby declared as *Juneteenth Celebration Day* in the City of Berkley.

**SECTION 2:** The City of Berkley calls upon the community to pause and reflect on this nation's history of slavery and oppression, to celebrate the progress made thus far in ending slavery and the equal rights milestones that have followed, and to acknowledge that more progress must be made to ensure those Americans of African descent are truly free and equal as we move toward a brighter future.

*Proclaimed this 19<sup>th</sup> day of May 2025 at a Regular Meeting of the Berkley City Council.*

\_\_\_\_\_  
*Bridget Dean, Mayor*

Attest: \_\_\_\_\_  
*Victoria Mitchell, City Clerk*

**A PROCLAMATION**  
**of the Council of the City of Berkley, Michigan**  
**Declaring the first Friday in June to be National Gun Violence Awareness Day**

- WHEREAS,** The United States has witnessed an alarming rate of gun violence incidents, affecting countless individuals and communities across the nation; and
- WHEREAS,** Every day, 327 people are shot in the United States and of those 117 are killed by gun violence; and
- WHEREAS,** In an average year there 45,738 gun homicides and Americans are 26 times more likely to die from gun homicide than people in other high-income countries; and
- WHEREAS,** Michigan has an average of 1,421 gun deaths per year, with a rate of 14.2 deaths per 100,000 people. Michigan has the 28th highest rate of gun deaths in the US; and
- WHEREAS,** Guns are the leading cause of death among children and teens in the United States. In the United States, every day an average of 23 minors are shot in the United States; and
- WHEREAS,** Mayors and law enforcement officers know their communities best, are the most familiar with local criminal activity and how to address it and are best positioned to understand how to keep their citizens safe; and
- WHEREAS,** National Gun Violence Awareness Day, which is observed annually on the first Friday of June, was established to honor and remember all victims and survivors of gun violence and to raise awareness about the urgent need for comprehensive solutions;
- WHEREAS,** wearing the color orange has become a symbol of solidarity and a call to action against gun violence, inspired by the friends of Hadiya Pendleton, a 15-year-old who was tragically shot and killed in Chicago just one week after performing at President Obama's second inaugural parade;
- WHEREAS,** individuals, organizations, and communities across the country come together on this day to advocate for stronger gun laws, promote community safety initiatives, and support survivors and families of victims;
- WHEREAS,** education and awareness are critical components in reducing gun violence and fostering a culture of safety and responsibility;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF BERKLEY HEREBY PROCLAIMS**

- SECTION 1:** That the first Friday in June, June 6, 2025, is hereby declared to be *National Gun Violence Awareness Day* in the City of Berkley, and by wearing orange on this day citizens will help to raise awareness about gun violence and honor the lives of gun violence victims and survivors.
- SECTION 2:** The City of Berkley renews our commitment to reducing gun violence and pledges to do all we can to keep firearms out of the wrong hands, and encourage responsible gun ownership to help keep our children safe.
- SECTION 3:** The City of Berkley further encourages all citizens to support their communities' efforts and renew their commitment to preventing the tragic effects of gun violence and honor and value human lives.

*Proclaimed this 19<sup>th</sup> day of May 2025 at a Regular Meeting of the Berkley City Council.*

\_\_\_\_\_  
*Bridget Dean, Mayor*

Attest:

\_\_\_\_\_  
*Victoria Mitchell, City Clerk*

May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to consider the First Reading for an amendment to the Planned Unit Development previously approved for a multiple-family development on the east side of Coolidge Highway, south of Cambridge Road and north and south of Columbia Road by the applicant, Krieger Klatt Architects on behalf of WJ Ventures LLC, 2465 Columbia, 2475 Columbia, 2468 Columbia, 2476 Columbia, and 2475 Cambridge.

Ayes:

Nays:

Absent:

Motion:

# MEMORANDUM

To: Mayor Dean and City Council  
From: Kristen Kapelanski, Community Development Director  
Date: May 19, 2025  
Subject: Amendments to the Planned Unit Development for The Columbia

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Madam Mayor and Members of City Council,

The applicant has submitted an amendment to the approved Planned Unit Development for The Columbia. The project history is detailed in the Community Development Department review memo.

## Background

- The applicant has submitted an amendment to the approved Planned Unit Development for The Columbia. The project history is detailed in the Community Development Department review memo.
- **Planned Unit Development Amendment Process:**
  - A Planned Unit Development (PUD) is intended to offer an alternative to traditional development by permitting flexibility in the regulations for development while maintaining a consistent implementation of the goals and objectives of the City's Master Plan. Major amendments to the plan and any amendments necessitating alterations to or new ordinance deviations must follow the PUD approval process.
  - The Planning Commission is required to hold a public hearing and either recommend approval, recommend denial or postpone consideration of the PUD. Public hearing notices were sent via regular mail and posted in the newspaper in accordance with City and State requirements. Signs were also posted on the subject properties.
  - If/when the Planning Commission recommends approval or denial, the PUD proceeds to the City Council for their consideration for a first and second reading. The applicant is obligated to construct the plan as shown in the approved PUD and as outlined in the PUD Agreement.

## Summary

- **Plan Changes:** A Planned Unit Development for this site was approved in 2024 by the City Council, after a positive recommendation from the Planning Commission. The applicant is proposing the following changes as part of the proposed amendment:
  - The southern building has been eliminated and all units have been consolidated into one building on the northern-most parcel. The pocket park originally on the eastern half of the southern parcel has been moved to the west, fronting Coolidge. Carports are proposed as accessory structures on the southern parcel.



- Conversion of the mansard roof into a flat deck roof. Height per the Zoning Ordinance is measured to the mid-point of a mansard roof and the top of a flat roof. In the original PUD, the top of the mansard roof was labeled as 45 ft. with a midpoint of 40 ft., the maximum allowed height. Since a flat top roof is measured differently, with a proposed height of 46 ft., this will require a deviation. Parapets are also proposed for visual interest and screening. Those are not included in the overall height measurements. See the applicant's February 14, 2025 narrative for additional information.
- The first-floor lobby has been increased in size.
- The unit count has decreased from 57 to 51 units.
- Balcony locations have been added and adjusted.
- The façade has been updated to have similar materials but with a different color palate. Cement board siding has been added as an accent material on the east, north and south elevations. Siding can be permitted by the Planning Commission if the Commission finds that the standards in Section 138-678 have been met.
- The parking lot layout has been revised and the number of parking spaces has been reduced from 77 to 69. With the reduction of units, this equals a ratio of 1.35 spaces per unit. The current approved plan also proposed 1.35 spaces per unit. The parking lot reconfigurations result in a more usable parking area without the use of tandem spaces.
- Landscaping throughout the site has been adjusted to accommodate the proposed layout changes.
- The refuse area has been moved under the podium of the building.
- It is important to note that the items identified by the Planning Commission and City Council as public benefits in the previous iteration have not been significantly changed. The question posed to the Commission and the Council with this new submission is whether the requested deviations (which have been slightly altered) do not outweigh the previously recognized public benefits.
- Deviations that are proposed as part of the PUD plan are listed below. New deviations are bolded. Revised deviations are italicized.
  - Deficient use (Non-residential is not provided on the first floor.)
  - ***Deficient use (The southernmost parcel contains a public park space/plaza and parking for the proposed multifamily building. Parking and a park are not permitted uses in the Gateway Zoning District.)***
  - *Deficient front setback -west (10 ft. required, 0.5 ft. provided)*
  - ***Deficient building height (40 ft. required, 46 ft. provided)***
  - *Deficient number of parking spaces (102 required, 69 provided)*
  - *Deficient number of compact car spaces (30% permitted, 35% proposed)*
  - ***Deficient use (Accessory structure – carports- located on a parcel without a principal use.)***
  - ***Deficient parking location (Off-street parking facilities must be located on the same parcel as the principal use. Parking proposed on southern parcel.)***
- The Planning Commission held the required public hearing and recommended approval of the amendments to the PUD plan on March 18, 2025. At that meeting they included a condition that the applicant work with staff to better activate the proposed park space. The applicant has included a walking path and landscape alterations to more clearly show that space as more than open grass.

**Recommendation**

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to approve the first reading of the proposed amendment to PUD-01-25 The Columbia with the following ordinance deviations:

- Deficient use (Non-residential is not provided on the first floor.)
- Deficient use (The southernmost parcel contains a public park space/plaza and parking for the proposed multifamily building. Parking and a park are not permitted uses in the Gateway Zoning District.)
- Deficient front setback - west (10 ft. required, 0.5 ft. provided)
- Deficient building height (40 ft. required, 46 ft. provided)
- Deficient number of parking spaces (102 required, 69 provided)
- Deficient number of compact car spaces (30% permitted, 35% proposed)
- Deficient use (Accessory structure – carports- located on a parcel without a principal use.)
- Deficient parking location (Off-street parking facilities must be located on the same parcel as the principal use. Parking proposed on southern parcel.); and

With the following findings:

- The minimum of three of the seven public benefits listed in Section 138-533 have been met including:
  - That the project provides extensive landscaping, beyond the site plan requirements;
  - That the project provides open space or a public plaza; and
  - That the project provides efficient consolidation of poorly dimensioned parcels; and
- The standards for approval in Section 138-537 are met.

**THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:00 PM, MARCH 18, 2025 AT BERKLEY CITY HALL BY CHAIR LISA KEMPNER.**

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*The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: <https://www.youtube.com/user/cityofberkley>*

**PRESENT:** Josh Stapp  
Shiloh Dahlin  
Lisa Kempner  
Eric Arnsman

**ABSENT:** Lisa Hamameh, Joe Bartus, Mike Woods

**ALSO PRESENT:** Kristen Kapelanski, Community Development Director  
Greg Patterson, City Council Liaison

Motion by Commissioner Dahlin to excuse the absences of Commissioners Hamameh, Bartus and Woods.  
Motion supported by Commissioner Stapp.

Voice Vote to excuse the absences of Commissioners Hamameh, Bartus and Woods.

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**MOTION CARRIED**

\* \* \* \* \*

**APPROVAL OF AGENDA**

Motion by Commissioner Arnsman to approve the agenda and supported by Commissioner Stapp.

Voice vote to approve the agenda

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**MOTION CARRIED**

\* \* \* \* \*

**APPROVAL OF THE MINUTES**

Motion by Commissioner Dahlin to approve the minutes of the January 28, 2025 regular Planning Commission meeting and supported by Commissioner Arnsman.

Voice vote to approve the meeting minutes of January 28, 2025.

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**MOTION CARRIED**

\* \* \* \* \*

## **COMMUNICATIONS**

NONE

\* \* \* \* \*

## **CITIZEN COMMENTS**

NONE

\* \* \* \* \*

## **OLD BUSINESS**

NONE

\* \* \* \* \*

## **NEW BUSINESS**

1. **Amendment to Planned Unit Development PPUD-01-25: The Columbia:** The applicant, Krieger Klatt Architects on behalf of WJ Ventures LLC, 2465 Columbia, 2475 Columbia, 2468 Columbia and 2476 Columbia and 2475 Cambridge, is requesting an amendment to the Planned Unit Development previously approved for a multiple-family development on the east side of Coolidge Highway, south of Cambridge Road and north and south of Columbia Road

Community Development Director Kapelanski presented the project noting that the applicant is requesting an amendment to a previously approved Planned Unit Development. The Planning Commission should consider only the changes proposed and whether they affect or change the previously found public benefits. Changes to the plan include the following:

- The southern building has been eliminated and all units have been consolidated into one building on the northern-most parcel. The pocket park originally on the eastern half of the southern parcel has been moved to the west, fronting Coolidge. Carports are proposed as accessory structures on the southern parcel.
- Conversion of the mansard roof into a flat deck roof. Height per the Zoning Ordinance is measured to the mid-point of a mansard roof and the top of a flat roof. In the original PUD, the top of the mansard roof was labeled as 45 ft. with a midpoint of 40 ft., the maximum allowed height. Since a flat top roof is measured differently, with a proposed height of 46 ft., this will require a deviation.
- The first-floor lobby has been increased in size.
- The unit count has decreased from 57 to 51 units.
- Balcony locations have been added and adjusted.
- The façade has been updated to have similar materials but with a different color palate. Cement board siding has been added as an accent material on the east, north and south elevations. Siding can be permitted by the Planning Commission if the Commission finds that the standards in Section 138-678 have been met.
- The parking lot layout has been revised and the number of parking spaces has been reduced from 77 to 69. With the reduction of units, this equals a ratio of 1.35 spaces per unit. The current approved plan also proposed 1.35 spaces per unit. The parking lot reconfigurations result in a more usable parking area without the use of tandem spaces.
- Landscaping throughout the site has been adjusted to accommodate the proposed layout changes.
- The refuse area has been moved under the podium of the building.

The applicant's team, WJ Ventures, LLC, Giffels Webster and Krieger Klatt Architects went through a presentation visually showing the above changes.

Chair Kempner opened the public hearing at 7:20PM. No one wished to speak and no correspondence was received. The public hearing was closed at 7:20PM.

The Planning Commission asked and the applicant agreed to work with staff to better activate the proposed park area.

The Commission went through the three previously found public benefits and agreed those were still met. They also agreed the standards of approval in Section 138-537 have been met.

Motion by Commissioner Stapp and supported by Commissioner Arnsman to recommend approval of the proposed amendment to PUD-01-25 The Columbia with the following ordinance deviations:

- Deficient use (Non-residential is not provided on the first floor.)
- Deficient use (The southernmost parcel contains a public park space/plaza and parking for the proposed multifamily building. Parking and a park are not permitted uses in the Gateway Zoning District.)
- Deficient front setback - west (10 ft. required, 0.5 ft. provided)
- Deficient building height (40 ft. required, 46 ft. provided)
- Deficient number of parking spaces (102 required, 69 provided)
- Deficient number of compact car spaces (30% permitted, 35% proposed)
- Deficient use (Accessory structure – carports- located on a parcel without a principal use.)
- Deficient parking location (Off-street parking facilities must be located on the same parcel as the principal use. Parking proposed on southern parcel.); and

With the following conditions:

- The applicant work with staff to better activate the proposed park space; and

With the following findings:

- The minimum of three of the seven public benefits listed in Section 138-533 have been met including:
  - That the project provides extensive landscaping, beyond the site plan requirements;
  - That the project provides open space or a public plaza; and
  - That the project provides efficient consolidation of poorly dimensioned parcels; and
- The standards for approval in Section 138-537 are met.

Roll call vote on the motion to recommend approval of PUD-01-25 The Columbia.

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

## **2. Planning Commission Liaison for Chamber of Commerce**

The Planning Commission elected to postpone discussion of this item until more members were present.

\* \* \* \* \*

### **LIAISON REPORT**

Commissioners provided updates on the Downtown Development Authority and Zoning Board of Appeals.

City Council Member Patterson provided an update on recent Council decisions.

\* \* \* \* \*

### **COMMISSIONER COMMENTS**

NONE

\* \* \* \* \*

### **STAFF COMMENTS**

NONE

\* \* \* \* \*

**ADJOURNMENT**

Motion to adjourn by Commissioner Dahlin supported by Commissioner Arnsman.

Voice vote for adjournment

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**With no further business, the meeting was adjourned at 7:52 p.m.**

## ***“THE COLUMBIA” AMENDED PLANNED UNIT DEVELOPMENT AGREEMENT***

THIS AMENDED PLANNED UNIT DEVELOPMENT AGREEMENT (together with its Exhibits, the “**Amended Agreement**” or “**Amended PUD Agreement**”) is made as of March\_\_\_\_, 2025, by and between, WJR Ventures, LLC, a Michigan limited liability company (the “**Developer**”), whose registered office is located at 550 W Merrill St., Suite 100, Birmingham, Michigan 48009, and physical address located at 2060 Coolidge Hwy., Berkley, MI 48072 and the City of Berkley, a Michigan municipal corporation (the “**City**”), whose address is 3338 Coolidge Hwy., Berkley, Michigan 48072 and amends the Planned Unit Development Agreement approved by the City Council on July 22, 2024.

### **RECITALS:**

A. On October 14, 2023, the City of Berkley Planning Commission recommended approval of The Columbia Planned Unit Development (“PUD”).

B. On May 28, 2024, the City of Berkley Planning Commission recommended the approval of a revised version of the PUD with conditions.

C. The PUD was brought before the City Council on June 17, 2024, for review and approval of the PUD.

D. The City Council approved the PUD Plan for the Project and the PUD with conditions on June 17, 2024.

E. The City Council approved this PUD Agreement on July 22, 2024 and it was recorded in the Oakland County Register of Deeds at Liber 59580 Page 151 (“PUD Agreement”)

F. Developer submitted an amended plan of the PUD to the Planning Commission for consideration and voting on March 18, 2025 (“Amended PUD”).

G. On March 18, 2025, the City of Berkley Planning Commission recommended approval of this Amended PUD.

H. This Amended PUD was brought before the City Council on \_\_\_\_\_, 2025, for review and approval.

## **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

I. The City Council Approved this Amended PUD Agreement on \_\_\_\_\_, 2025.

J. The Amended PUD will be developed in accordance with the PUD Agreement and this Amended PUD Agreement, including the following pertinent information:

**PUD Agreement and Amended PUD Agreement:** The PUD Agreement remains in full force and effect, except directly and explicitly modified and amended in this Amended PUD Agreement. To the extent that there any inconsistencies, this Amended PUD shall control and govern.

**Location:** The legal address of the Property is 2465, 2475, 2466 & 2476 Columbia and 2475 & 2465 Cambridge, Berkley, Michigan 48072.

**Legal description:** The PUD is established within the property which is legally described on attached **Exhibit A** (the “**Property**”).

**Acreage:** The PUD is approximately 0.83 acres.

**Current Zoning:** Gateway District

**Proposed Zoning:** PUD, Planned Unit Development.

**Project:** The project includes changing the current zoning classification for the Property from Gateway District to PUD, Planned Unit Development, and development and use of the Property as described and allowed in this the PUD Agreement and this Amended Agreement.

**Project Description:** The project (“**Project**”) includes one 4-story multifamily development on 0.83 vacant acres located at the east side of Coolidge Highway and off of Cambridge and Columbia roads. The building dimensions are, 210’-2” x 72’-8”. A total of fifty-one (51) apartment units consisting of fifteen (15) studio and thirty-six (36) one-bedroom units. Gross square footage for the building is: ground floor space 3,235 square feet of conditioned space, 11,887 square feet of covered parking; second floor residential 14,203 square feet conditioned space (not including balconies); third floor residential 14,203 square feet of conditioned space (not including balconies); and fourth floor residential 14,203 square feet of conditioned space (not including balconies). Gross square footage for the pocket park fronting Coolidge Hwy. on the south parcel of approximately 5,470 square feet and a carport of approximately 2,250 square feet (there will be two car ports in total totaling approximately 4,500 square feet in car ports). Total gross square feet for the building is 60,075 square feet which includes the carports, exterior wall finishes and inset balconies (not counting wall hung balconies). Total gross square feet for the Project is 45,844 square feet conditioned space, 57,731 square feet counting the covered parking.

**Area/Width/Height setback:** All front, side, and rear setbacks for Gateway District requirements and proposed Project PUD setbacks. (Sec. 138.526)



# **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

<b>LB (Gateway)</b>	<b>Required</b>	<b>PUD Agreement</b>	<b>Amended PUD Agreement</b>
<b>Height</b>	40' MAXIMUM HEIGHT	40' TO MID RISE	<b>46' FLAT ROOF (6 FOOT DEVIATION REQUIRED)</b>  <b>47'-0" TOP OF PARAPET (50'-0" PARAPET AT FEATURED NW AND SW CORNERS)</b>
<b>Minimum Yard Setback:</b>  <b>Front</b>	10 FEET MINIMUM	NORTH BUILDING - 2 FEET, 1/8 INCH.  SOUTH BUILDING – 7 FEET, 3 INCHES	<b>DEVIATION TO 0 FEET</b>  <b>NO SOUTH BUILDING</b>
<b>Sides</b>	ZERO (0) FEET MINIMUM	NO CHANGE	<b>NO CHANGE</b>
<b>Rear</b>	10 FEET MINIMUM	NO CHANGE	<b>NO CHANGE</b>
<b>Lot Coverage</b>	NO MAXIMUM	90% +/-	<b>80%</b>
<b>Use</b>	SEE SECTION 138-427. – PRINCIPAL USES PERMITTED IN GATEWAY DISTRICT	NO CHANGE TO SECTION 138-427.  NO REQUIRED GROUND FLOOR COMMERCIAL.	<b>DEVIATION FOR NO REQUIRED COMMERCIAL USE ON GROUND FLOOR</b>  <b>DEVIATION FOR SOUTHERN MOST PARCEL, ALLOW PARKING AND PARK NOT OTHERWISE ALLOWED IN THE GATEWAY DISTRICT; DEVIATION TO ALLOW ACCESSORY STRUCTURE WITH NO PRINCIPAL USE STRUCTURE</b>  <b>ALLOW PARKING FOR PRIMARY STRUCTURE TO BE ON SEPARATE SOUTHERN PARCEL AND NOT CONTAINED ON THE SAME PARCEL</b>

## The Columbia – Amended PUD Agreement

WJ Ventures, LLC and City of Berkley

**Site Plan:** Site Plan prepared by Krieger Klatt Architects, Site Plan No. [REDACTED] last revised on [REDACTED], attached hereto as **Exhibit B**, along with) Giffels Webster Site Plan, revised [REDACTED], **Exhibit B(1)**, and complete Site Plan Package containing all auxiliary and supplemental documents and information **Exhibit B(2)** and the notes set forth by Hubbell, Roth & Clark, Inc. dated March 5, 2025 **Exhibit B(3)**, and City of Berkley Department of Public Works dated March 3, 2025 **Exhibit B(4)**. The Site Plan satisfies the conditions placed on recommending approval as set forth by the City Planning Commission and approved by the City Council on [REDACTED].

**Public Safety Review:** The City of Berkley Public Safety Review, dated [REDACTED], attached hereto as **Exhibit C**.

**Utility Review:** Hubbell, Roth & Clark, Inc, dated March 5, 2025, attached hereto as **Exhibit D**.

**RCOC:** Road Commission for Oakland County (“**RCOC**”) not required as all roads at issue are under City authority and not that of the RCOC.

**Traffic Impact Study:** The Columbia Traffic Impact Assessment Memo prepared by Mohamed Aguib, PE, dated October 24, 2023, attached as **Exhibit E**.

### Parking

Current SITE / Zoning	Project Site Parking	Zoning Relief from Current Ordinance in PUD	Amended PUD
2 PER DWELLING UNIT	1.35 PER DWELLING UNIT	.65 PER DWELLING UNIT (114 required; 77 provided)	.65 PER DWELLING UNIT (102 required; 69 provided)
30 PERCENT CAP ON COMPACT PARKING SPACES	36 PERCENT	6 PERCENT VARIANCE ABOVE ZONING REQUIREMENT	5 PERCENT VARIANCE ABOVE ZONING REQUIREMENT

The Site Plan of the Amended PUD illustrates that between designated site parking spots, and street parking there is sufficient parking. The calculations used on the attached site plan include the use of the bicycle parking credit provided for in Section 138.268 of the Berkley Zoning Ordinance to achieve 1.35 spaces per unit. The number of available parking is sufficient to service the needs of the residents of the Columbia. The Site Plan also shall conform to the conditions approved by the City Planning Commission and adopted by City Council in its approval related to the number of compact car spots allowed. The Project shall include signage directing all visitors and delivery vehicles to park on Coolidge. Additionally, the lease agreements for units in the Project

## **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

shall contain a requirement that all tenants direct their guests and delivery drivers to park on Coolidge.

### **Location of Parking Lots**

The Parking Lots for the Project will be located on the 1<sup>st</sup> floor of the building and in covered parking in the carport on the southern parcel (south side of Columbia).

### **Sidewalks**

The Westerly sidewalks of the building will be enhanced to include extensive landscaping along the Coolidge Highway front enhancing the streetscape and softening the building, a park providing additional landscaping and softening of the Project will be installed on the southern parcel of the Project.

### **Landscaping**

The Project will be developed in accordance with the landscape plan prepared by Giffels Webster Engineers, dated [REDACTED], which satisfies the conditions placed on recommending approval as set forth by the City Planning Commission and the landscape plan is attached hereto as **Exhibit F (“Landscape Plan”)**, which identifies the landscaping to be installed within the Project. Changes in the species and locations of plantings must be approved administratively by the City Planner if the City Planner determines them to be consistent with the spirit of the Landscape Plan.

Remainder Unchanged.

### **Traffic**

The Project is expected to generate the traffic impacts as indicated in the Traffic Impact Study. The results of additional site generated traffic are expected to be within roadway and intersection capacities. In comparison to a code compliant site plan (e.g., what the Developer could build without a PUD or any variance), the proposed development is reducing the number of added vehicles to the roadway network. See **Exhibit E**, Columbia Traffic Impact Assessment Memo prepared by Mohamed Aguib, PE, dated October 24, 2023.

### **Columbia Storm/ Rainwater Improvements**

Unchanged, with the clarification that a reduced size detention system will be used due to the Project as amended having less impervious area coverage by building and parking lots.

### **PUD Agreement/Phasing**

Unchanged.

## **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

### **Architectural Elevations**

The building elevations for the Project which are attached as **Exhibit G** to this Agreement have been approved by the City and shall be deemed to be in compliance with the Commercial Architectural Standards located within Section 138.679 of the Berkley Zoning Ordinance and commercial development standards.

### **Exterior Lighting**

Exterior lighting for the Project shall be in accordance with Photometric Plan and Exterior Light Details included as part of the **Site Plan (Exhibit B2, p.9)**.

### **Signage**

Unchanged

### **Recognizable Benefit & Satisfaction of Standards for Approval.**

This Agreement, including the Site Plan, comprise a PUD that provides a recognizable benefit as required by Division 18, Section 138-533 of Berkley's Zoning Ordinance. Moreover, the Project meets the standards for approval to proceed as a PUD as set forth in Section 138-537 of Berkley's Zoning Ordinance. Both the Berkley Planning Commission and the Berkley City Council have found and affirmatively voted that the Project meets the ordinance requirements to proceed as a PUD and to enter into this Agreement.

The Project provides for the protection and integrity of the surrounding neighborhood and provides access to multifamily living options in accordance with the Master Plan and needs of the community. The Berkley Planning Commission specifically found that the following recognizable benefits were provided by the Project under Section 138-533(2) extensive landscaping; (4) provision of open spaces; and (5) efficient consolidation of poorly dimensioned parcels. The Berkley City Council specifically found that the following recognizable benefits were provided by the Project under Section 138-533(2) extensive landscaping; (4) provision of open spaces; and (5) efficient consolidation of poorly dimensioned parcels.

### **PUD Allowable Uses**

Unchanged.

The City desires to ensure that the Property is developed and used in accordance with the approved Site Plan and all applicable laws and regulations.

NOW, THEREFORE, the Developer and the City have, in consideration of the mutual covenants, promises and conditions described in this Amended Agreement, and with the expressed understanding that this Amended Agreement contains important and essential terms as part of the final approval of the Amended PUD, agree as follows.

## **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

1. Incorporation of Recitals. The parties acknowledge and represent that the foregoing recitals are true and accurate and binding upon the parties. The recitals and the exhibits are incorporated into this Amended Agreement.

2. Amended PUD Approval.

(A) The parties acknowledge and agree that the development of the Project has been granted final Amended PUD approval under the City's Ordinances, subject to the terms and conditions of this Agreement and has also received final site plan approval as under the Berkley Zoning Ordinance (the "Zoning Ordinance"). Approval of the PUD, PUD Agreement, Amended PUD, includes approval of the Site Plan and this Amended Agreement, and all Exhibits attached to the Agreement or this Amended Agreement, which take precedence over and supersede any and all prior reports, agreements, plans and other submissions to and/or approvals by the City relative to the Project.

(B) The Developer's right to develop the Property as provided for in this Amended Agreement and the Exhibits attached to this Agreement are fully vested upon the City's execution of this Amended Agreement and the recording of this Amended Agreement at the Oakland County Register of Deeds.

3. Zoning. Unchanged.

4. Development. Unchanged.

5. Zoning Ordinance Requirements. Unchanged.

6. Minor Modifications. The Project may be developed over a period of time during which there may arise a need to make minor modifications to the Site Plan. During the Term of this Agreement (as defined in Section 7). The minor modifications fall into two categories: (A) modifications that comply with the City's Zoning Ordinance in effect at the time the of the modification ("Ordinance Compliant Modifications") and (B) modifications that are not directly governed by the City's Zoning Ordinance in effect at the time ("Ordinance Neutral Modifications").

(A) Ordinance Compliant Modifications: The City hereby delegates to City staff the duty to review and approve the following Ordinance Compliant Modifications to the Site Plan that may be requested by Developer: (a) modification in the number or type of units in the Project so long as the change complies with the City's Zoning Ordinances in effect at the time of the modification; (b) modification to parking per unit ratios so long as the modification complies with the City's Zoning Ordinance in effect at the time of the modification; and (c) any modification that Developer chooses to make that is compliant with the City's ordinances in effect at the time of the modification and during the Term as defined in Paragraph 7. For the avoidance of doubt, the City staff has been delegated the power, right, and duty to approve Ordinance Compliant Modifications as set forth above without approval by the Planning Commission or City Council and shall be done so without notice or public hearing.

## **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

(B) Ordinance Neutral Modifications: The City hereby delegates to City staff the right to review and approve the following Ordinance Neutral Modifications to the Site Plan that may be requested by Developer: (a) relocations of any building such that the relocation is in the general vicinity of the footprint of such building as shown on the Site Plan; (b) internal rearrangement of parking areas, roads, sidewalks, storm drainage facilities and other utilities, such that the area and density requirements and the overall character of the Site Plan are not materially affected; (c) addition of any refuse, dumpster, or recycling receptacle; (d) changes in materials or color based on availability of products so long as the replacement material is of equal quality and character; and (d) change in the location or species of required trees and other landscape material. For the avoidance of doubt, the City staff has been delegated the power and has the right to approve Ordinance Neutral Modifications as set forth above without approval by the Planning Commission or City Council and may be done without notice or public hearing but is not required to do so.

Any other modification sought by Developer that exceeds the authority delegated to City staff in this Section shall be submitted to the Planning Commission for review and approval, with Developer having the right to initially appeal the Planning Commission's determination to City Council. Ordinance Compliant Modifications and approved Ordinance Neutral Modifications shall not require an amendment to this Agreement, but shall become a part of this Agreement as if fully stated herein.

7. Site Plan Validity. The Property is currently fully developed as multifamily duplexes. Notwithstanding anything to the contrary contained in this Agreement or the City ordinances, this Amended Agreement, the Amended PUD approval, Site Plan approval and Developer's right to develop the Property in accordance with the terms of this Amended Agreement shall remain in effect for a period of 6 years beginning upon the approval of the Amended PUD Agreement (the "Term") provided that building drawings and plans are submitted for approval and permitting within thirty (30) months following the approval of the Amended PUD Agreement. If the plans are not submitted for approval and permitting within thirty (30) months following the approval of the Amended PUD Agreement, Developer may request an extension of time which shall be considered through good faith and reasoned deliberation by the City Council. The Term will commence on the date of executing this Amended Agreement. During the Term the City shall not require annual extensions of the Site Plan approval and Amended PUD approval. At the expiration of the Term, further extensions of Site Plan or Amended PUD approval period(s) may be granted by the City Council, which shall not be unreasonably withheld by the City. If the Term expires without extension and construction is not completed, the Amended PUD approval will be considered expired.

8. Building Permits. Unchanged.
9. Consents/Approvals. Unchanged.
10. Sale of Property. Unchanged.
11. Zoning Board of Appeals. Unchanged.

## **The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

12. Integration/Amendments. Unchanged.
13. Severability. Unchanged.
14. Governing Law. Unchanged.
15. Waiver. No waiver of any breach of this Amended Agreement shall be held to be a waiver of any other or subsequent breach.
16. Remedies. Unchanged.
17. Inconsistency; Effect of Approval; Ordinances in Effect. Unchanged
18. Authority. The signers of this Agreement warrant and represent that they have the authority to sign this Agreement on behalf of their respective principals and the authority to bind each party to this Agreement according to its terms. Further, each of the parties represents that the execution of this Agreement has been duly authorized and is binding on such party.
19. Limitation of City's Liability. Unchanged
20. Binding Effect. Unchanged
21. Curb Cut. Unchanged
22. Utilities, Sanitary Sewer, Storm Sewer and Water. Unchanged
23. Storm Water Management and Drainage. Unchanged
24. Certificate of Occupancy. Unchanged.
25. Maintenance Agreement. Unchanged
26. Permits. Unchanged.
27. Observation of Site Improvements. Unchanged
28. Soil Erosion Controls. Unchanged
29. Access to Property. Unchanged
30. Performance and Completion Assurances. Unchanged.
31. Financial Incentives. Unchanged.

**The Columbia – Amended PUD Agreement**

WJ Ventures, LLC and City of Berkley

32. Cooperative Exchange of Information. Unchanged.

33. Counterparts. Unchanged.

34. Force Majeure Delay. If there is any delay in the performance by Developer of any obligation which is caused by fire, flood, earthquake or other acts of God, adverse weather conditions, strike, tariffs, lockout, acts of public enemy, riot, insurrection, terrorism, changes in governmental interpretations, governmental delays, new governmental regulations or governmental regulation of or general delays in the sale or transportation of materials, supplies or labor, epidemic or pandemic, including, but not limited delays caused by shelter-in-place orders or other governmental rule, regulation or action that causes businesses or governmental agencies or departments to shut down or delay in the performance of their respective obligations, or any other matter beyond Developer's reasonable control, the applicable time period shall be extended for a period of time equal to such delay. In the case of the epidemic/pandemic, such extension shall be equal to the period of time equal to such delay, plus six (6) months.

35. Staging Area. Unchanged.

This Agreement has been executed on the later of the signature dates set forth below.

***[Signatures and notarization are contained on the following page]***



The City of Berkley,  
a Michigan Municipal Corporation

WJ Ventures, LLC and City of Berkley

WJR Ventures, LLC  
a Michigan limited liability company

Date: \_\_\_\_\_

The foregoing Planned Unit Development Agreement was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2025, by Wayne M. Wudyka, the Managing Member of WJ Ventures, LLC, a Michigan limited liability company, on behalf of said company

Kristen Kapelanski, AICP  
Community Development Director  
City of Berkley  
3338 Coolidge Hwy.  
Berkley, MI 48072

# 2465 Cambridge PPUD-01-23

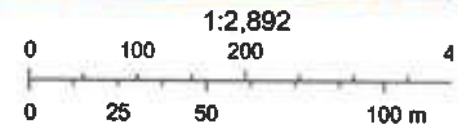


Thu Sep 07 2023

 Override 1

 Override 1

 RCOAppMapService\_5220





Search

Value Shape Buffer Report Spatial Result

Zoom All

Clear:

# selected: 1



2517353002

SITEADDRESS: 2465 CAMBRIDGE RD



2465 Cambridge Rd, Berkley, MI

Score: 90.9

[Zoom to](#)

40ft





OC Parcels Plus 2465 Cambridge



200ft





# 2475 Cambridge PPUD-01-23

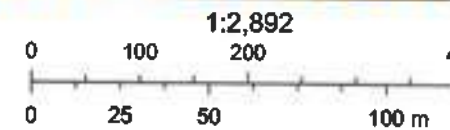


Thu Sep 07 2023

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# OC Parcels Plus 2475 Cambridge

Search

Value Shape Buffer Report Spatial Result

Zoom All

Clear:

# selected: 1



**2517353001**

SITEADDRESS: 2475 CAMBRIDGE RD

40ft



117.00



Cambridge Rd

50

53.40

54.12

117.00

125

56.30

50.2

25-17-353-001  
100-353-41-52

125

55.00

50.2

55.00

125

25-17-353

25-17-353

101-30

2475 Cambridge Rd, Berkley, MI

Score: 90.9

[Zoom to](#)



## OC Parcels Plus

2475 Cambridge

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200ft





# 2465 Columbia PPUD-01-23

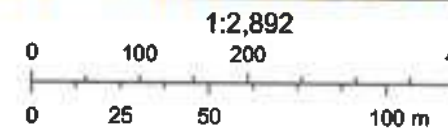


Thu Sep 07 2023

 Override 1

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 RCOCAppMapService\_5220





# OC Parcels Plus 2465 Columbia

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Zoom All

Clear:

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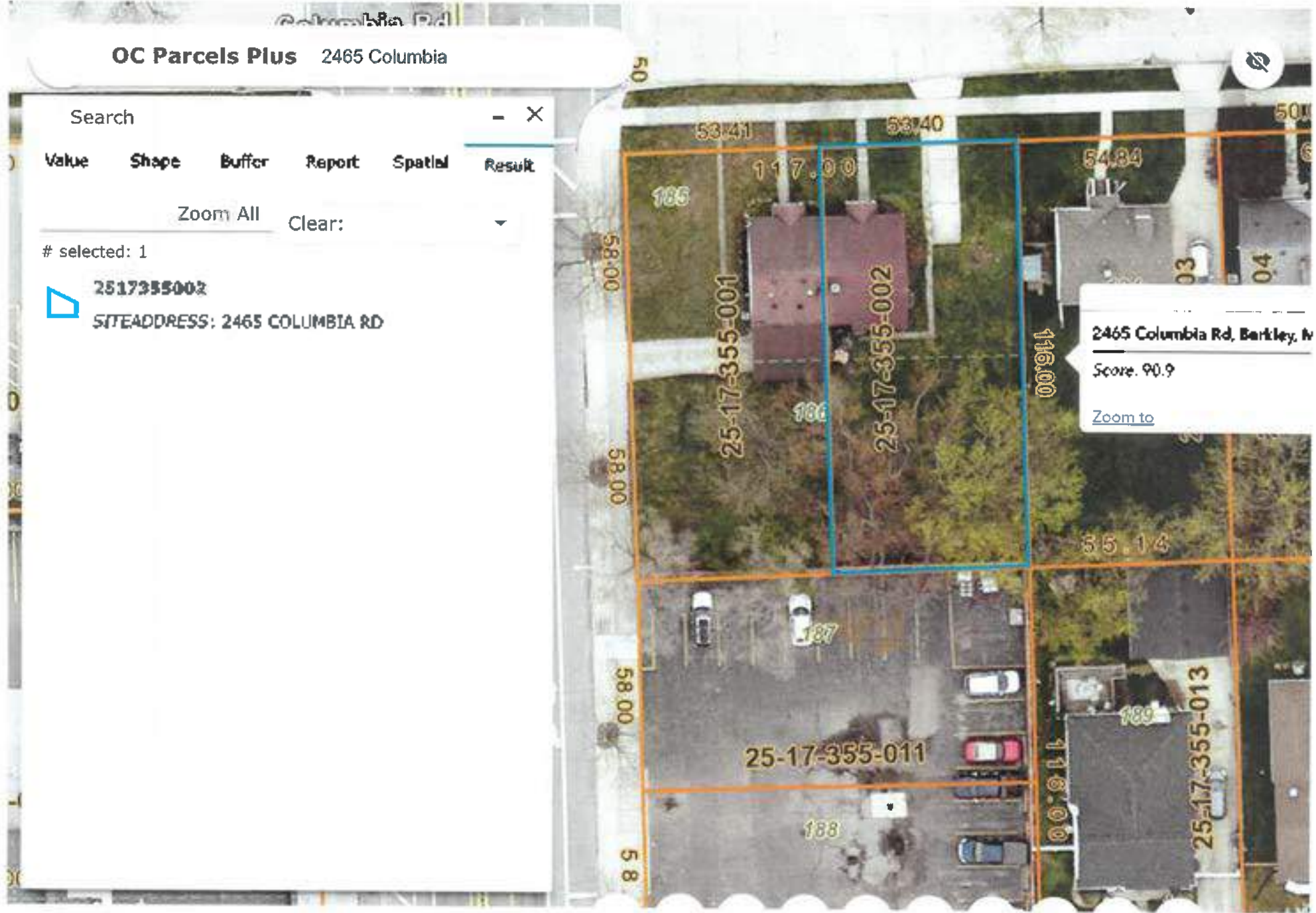


2517355002

SITEADDRESS: 2465 COLUMBIA RD



40ft



2465 Columbia Rd, Barkley, IV

Score: 90.9

[Zoom to](#)



## OC Parcels Plus 2465 Columbia

-03.182 42.490 Degrees

200ft





**2468 Columbia PPUD-01-23**

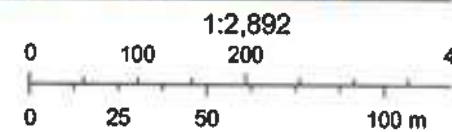


Thu Sep 07 2023

☐ Override 1

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## OC Parcels Plus

2468 Columbia

177-048

25-18-477-040

106-12

9.93

550.00

55.00

0000

25-17-353-015

25-17-353-016

54.41

5-17-353-017

25-17-353-018

Columbia Rd

2468 Columbia Rd, City of Berkeley, 48072

Score: 90.9

Zoom to

•83 183 42.491 Degrees

40ft

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►



## OC Parcels Plus

2468 Columbia

-83.184 42.491 Degrees

200ft





# 2475 Columbia PPUD-01-23

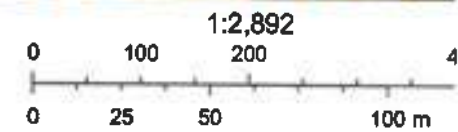


Thu Sep 07 2023

Override 1

Override 1

RCOCAppMapService\_5220





OC Parcels Plus 2475 Columbia



2475 Columbia Rd, Berkley, MI, 48072

Score: 90.9

[Zoom to](#)

18-479-028

-83.183 42.490 Degrees

40ft





OC Parcels Plus 2475 Columbia



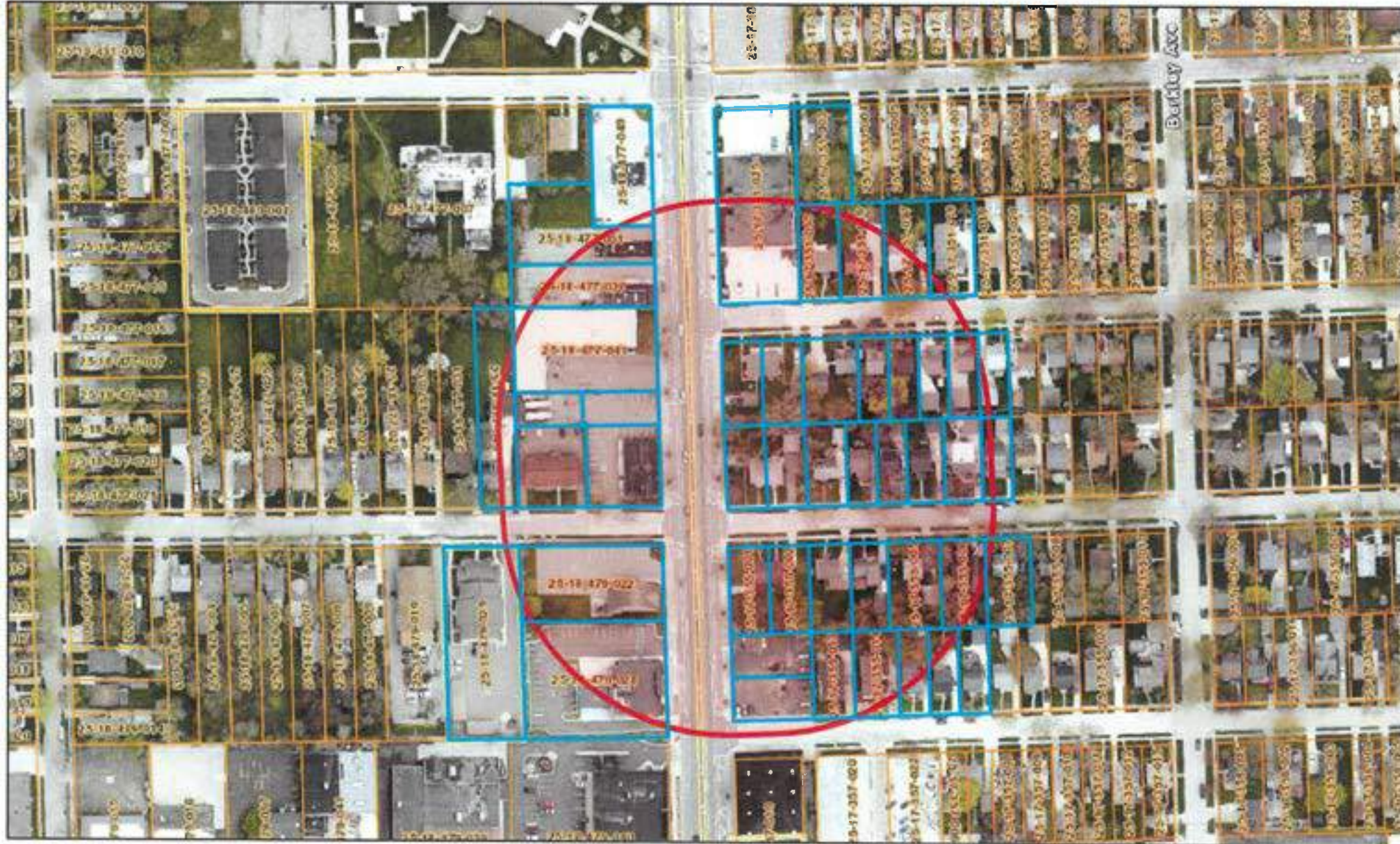
-83.183 42.490 Degrees

200ft





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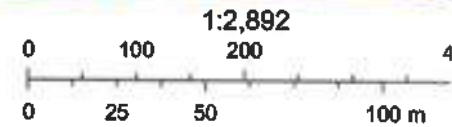


Thu Sep 07 2023

  Override 1

  Override 1

  RCOAppMapService\_5220





25-18-477-048

25-18-477-040

Columbia Rd

200.00

-83.183 42.491 Degrees

40ft

55.00

55.00

56.30

25-17-353-015

53.37

117.00

53.40

53.41

117.00

185

2476 Columbia Rd, Berkley, NJ, 48072

Score: 90.9

[Zoom to](#)

54.41

25-17

54.41

54.34



OC Parcels Plus 2476 Columbia



-83.183 42.491 Degrees

200ft



**THE CITY OF BERKLEY**  
**Community Development Department**  
**3338 Coolidge Highway, Berkley, Michigan 48072**  
**(248) 658-3320**

**NOTICE OF PUBLIC HEARING**  
**BERKLEY CITY PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN, that in accordance with the City of Berkley Code of Ordinances, Chapter 138 *Zoning*, Article VI *Administration and Enforcement, Amendments*, a Public Hearing will be held by the Berkley City Planning Commission on Tuesday, March 18 at 7:00 p.m. or as near thereto as the matter may be reached at the City Hall Council Chambers, 3338 Coolidge Highway, Berkley, Michigan.

**Application Number PPUD-01-25**

The applicant, Krieger Klatt Architects on behalf of WJ Ventures LLC, 2465 Columbia, 2475 Columbia, 2468 Columbia and 2476 Columbia and 2475 Cambridge and 2465 Cambridge, Parcel #'s 25-17-353-001, 25-17-353-002, 25-17-355-002, 25-17-355-001, 25-17-353-016 and 25-17-353-015 is requesting an amendment to the Planned Unit Development previously approved for a multi-family development.

Complete application information is available for review at [www.berkleymi.gov/community-development/development-projects](http://www.berkleymi.gov/community-development/development-projects).

Comments regarding the proposed site plan may be made in person on the night of the Public Hearing or may be made in writing. All written comments must be submitted in person to the Community Development Department or sent via email to [planning@berkleymi.gov](mailto:planning@berkleymi.gov) before 5:00 PM on the date of the Planning Commission meeting.

You can watch the meeting: [youtube.com/cityofberkley](https://www.youtube.com/cityofberkley)

KRISTEN KAPELANSKI  
COMMUNITY DEVELOPMENT DIRECTOR



**THE CITY OF BERKLEY**  
**Community Development Department**  
**3338 Coolidge Highway, Berkley, Michigan 48072**  
**(248) 658-3320**

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KRISTEN KAPELANSKI  
COMMUNITY DEVELOPMENT DIRECTOR

**Publish Once:**

Royal Oak Tribune  
Royal Oak, Michigan  
Friday, February 28, 2025



# **CITY OF BERKLEY**

## **COMMUNITY DEVELOPMENT**

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

### **MEMORANDUM**

**To:** Krieger Klatt Architects, Applicant

**From:** Kristen Kapelanski, Community Development Director

**Subject:** **PPUD-01-25 The Columbia PUD Amendment – Review #1**

**Date:** February 27, 2025

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#### **Project History**

The project includes 2465, 2475, 2466 and 2476 Columbia and 2475 and 2465 Cambridge. The current zoning of the site is PUD. The City Council approved a Planned Unit Development Plan for the subject property in 2024, which included a four-story multi-family development on 0.83 acres at the aforementioned addresses. Fifty-seven units were contained in two buildings with associated parking, utilities and landscaping. The Council approved the request with the following ordinance deviations and recognizing the following public benefits. (All PUD projects must meet at least three of the seven public benefits identified in Section 138-533.) In addition, the Council found that the standards for approval in Section 138-537 had been met.

#### **Ordinance Deviations**

- Deficient setback along Coolidge (10 ft. required, 2 ft. 1/8 in. provided for north building, 7 ft. 3in. provided for south building)
- Deficient number of parking spaces (114 required, 77 provided)
- Deviation to allow for an overage on the total number of compact car spaces (30% permitted, 36% provided)
- Deficient use (non-residential is not provided on the first floor)

#### **Public Benefits**

- The project provides extensive landscaping, beyond site plan requirements.
- The project provides open space or a public plaza.
- The project provides efficient consolidation of poorly dimensioned parcels.

#### **Proposed Amendments to the Planned Unit Development**

The applicant has now proposed amendments to the approved PUD. All amendments outside of those identified as being eligible for administrative approval in the approved PUD Agreement must go back through the standard PUD approval process. In this case, the applicant is also proposing to modify the proposed deviations as well.

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The proposed amendments are detailed in the applicant's provided narrative and are summarized below. Since this request is for an amendment to an existing, approved PUD, the Planning Commission and City Council should focus their review on those elements of the plan that have changed.

#### Proposed Amendments

- The southern building has been eliminated and all units have been consolidated into one building on the northern-most parcel. The pocket park originally on the eastern half of the southern parcel has been moved to the west, fronting Coolidge. Carports are proposed as accessory structures on the southern parcel.
- Conversion of the mansard roof into a flat deck roof. Height per the Zoning Ordinance is measured to the mid-point of a mansard roof and the top of a flat roof. In the original PUD, the top of the mansard roof was labeled as 45 ft. with a midpoint of 40 ft., the maximum allowed height. Since a flat top roof is measured differently, with a proposed height of 46 ft., this will require a deviation. Parapets are also proposed for visual interest and screening. Those are not included in the overall height measurements. See the applicant's February 14, 2025 narrative for additional information.
- The first-floor lobby has been increased in size.
- The unit count has decreased from 57 to 51 units.
- Balcony locations have been added and adjusted.
- The façade has been updated to have similar materials but with a different color palate. Cement board siding has been added as an accent material on the east, north and south elevations. Siding can be permitted by the Planning Commission if the Commission finds that the standards in Section 138-678 have been met.
- The parking lot layout has been revised and the number of parking spaces has been reduced from 77 to 69. With the reduction of units, this equals a ratio of 1.35 spaces per unit. The current approved plan also proposed 1.35 spaces per unit. The parking lot reconfigurations result in a more usable parking area without the use of tandem spaces.
- Landscaping throughout the site has been adjusted to accommodate the proposed layout changes.
- The refuse area has been moved under the podium of the building.

#### Proposed Deviations from the Zoning Ordinance

Deviations that are proposed as part of the PUD plan are listed below. New deviations are bolded. Revised deviations are italicized.

- Deficient use (Non-residential is not provided on the first floor.)
- ***Deficient use (The southernmost parcel contains a public park space/plaza and parking for the proposed multifamily building. Parking and a park are not permitted uses in the Gateway Zoning District.)***
- *Deficient front setback -west (10 ft. required, 0.5 ft. provided)*
- ***Deficient building height (40 ft. required, 46 ft. provided)***



- *Deficient number of parking spaces (102 required, 69 provided)*
- *Deficient number of compact car spaces (30% permitted, 35% proposed)*
- ***Deficient use (Accessory structure – carports- located on a parcel without a principal use.)***
- ***Deficient parking location (Off-street parking facilities must be located on the same parcel as the principal use. Parking proposed on southern parcel.)***

### **Items to be Addressed**

Bolded items must be addressed prior to the Planning Commission meeting. The remaining items can be conditions of approval should the Planning Commission or City Council make motions of approval.

- Three barrier free spaces are required. One additional barrier free space must be added to the north parking lot.
- A screen wall is indicated along the east property line. A detail matching the height of the screen wall included in the current approved plan and indicating masonry to match the building should be included in the plan set.
- **A photometric plan complying with ordinance standards must be provided prior to the Planning Commission meeting.**
- **The square footage of the previously approved public park/plaza along with the square footage of the currently proposed public park/plaza should be provided.**
- **Material samples should be brought to the Planning Commission meeting.**
- All mechanical rooftop units will need to be screened with metal panels if screening is not achieved via parapets.

### **PUD Recognizable Benefits**

Section 138-533 of the Zoning Ordinance indicated that a PUD application shall demonstrate to the City that the PUD protects the integrity of the surrounding neighborhood and meets at least three of the following site design elements that could not be attained through a project designed under conventional zoning.

- High-quality architectural design, beyond the site plan requirements of this title.
  - There is visual interest created by the differing materials, inset balconies and screening panels on the first floor. The Planning Commission and City Council did not previously identify this as a recognized benefit but may want to reevaluate based on the revised elevation.
- Extensive landscaping, beyond the site plan requirements of this title.
  - The revised plan includes landscaping beyond what has been seen in recent projects, consistent with the prior approval. Additionally, and also consistent with the prior approval, the applicant will plant six new trees in the Coolidge right-of-way and provide landscaping for the properties to the east, should they be willing to accept it. The Planning Commission and City previously found that this was a recognized benefit.
- Preservation or enhancement of historic resources.
  - This does not apply and was not previously identified as a recognized benefit.

- Provision of open space and public plazas.
  - The previous plan includes streetscape improvements along Coolidge, a pocket park and associated furnishings on the southern parcel. All of these except the streetscape improvements have been included in the proposed plan. Additionally, the pocket park is more open and accessible to the public in its revised location. The Planning Commission and City Council previously found this was a recognized benefit. The applicant should consider adding the previously included streetscape elements back into the plan.
- Efficient consolidation of poorly dimensioned parcels.
  - This element has not changed. The plan includes the consolidation of three adjacent parcels. The Planning Commission and City Council did not find this as a recognizable benefit as part of the previous approval.
- Shared vehicular access between properties or uses.
  - The proposed plan changes do not offer new vehicle access between properties or uses. The Planning Commission and City Council did not previously include this in the list of recognizable benefits.
- A complementary mix of uses or a variety of housing types.
  - The conversion of three two-family homes to a multiple- family building offers a better transition from Coolidge's commercial corridor to the adjacent neighborhood. No proposed uses on the site have been changed from the previous approval. The Planning Commission and City Council did not recognize this as a benefit in the previous approval.

### **PUD Standards for Approval**

As set forth in Section 138-537 of the Zoning Ordinance, the City shall consider the following standards when determining whether to approve, approve with conditions or deny a proposed PUD.

- A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations.
  - This standard was previously found to be met by the Planning Commission and City Council. As identified as part of the previously approved PUD, the Master Plan identifies the need to diversify housing choices in the corridor. These apartments offer a housing option for small households in various stages of life. The barrier-free accessibility of the units reflects a housing style that is needed in the community based on current housing availability and population forecasts. The changes proposed as part of the PUD amendment do not change the use of the property in terms of a recognizable benefit as identified here.
- The proposed type and density of use shall not result in an unreasonable increase in the need for or burden upon public services, facilities, streets and utilities.
  - In terms of parking, the applicant is proposing the same parking standard that was previously approved. The Department of Public Works and the City Engineer have not identified any deficiencies when compared to the previous plan. The proposed amendment does not alter the previous finding that this standard has been met.

- There shall be underground installation of utilities, including electricity and telephone, unless otherwise approved by the City.
  - The Department of Public Works and the City Engineer have not identified any deficiencies when compared to the previous plan. The proposed amendment does not alter the previous finding that this standard has been met.
- The proposed development shall be consistent with the public health, safety and welfare of the City.
  - This standard has been met, as the project was previously, and continues to be consistent with the housing and development goals of the Master Plan and Downtown Master Plan. The proposed amendment does not alter the previous finding that this standard has been met.
- The proposed development shall not result in an unreasonable negative economic impact on surrounding properties.
  - The Planning Commission and City Council previously found that this standard was met with the inclusion of the screen wall adjacent to the neighboring residential properties and landscaping offered to the adjacent lots. Those items are included in this amendment as well.
- The proposed development shall be consistent with the goals and policies of the Master Plan.
  - This standard was previously considered met through with a proposal that makes convenient use of a shallow property within the Coolidge commercial corridor. The intention of the Master Plan, particularly within this area, is to offer diverse housing options and improve the aesthetic character. The proposed amendments do not alter this conclusion.

### **Staff Recommendation**

The applicant should address the following items prior to the Planning Commission meeting:

- **A photometric plan complying with ordinance standards must be provided prior to the Planning Commission meeting.**
- **The square footage of the previously approved public park/plaza along with the square footage of the currently proposed public park/plaza should be provided.**

Staff recommends approval of the proposed PUD amendment as it is consistent with the previous findings of public benefit and Section 138-537 of the Zoning Ordinance.



# CITY OF BERKLEY

## DEPARTMENT OF PUBLIC WORKS

3238 BACON AVE, BERKLEY, MICHIGAN 48072

# Transmittal Memo

To: Kristen Kapelanski, Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)  
Adam Wozniak, Public Works Superintendent (via email)

From: Shawn Young, Deputy City Manager for Public Services

Date: March 3<sup>rd</sup>, 2024

Subject: "The Columbia" Review #3

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We have reviewed the site plans provided by the Community Development Department on February 14<sup>th</sup>, 2025. Please find our comments below:

1. The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the storm water calculations and grading.
2. The existing 6" water main on Columbia from the 12" watermain in Coolidge to just past the planned construction limits shall be replaced with new 8' water main to support the fire flow needs of the structure and limit the potential for future disruptions to the building. This work will require an EGLE Permit.
3. More information such as a geotechnical report and water table levels are needed before approval of the proposed stormwater detentions system is approved.
4. A traffic control plan shall be added to the plan set to account for any proposed Right of Way impacts. This includes any potential sidewalk closures during construction.

I recommend approval pending these items.

Feel free to call with any questions or concerns. Thank you.



March 5, 2025

City of Berkley  
3338 Coolidge Highway  
Berkley, Michigan 48072

Attn: Ms. Kim Anderson, Zoning Administrator

Re: The Columbia  
2465-2476 Columbia & 2465-2475 Cambridge  
PUD Application Site Plan – Review No. 4  
City of Berkley, Michigan

HRC Job No. 20230156.02

Dear Ms. Anderson:

In accordance with your request, as Consulting Engineers for the City of Berkley, our office has conducted a Site Plan review for the above referenced proposed development for compliance with the City of Berkley's engineering and site plan requirements. The plan was prepared by Giffels Webster of Birmingham, Michigan with a revision date of February 14, 2025. The scope of the project includes the demolition of three existing single-family residential buildings, garages, and all other accessory site features and the construction of a new 4-story, 51-unit apartment complex. Per the City's standards and requirements for construction, we hereby offer the following comments:

General:

1. The number of parking spaces shown does not meet the ordinance requirements of 2 per residential unit. We will defer to Community Development to discuss the possibility of an exception to the parking requirements. **This item is still applicable.**

Public & Private Utilities:

2. The existing water and sewer leads are to be abandoned and new leads will be constructed. The sanitary leads must be abandoned via a spot liner or another DPW approved method, within 2 feet of the main. Consult with the DPW prior to abandonment of existing leads. **This note has been added to the plans. This item has been satisfactorily addressed.**
3. The proposed sewer leads must include a new connection (TwisTee sewer saddle, as per the City DPW, or approved equal). The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the plans. The DPW must be contacted prior to the commencement of work within the right-of-way (ROW). **This note has been added to the plans. This item has been satisfactorily addressed.**

Storm Drainage and Detention/Sanitary Sewer:

4. The Grading Plan shows that stormwater will be contained within the site and directed towards the proposed underground storage system. **The site grading appears satisfactory.**

5. Stormwater runoff calculations are provided for a 100-year storm event in accordance with Oakland County standards. The proposed underground storage system volume exceeds the required detention volume according to these calculations and the provided details of the storage system.  
**This item is satisfactory.**
6. A restricted outlet structure is proposed along the outlet pipe from the underground storage system to the city sewer main. The minimum restrictor size is 1 inch as per OCWRC, if the weir outlet design is to be used.
7. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans.
8. Further details must be provided for full engineering approval, including all pavement cross sections and utility connections. The pavement cross section details must include a detail showing that the depth of cover above the underground storage system matches the manufacturer requirements.  
**This item is still applicable.**
9. A traffic control plan will be required prior to full engineering site plan approval. **This item is still applicable.**
10. A profile view of all utilities, including how and what is connected to the underground stormwater storage area, must be included on the plans.
11. Details of the connections to the Aquaswirl structure must be shown on the plans.
12. A geotechnical investigation is recommended to evaluate the feasibility of the proposed stormwater management system. The report and soil logs should be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system.
13. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction.

Recommendation:

Based on our aforementioned comments, we recommend conditional approval of the proposed Site Plan, pending the submittal of the above-mentioned detail sheets and revisions.

If you have any questions or require any additional information, please contact our office.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Edward D. Zmich  
Civil Department Manager

EDZ/kab

pc: City of Berkley; Shawn Young, Kristen Kapelanski  
HRC; R. Alix, K. Barauskas, File

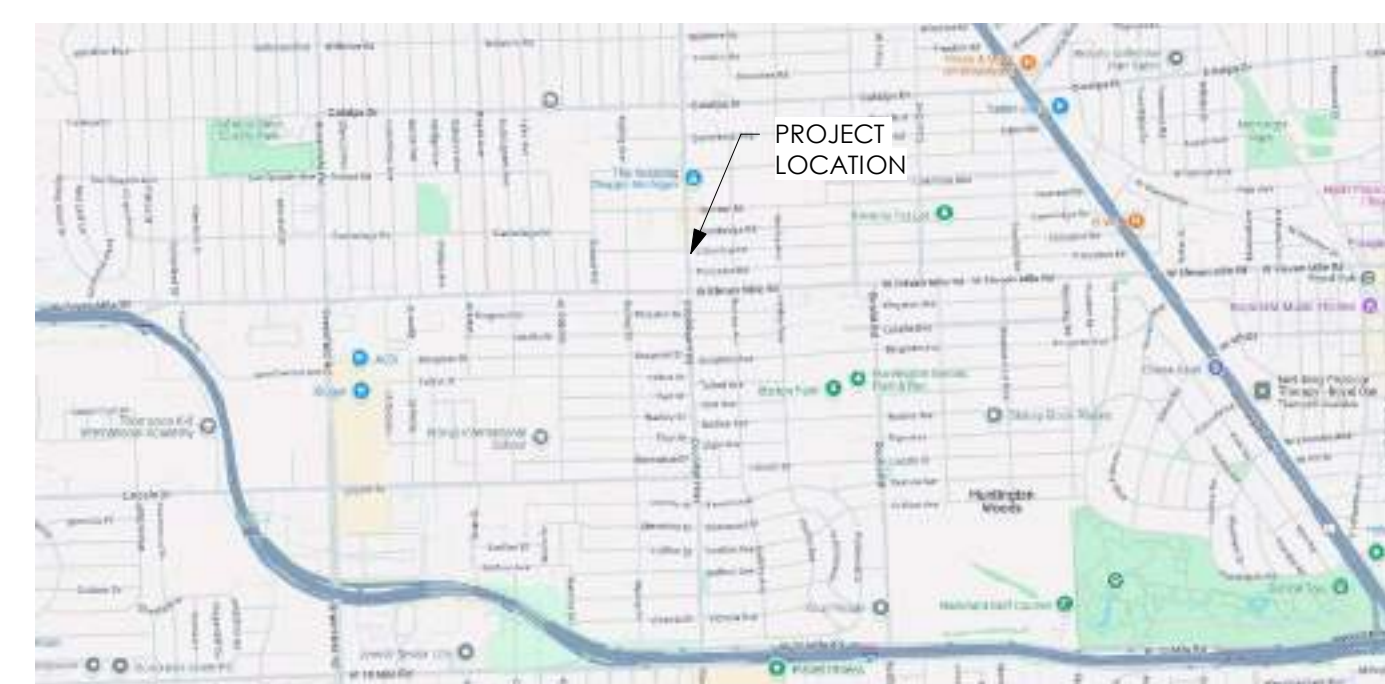


2476 Columbia Rd. Berkley, MI 48072

WJ Ventures, LLC  
2060 Coolidge Hwy.  
Berkley, MI 48072  
P.248.246.7878

Krieger | Klatt Architects Inc.  
400 E. Lincoln Ave.  
Royal Oak, MI 48067  
P.248.414.9270.  
F.248.414.9275

Giffels Webster  
1025 E. Maple, Suite 100  
Birmingham, MI 48009  
P.248.852.3100



Civil Sheet Index		
Sheet No.	Title	02.14.2025 Revised PUD 03.13.2025 Revised PUD Rev #1
C-200	Topographic & Boundary Survey	•
C-210	Schedule of Structures	•
C-300	Demolition Plan	•
C-600	Grading and Paving Plan	•
C-700	Utility Plan	•
C-720	Utility Calculations	•
LS-100	Landscape Plan	•
1 of 1	Photometric Plans & Details	•

Architectural Sheet Index		
Sheet No	Title	Revised PUD 02.14.2025 03.13.2025 Revised PUD Rev #1
G.001	Cover Sheet	• •
G.002	Aerial Renderings	• •
G.003	Perspective Renderings	• •
A.100	First Floor Plan	• •
A.101	Typical Floor Plan (Second - Third)	• •
A.102	Fourth Floor Plan	• •
A.103	Roof Plan	• •
A.200	Elevations	• •
A.201	Rendered Elevations	• •
A.202	Carport Elevations	• •
A.400	Building Sections	• •

400 E. Lincoln Ave. | Royal Oak, MI 48067  
P: 248.414.9270 F: 248.414.9275  
[www.kriegerklatt.com](http://www.kriegerklatt.com)

WJ Ventures, LLC  
2060 Coolidge Hwy.  
Berkley, MI  
48072

The Columbia  
2476 Columbia Rd.  
Berkley, MI 48072

[illegible]

A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED ARCHITECT" at the bottom, separated by stars. The center of the seal contains the name "JASON P. KRIEGER" and the license number "No. 53578". A large, stylized signature is written across the seal.

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

PRELIMINARY NOT FOR CONSTRUCTION

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# Cover Sheet

Project Number

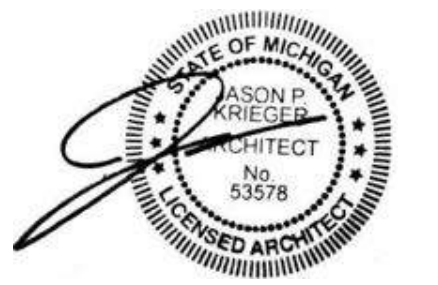
Sheet Number:

G.001



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## Note:

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Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: \_\_\_\_\_

Sheet Title:  
Aerial Renderings

Project Number: \_\_\_\_\_

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Project Number

Scale:

Sheet Number: \_\_\_\_\_

# G.002

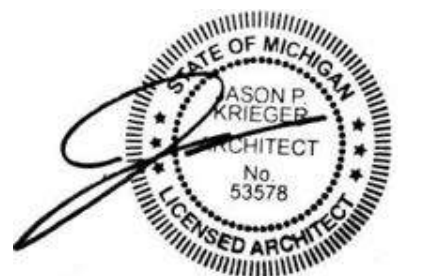


PRELIMINARY NOT FOR CONSTRUCTION



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Seal: \_\_\_\_\_



**Note:**

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Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

**North Arrow:**

Sheet Title:

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Perspective  
Renderings

Project Number: \_\_\_\_\_

Project Number

Scale: \_\_\_\_\_

Sheet Number: G.003

PRELIMINARY NOT FOR CONSTRUCTION



## Perspective Rendering at Northwest Corner



### Perspective Rendering along Coolidge Hwy.



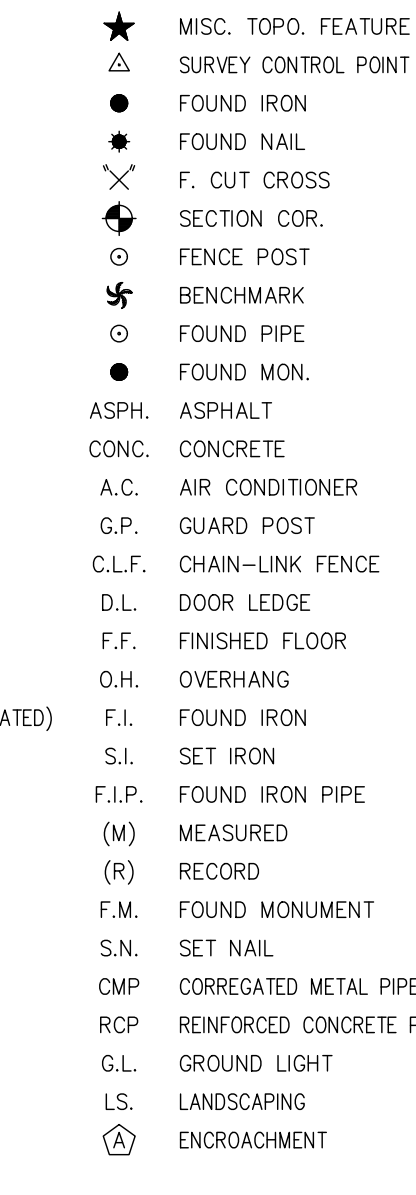
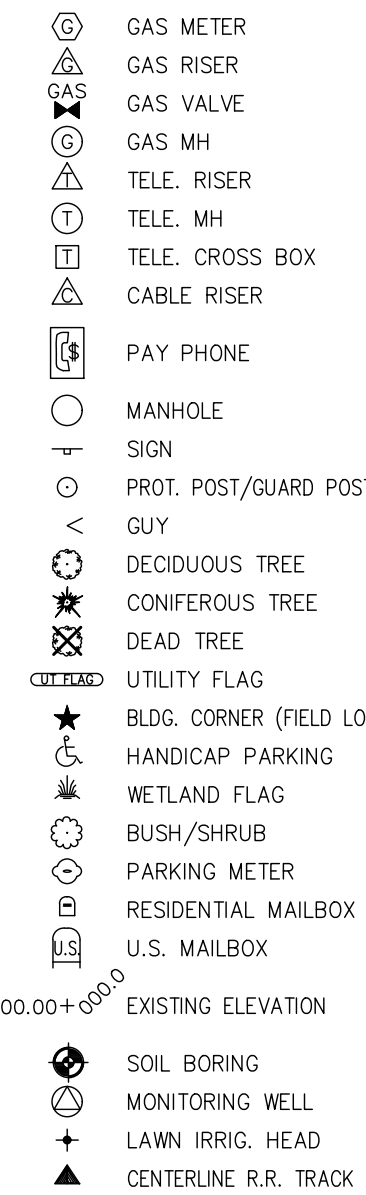
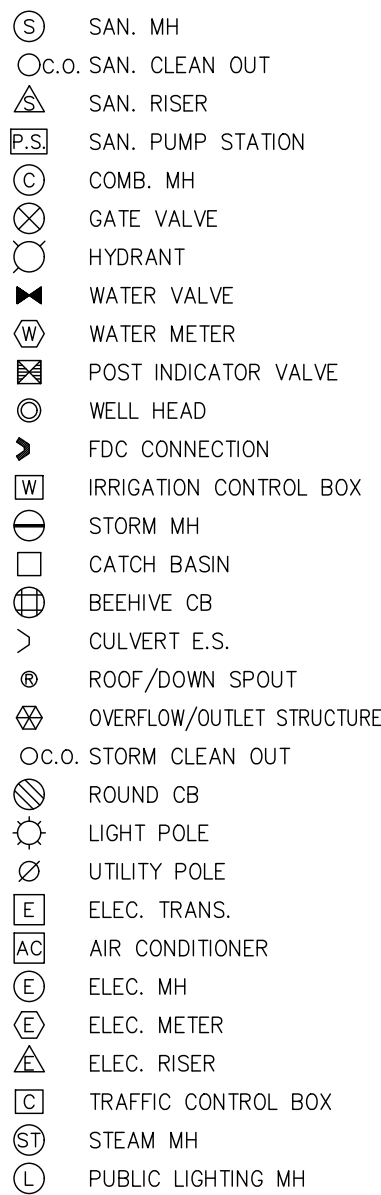
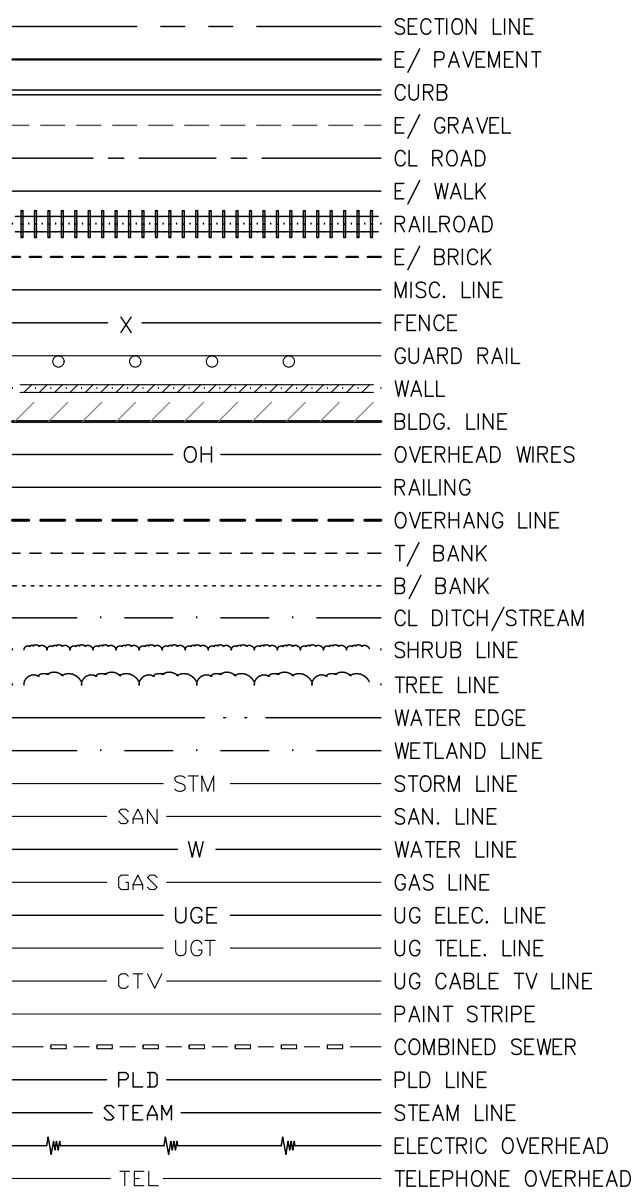
## Perspective Rendering at Pocket Park



### Perspective Rendering at Southwest Corner



LEGEND - EXISTING



UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

BENCH MARK DATA

( NAVD83 ) DATUM

WHICH DATUM? NOT LISTED ON BENCH LOOP

BENCH MARK 1

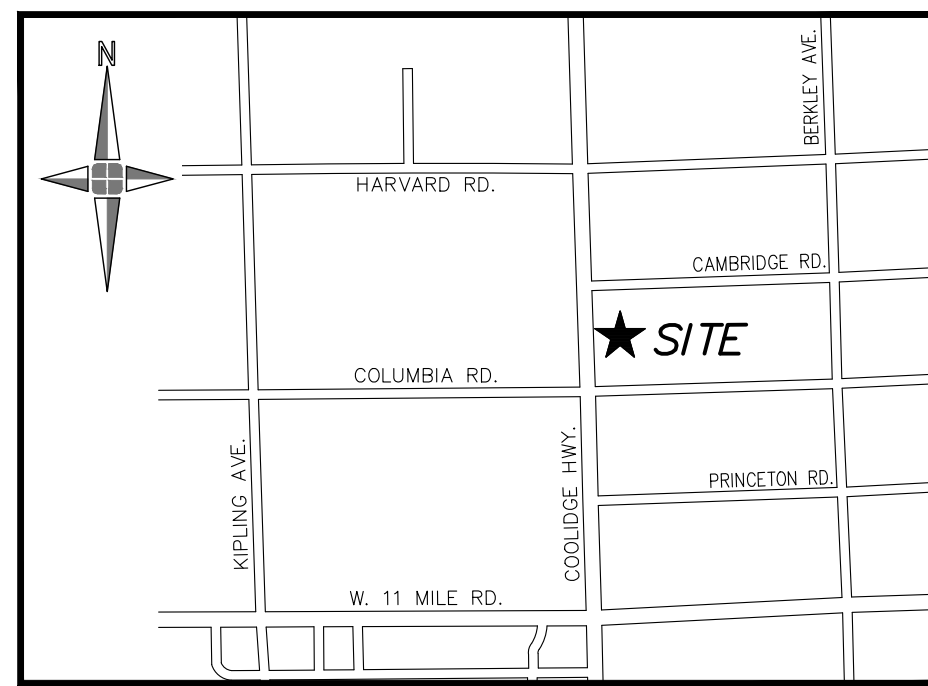
ARROW ON HYDRANT (1996), LOCATED ON THE WEST SIDE OF COOLIDGE HIGHWAY, +/- 3.5 FEET OFF OF THE BACK OF CURB, AND +/- 36 FEET SOUTH OF COLUMBIA ROAD.  
ELEVATION=672.66'  
(SHOWN GRAPHICALLY)

BENCH MARK 2

SE BOLT IN A LIGHT POLE BASE, LOCATED ON THE WEST SIDE OF COOLIDGE HIGHWAY, +/- 3 FEET OFF OF THE BACK OF CURB, AND +/- 150 FEET NORTH OF COLUMBIA ROAD.  
ELEVATION=671.64'  
(SHOWN GRAPHICALLY)

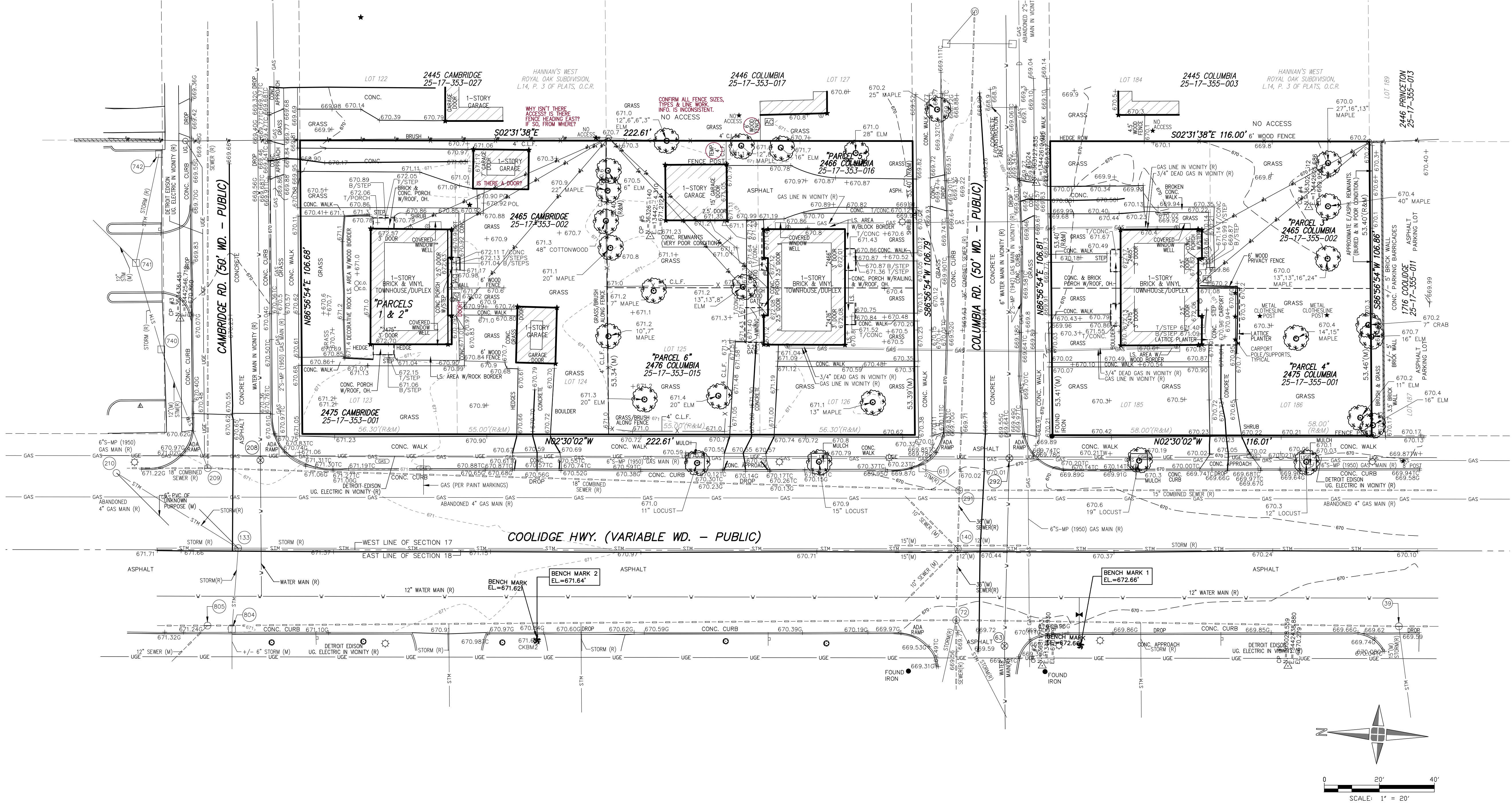
NOTES:

- SURVEY IN ACCORDANCE WITH TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021
- TELEPHONE, CABLE TV, STEAM, AND PUBLIC LIGHTING UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- THE FOLLOWING WERE UTILIZED FOR THE REPRESENTATION OF CONDUIT, IN THIS DRAWING:
  - CONSUMERS ENERGY RECORD DRAWINGS:
    - GAS LEAD LOCATION SHOULD BE CONSIDERED AS APPROXIMATE. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO CONSTRUCTION.
  - THE CITY OF BERKLEY WATER, SEWER, AND STORM RECORD DRAWING:
    - DUE TO THE SCHEMATIC NATURE OF THIS RECORD, PRECISE LOCATION OF CONDUIT CANNOT BE DETERMINED. CONDUIT LOCATION, IN THIS DRAWING, SHOULD BE CONSIDERED AS APPROXIMATE. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO ANY CONSTRUCTION.
  - OLDER DETROIT EDISON RECORD DRAWINGS:
    - AS THESE RECORD DRAWINGS ARE NOT CURRENT, CONDUIT MAY EXIST, ALTHOUGH NOT DEPICTED. IN ADDITION, DUE TO THE SCHEMATIC NATURE OF THESE RECORDS, PRECISE LOCATION CANNOT BE DETERMINED. CONDUIT LOCATION SHOULD BE CONSIDERED AS APPROXIMATE, WHERE NOT FIELD LOCATED. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO ANY CONSTRUCTION.
  - OLDER LEAD 3/CENTURY LINK DRAWING:
    - CONDUIT IS SHOWN, IN THIS RECORD, AS BEING OUTSIDE OF THE SCOPE OF THIS DRAWING. HOWEVER, AS THIS RECORD DRAWING IS NOT CURRENT, CONDUIT MAY EXIST, ALTHOUGH NOT DEPICTED. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO ANY CONSTRUCTION.
  - MEASURED BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH (2113), NAD83.
  - SEE SHEET 2 FOR STRUCTURE LIST.



LOCATION MAP  
( NOT TO SCALE )

MISS DIG DESIGN TICKET NUMBER:  
B012982740-00B



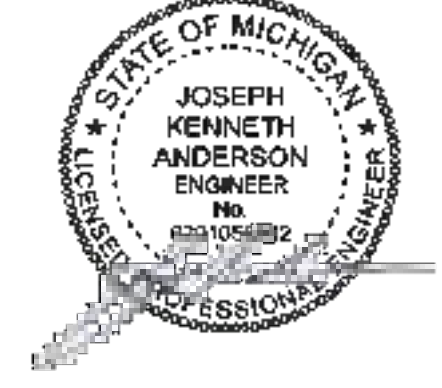
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Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5068  
www.giffelswebster.com

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
	T-03-N R-10-E

Professional Seal:



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04.28.2024	Revised PUD
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02.14.2025	Revised Plans for PUD Amendment
04.25.2025	City Council Submittal

Developed For:

WJ VENTURES, LLC

2060 COOLIDGE HWY  
BERKLEY, MI 48072

248-246-7878

TOPOGRAPHIC &  
BOUNDARY SURVEY  
THE COLUMBIA

CITY OF BERKLEY  
OAKLAND COUNTY  
MICHIGAN

Date:	07.21.2023
Scale:	1" = 20'
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Project:	20388.00

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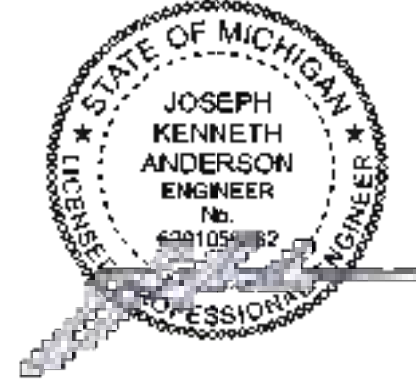


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BERKLEY, MI 48072

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SCHEDULE OF  
STRUCTURES  
  
THE COLUMBIA

CITY OF BERKLEY  
OAKLAND COUNTY  
MICHIGAN

Date:	07.21.2023
Scale:	N/A
Sheet:	C-210
Project:	20388.00

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SCHEDULE OF STRUCTURES

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
39	STORM MANHOLE	CL. 15" CHANNEL	669.49	-12.23	657.26	NORTH & SOUTH. FLOWS NORTH.	
		15"	669.49	-7.14	662.35	WEST	
63	GATE VALVE	T/VALVE	669.60	-3.48	666.12		
		18"	669.89	-13.50	656.39	NORTH	
72	COMBINED MANHOLE	CL. 36" CHANNEL	669.89	-14.10	655.79	EAST & WEST. FLOWS EAST.	
		18"	669.89	-13.52	656.37	SOUTH	
133	STORM MANHOLE	CL. 15" CHANNEL	671.51	-6.20	665.31	NORTH & SOUTH. FLOWS SOUTH.	
		10"	671.51	-5.05	666.46	NORTHEAST	
140	SANITARY MANHOLE	10"	671.51	-4.90	666.61	WEST	
			670.46	-5.00	665.46	NORTHWEST	
		15"	670.46	-6.80	663.66	NORTH	
			670.46	-12.55	657.91	NORTH	
		10"	670.46	-5.30	665.16	NORTHEAST	
		CL. 36" CHANNEL	670.46	-14.90	655.56	EAST & WEST. FLOWS EAST.	
		12"	670.46	-6.60	663.86	SOUTH	
			670.46	-12.20	658.26	SOUTH	
208	GATE VALVE	T/VALVE	670.84	-4.05	666.79		
209	STORM MANHOLE	18"	671.01	-12.85	658.16	NORTH	
		12"	671.01	-9.60	661.41	EAST-NORTHEAST	
			671.01	-12.25	658.76	EAST	
210	UNKNOWN MANHOLE	18"	671.01	-13.00	658.01	SOUTH. FLOWS SOUTH.	
		6" PVC	671.03	-3.77	667.26	SOUTHWEST	INVERT PLUS OR MINUS. HEAVILY OFFSET. NO OTHER PIPES VISIBLE. FULL OF WATER.
291	SANITARY MANHOLE	18"	670.10	-13.85	656.25	NORTH	
		12" PVC	670.10	-3.85	666.25	NORTHEAST	
		CL. 36" CHANNEL	670.10	-14.80	655.30	EAST & WEST	
		18"	670.10	-13.40	656.70	SOUTH	
292	GATE VALVE	T/WATER	669.74	-1.10	668.64		
		T/VALVE	669.74	-3.98	665.76		INVERT PLUS OR MINUS. UNABLE TO DEFINITELY DETERMINE T/VALVE.
611	CATCH BASIN	12"	669.84	-3.32	666.52	SOUTHWEST	NO OTHER PIPES VISIBLE. FULL OF WATER.
740	CATCH BASIN	12"	670.33	-8.00	662.33	EAST-NORTHEAST	NO OTHER PIPES VISIBLE
		12"	670.31	-6.67	663.64	NORTHEAST	NO OTHER PIPES VISIBLE
741	CATCH BASIN	10"	670.31	-6.27	664.04	EAST	NO OTHER PIPES VISIBLE
		12"	670.31	-7.87	662.44	WEST-SOUTHWEST	NO OTHER PIPES VISIBLE
742	CATCH BASIN	10"	669.37	-3.78	665.59	WEST	24" DIAMETER STRUCTURE
804	CATCH BASIN	10"	670.97	-3.90	667.07	EAST. FLOWS EAST.	
		+/- 6"	670.97	-3.02	667.95	WEST	
805	STORM MANHOLE	12"	671.14	-12.30	658.84	NORTHWEST	
		18" CHANNEL	671.14	-13.18	657.96	NORTH & SOUTH. FLOWS SOUTH.	

PROPERTY DESCRIPTION

(PER TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021)  
LAND IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, MICHIGAN TO WIT:

PARCELS 1 AND 2:

LOTS 123 AND 124, EXCEPT THAT PORTION NOW INCLUDED IN COOLIDGE HIGHWAY, HANNAN'S WEST ROYAL OAK SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 14 OF PLATS, PAGE 3, OAKLAND COUNTY RECORDS.  
(TAX ID.: 25-17-353-001 - 2475 CAMBRIDGE)  
(TAX ID.: 25-17-353-002 - 2465 CAMBRIDGE)

PARCEL 3:

EAST 53.4 FEET OF LOTS 185 AND 186, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS  
(TAX ID.: 25-17-355-002 - 2465 COLUMBIA)

PARCEL 4:

LOTS 185 AND 186, EXCEPT EAST 53.40 FEET OF EACH, ALSO EXCEPT WEST 10.19 FEET OF LOT 185 AND WEST 10.17 FEET OF LOT 186, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS.  
(TAX ID.: 25-17-355-001 - 2475 COLUMBIA)

PARCEL 5:

EAST 53.4 FEET OF LOTS 125 AND 126, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS.  
(TAX ID.: 25-17-353-016 - 2466 COLUMBIA)

PARCEL 6:

LOTS 125 AND 126, EXCEPT THE EAST 53.40 FEET OF EACH, ALSO EXCEPT WEST 10.25 FEET OF LOT 125, ALSO EXCEPT WEST 10.23 FEET OF LOT 126, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS.  
(TAX ID.: 25-17-353-015 - 2476 COLUMBIA)

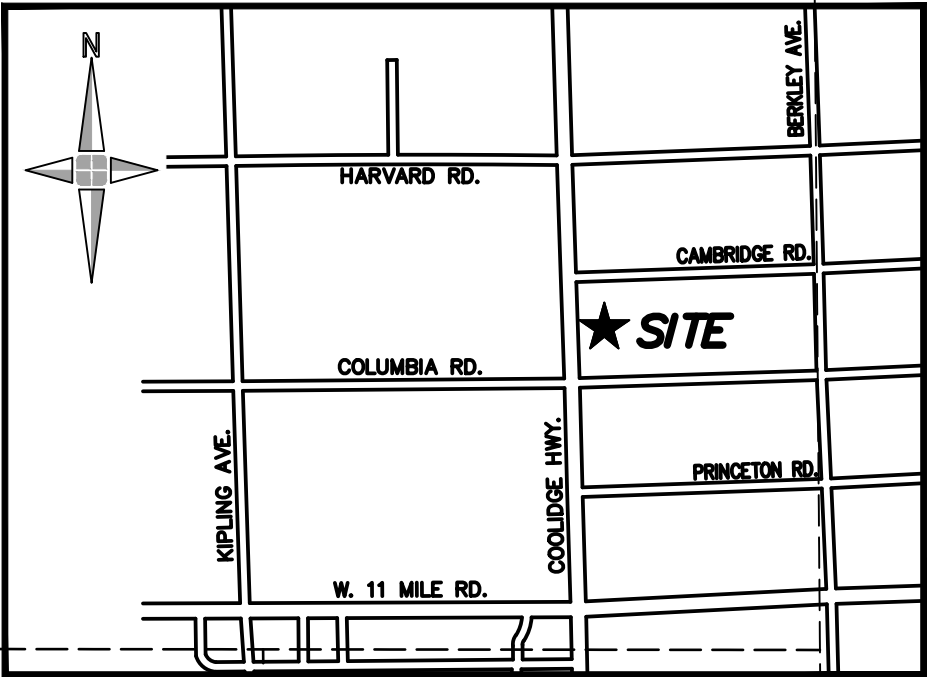
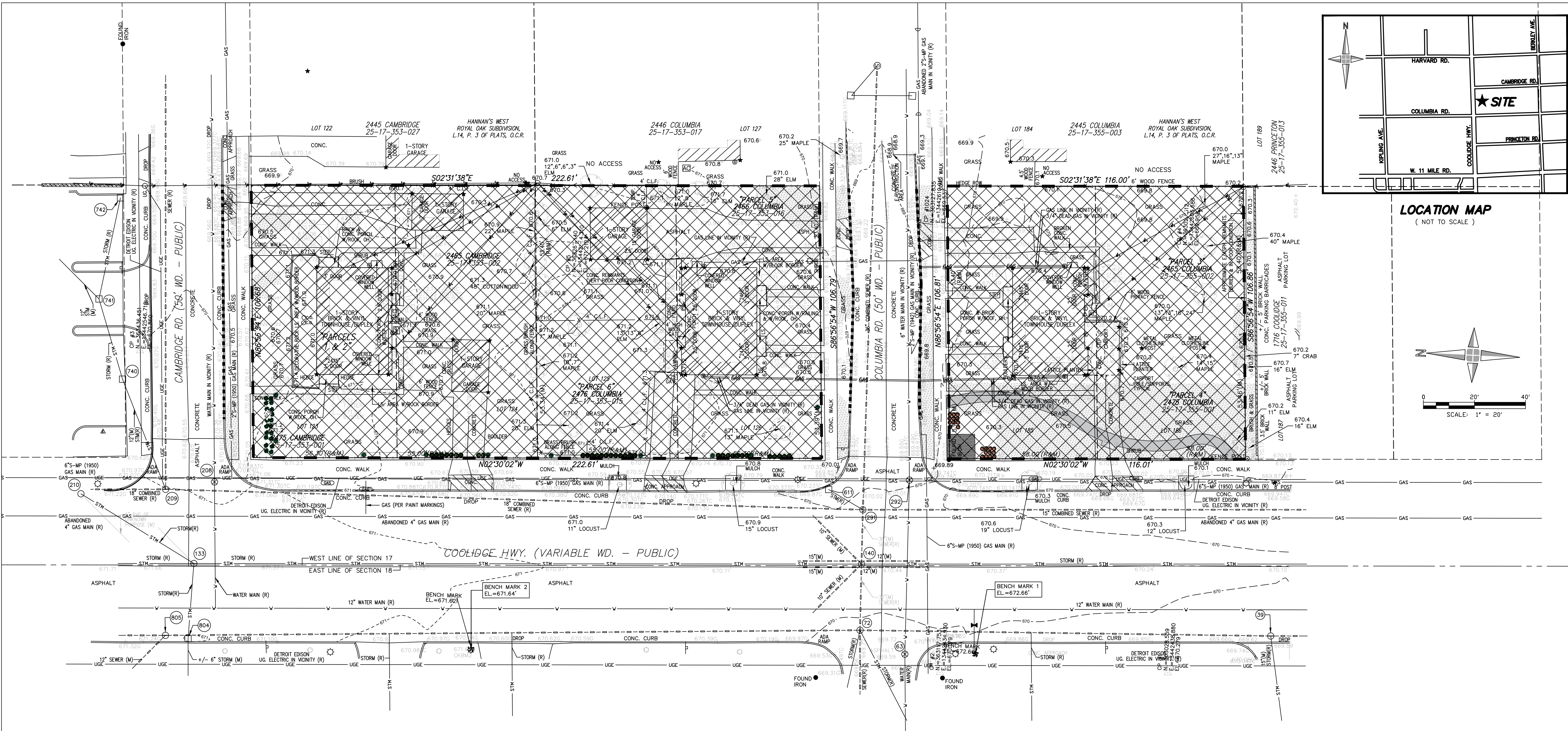
SCHEDULE B – II. EXCEPTIONS

(PER TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021)

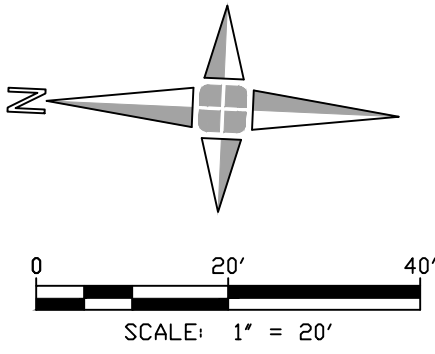
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LOCATION MAP  
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## DEMOLITION NOTES:

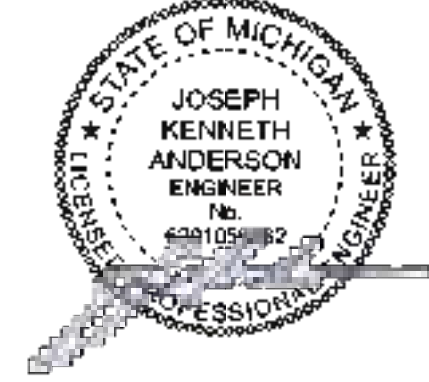
- CONTRACTOR TO REMOVE ALL ITEMS WITHIN THE DEMOLITION AREAS.
- TREES TO BE CUT, REMOVED FROM SITE AND STUMPS REMOVED, NOT GROUND IN PLACE.
- BUILDINGS TO BE COMPLETELY REMOVED INCLUDING ALL FOUNDATIONS.
- CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR PROPER SHUT OFF, DECOMMISSIONING, BULK-HEADING, ETC.OF ALL PUBLIC AND PRIVATE UTILITIES OR ARRANGE FOR REROUTING OF UTILITIES.
- CONTRACTOR TO WORK WITH CITY DPW FOR SHUTOFF, BULK-HEADING, AND ABANDONING OF ALL PUBLIC UTILITIES AND SERVICE LEADS.
- ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFF SITE AND AT AN APPROVED FACILITY.
- MissDig Design Ticket Number B012982740-00B

## DEMOLITION LEGEND:

- REMOVE EXISTING CURB
- DEMOLITION AREA
- REMOVE CONCRETE SURFACE

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	

Professional Seal:



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Developed For:

WJ VENTURES, LLC

2060 COOLIDGE HWY  
BERKLEY, MI 48072

248-246-7878

## DEMOLITION PLAN

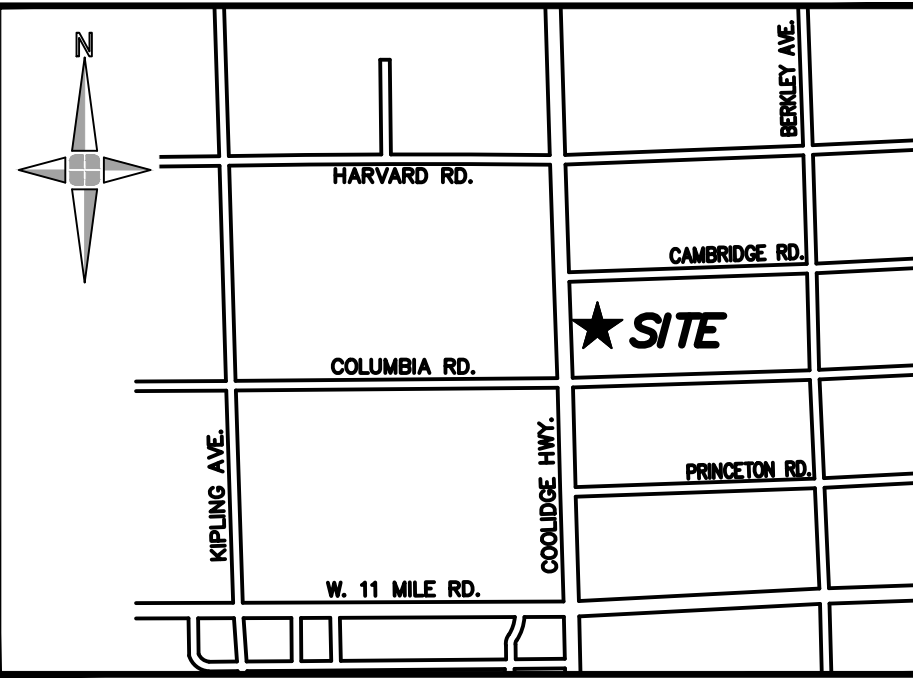
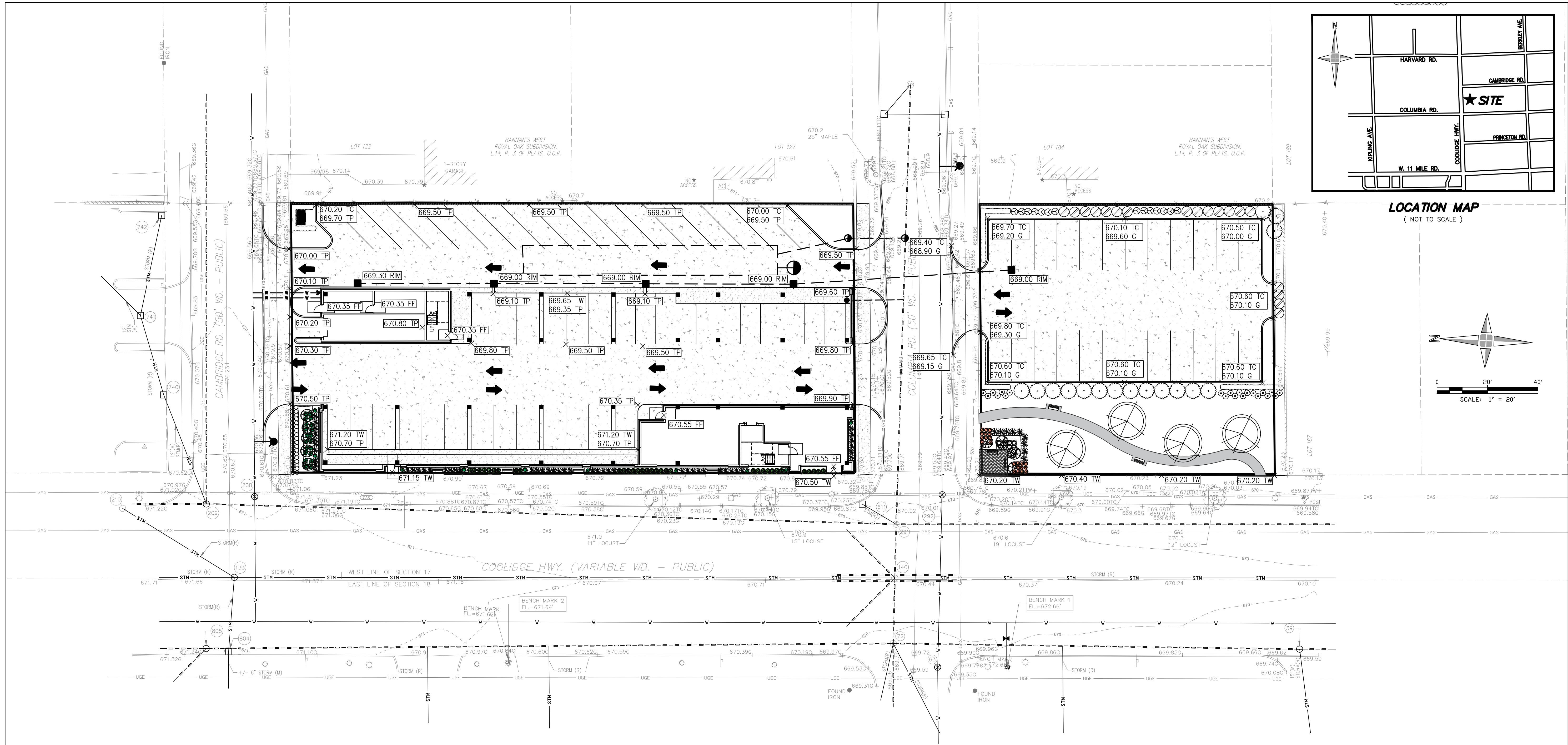
### THE COLUMBIA

CITY OF BERKLEY  
OAKLAND COUNTY  
MICHIGAN

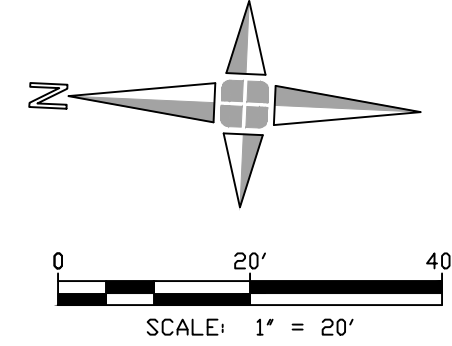
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Project:	20388.00



H:\2020\300\20388.00 Berkley\_Lots\Design\CAD\2025 04 25 Final SP PUD submitt\600 GRADING Berkley Condo SP REV.dwg



LOCATION MAP  
( NOT TO SCALE )



## LEGEND

670.00 TP	PR TOP OF PAVEMENT ELEV.
670.00 FG	PR FINISHED GRADE ELEV.
[Pattern: Dotted]	PR 8" CONCRETE PAVEMENT
[Pattern: Stippled]	PR 6" CONCRETE PAVEMENT
[Pattern: Horizontal Lines]	PR 4" CONCRETE PAVEMENT

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248-246-7878

GRADING and PAVING  
PLAN

THE COLUMBIA

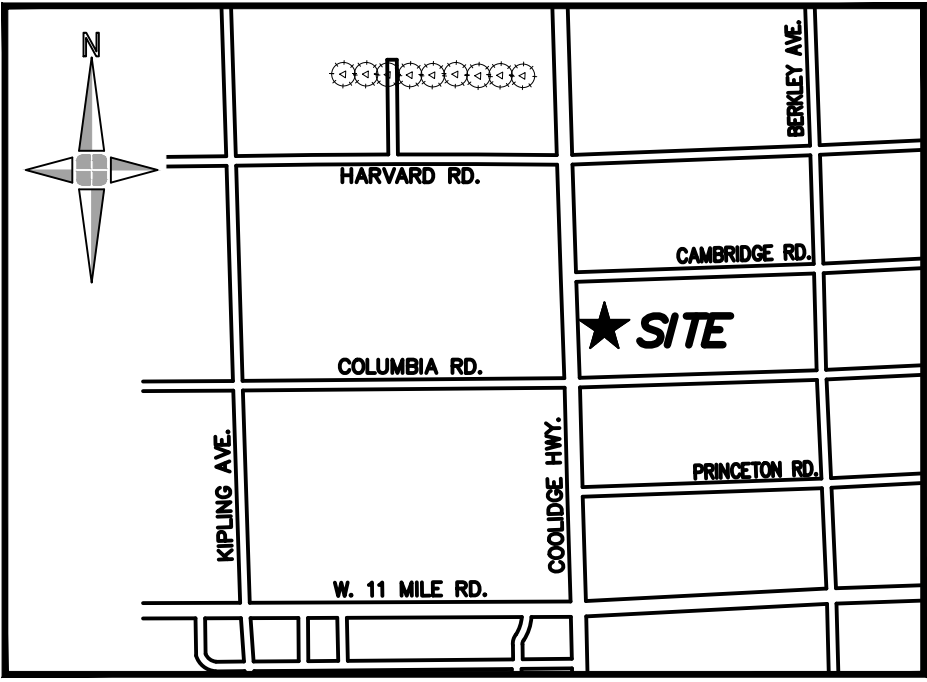
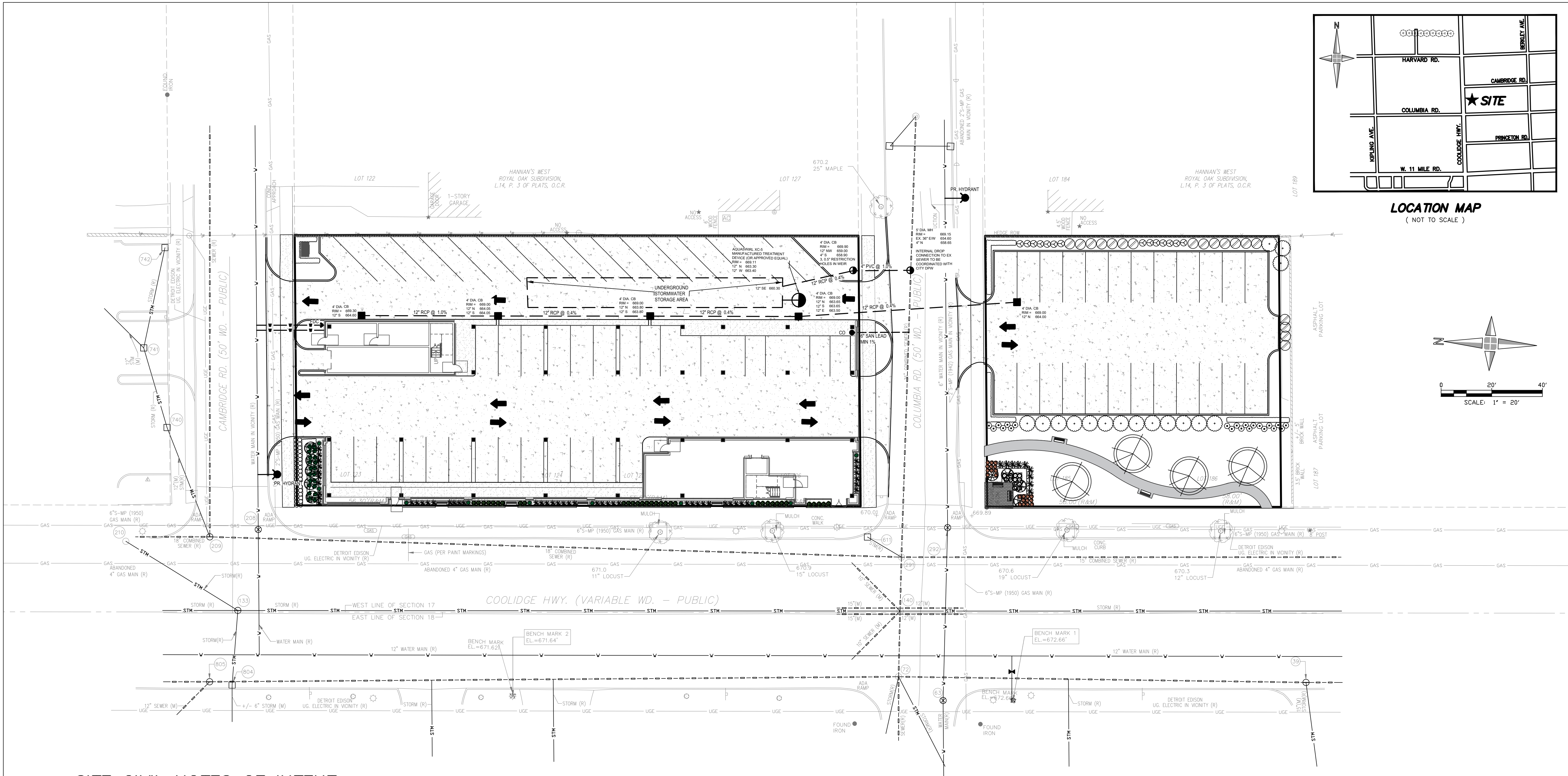
CITY OF BERKLEY  
OAKLAND COUNTY  
MICHIGAN

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Project:	20388.00

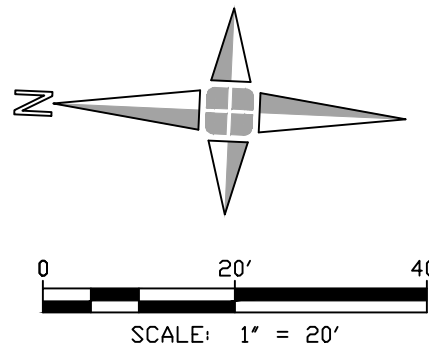
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H:\2020\3000\20388.00 Berkley Lots\Design\CAD\2025 04 25 Final SP PUD submit\C700 UTILITY Berkley Condo SP REV.dwg



LOCATION MAP  
( NOT TO SCALE )



## SITE CIVIL NOTES OF INTENT

- GRADING AND SESC: ALL GRADING AND SOIL EROSION & SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AND STRICTLY ENFORCED THROUGHOUT CONSTRUCTION.
- SANITARY SERVICE: ALL EXISTING SANITARY SERVICES ARE PROPOSED TO BE ABANDONED VIA A SPOT LINER OR ANOTHER DPW APPROVED METHOD, WITHIN 2' OF THE MAIN. NEW SANITARY LEADS WILL BE INSTALLED AND CONNECTED WITH TWISTEE SEWER SADDLE PER DPW.
- WATER SERVICE: THE EXISTING WATER SERVICES WILL BE REMOVED TO THE CITY STOP BOXES OR PER DPW DIRECTION. A NEW DOMESTIC SERVICES WILL BE CONNECTED AND INSTALLED TO THE BUILDINGS. THE BUILDINGS WILL BE FIRE SUPPRESSED AND HAVE SEPARATE FIRE SERVICE LEADS INSTALLED.
- STREETS WILL BE RESTORED THAT ARE ASSOCIATED WITH UTILITY WORK.
- A TRAFFIC CONTROL PLAN WILL BE COORDINATED WITH CITY AND ADDED TO CONSTRUCTION PLANS FOR REVIEW AND APPROVAL.
- APPLICANT WILL COORDINATE / DISCUSS WITH CITY ON ANY ADDITIONAL UTILITY IMPROVEMENTS.
- ADDITIONAL FIRE HYDRANTS ARE PROPOSED TO PROVIDE APPROPRIATE FIRE COVERAGE.
- STORMWATER MANAGEMENT:
  - THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER STORMWATER ENGINEERING DESIGN STANDARDS, UPDATED 11/22/2021, WILL BE FOLLOWED FOR PROPER DESIGN REQUIREMENTS. AND THE DESIGNED STORAGE WILL MEET OCWRC STANDARDS.
  - THIS SITE WILL ALSO UTILIZE A MECHANICAL TREATMENT DEVICE TO CAPTURE FLOATABLES AND FILTER OUT SEDIMENT. THIS UNIT WILL HAVE NDEP CERTIFICATION.
  - THE PROPOSED OUTLET CONTROL STRUCTURE WILL BE RESTRICTED AND DEWATER WITHIN ALLOWABLE TIMES.

### STORMWATER SYSTEM NOTE:

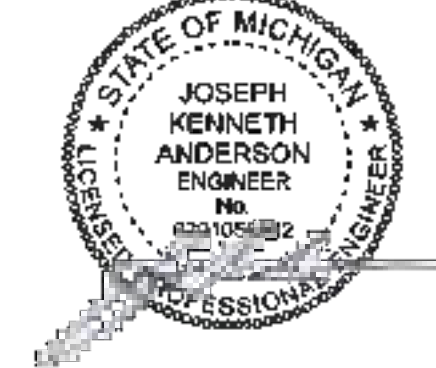
STORMWATER MANAGEMENT SYSTEM WILL BE A PRIVATE SYSTEM UNDER THE MAINTENANCE OF THE PROPERTY OWNER. A MAINTENANCE AGREEMENT BETWEEN OWNER AND CITY OF BERKLEY WILL BE PROVIDED ONCE PLAN IS APPROVED. ALL NECESSARY EXHIBITS WILL BE INCLUDED WITH THE AGREEMENT.

## LEGEND

	PR STORM SEWER
	PR STORM CATCH BASIN
	PR OUTLET CONTROL STRUCTURE
	PR MANUFACTURED TREATMENT DEVICE
	EX SANITARY LEAD
	EX WATER SERVICE
	FIRE HYDRANT

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	

Professional Seal:



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04.25.2025	City Council Submittal

Developed For:

WJ VENTURES, LLC

2060 COOLIDGE HWY  
BERKLEY, MI 48072

248-246-7878

UTILITY PLAN

THE COLUMBIA

CITY OF BERKLEY  
OAKLAND COUNTY  
MICHIGAN

Date:	07.21.2023
Scale:	1" = 20'
Sheet:	C-700
Project:	20388.00

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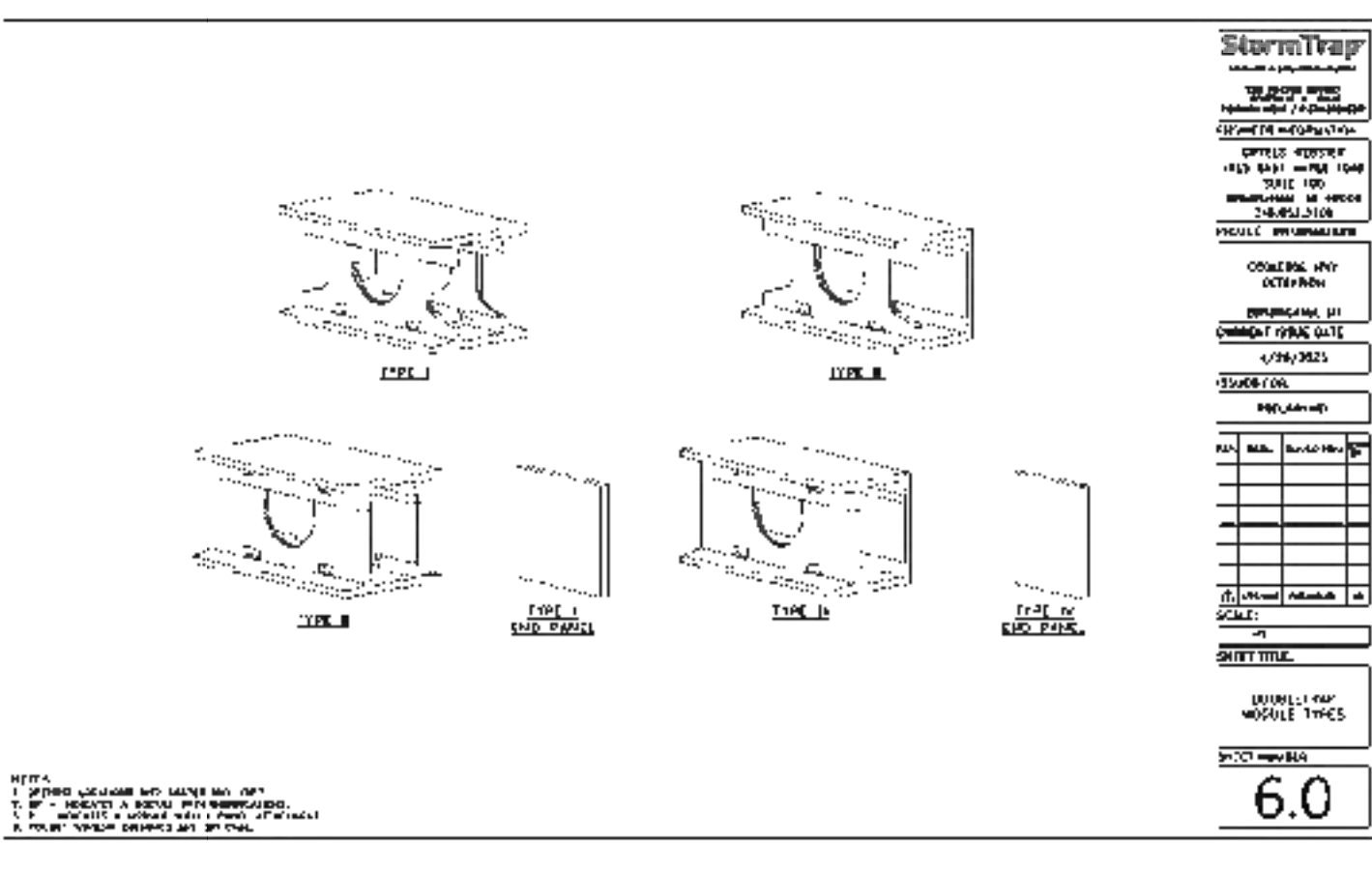
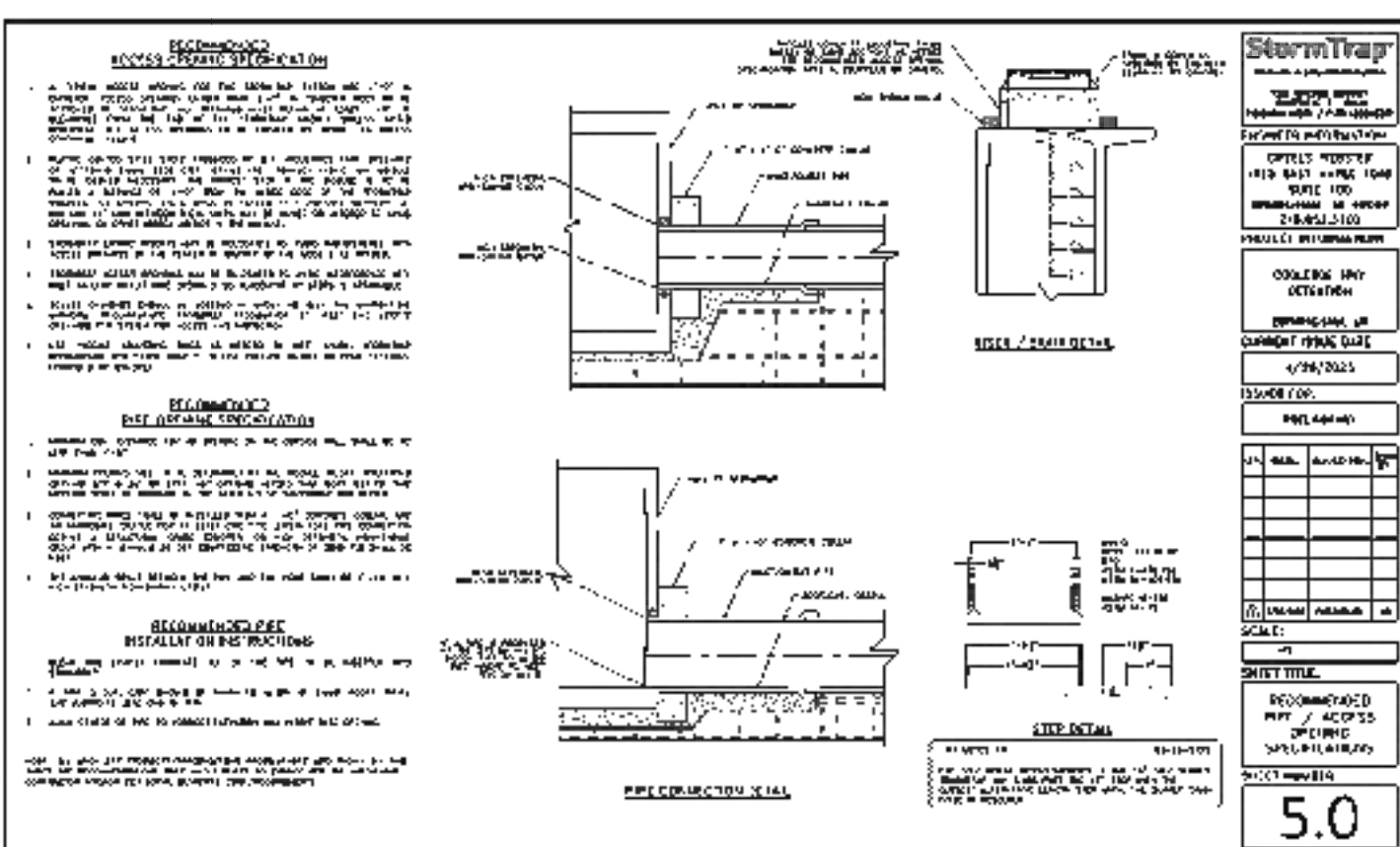
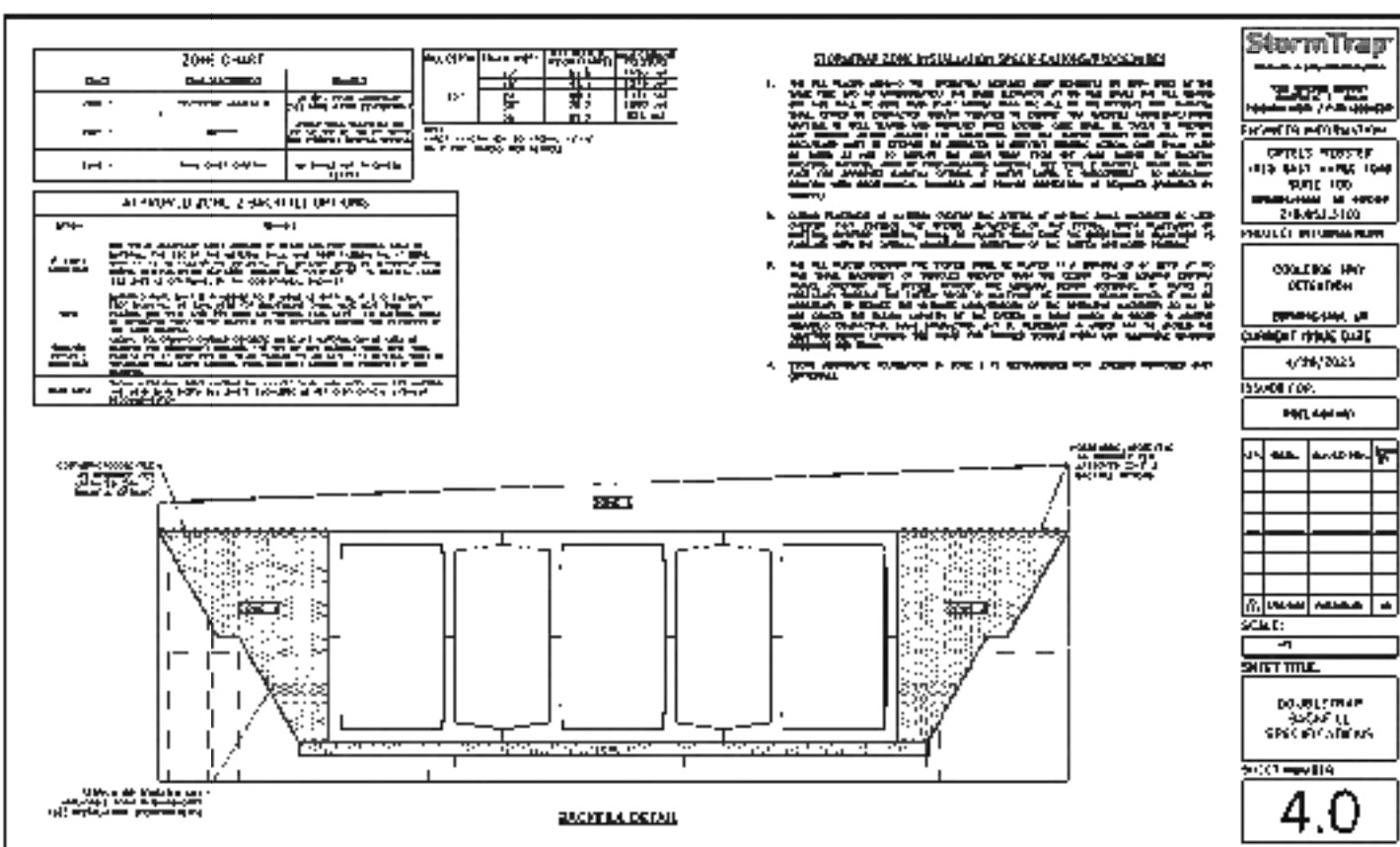
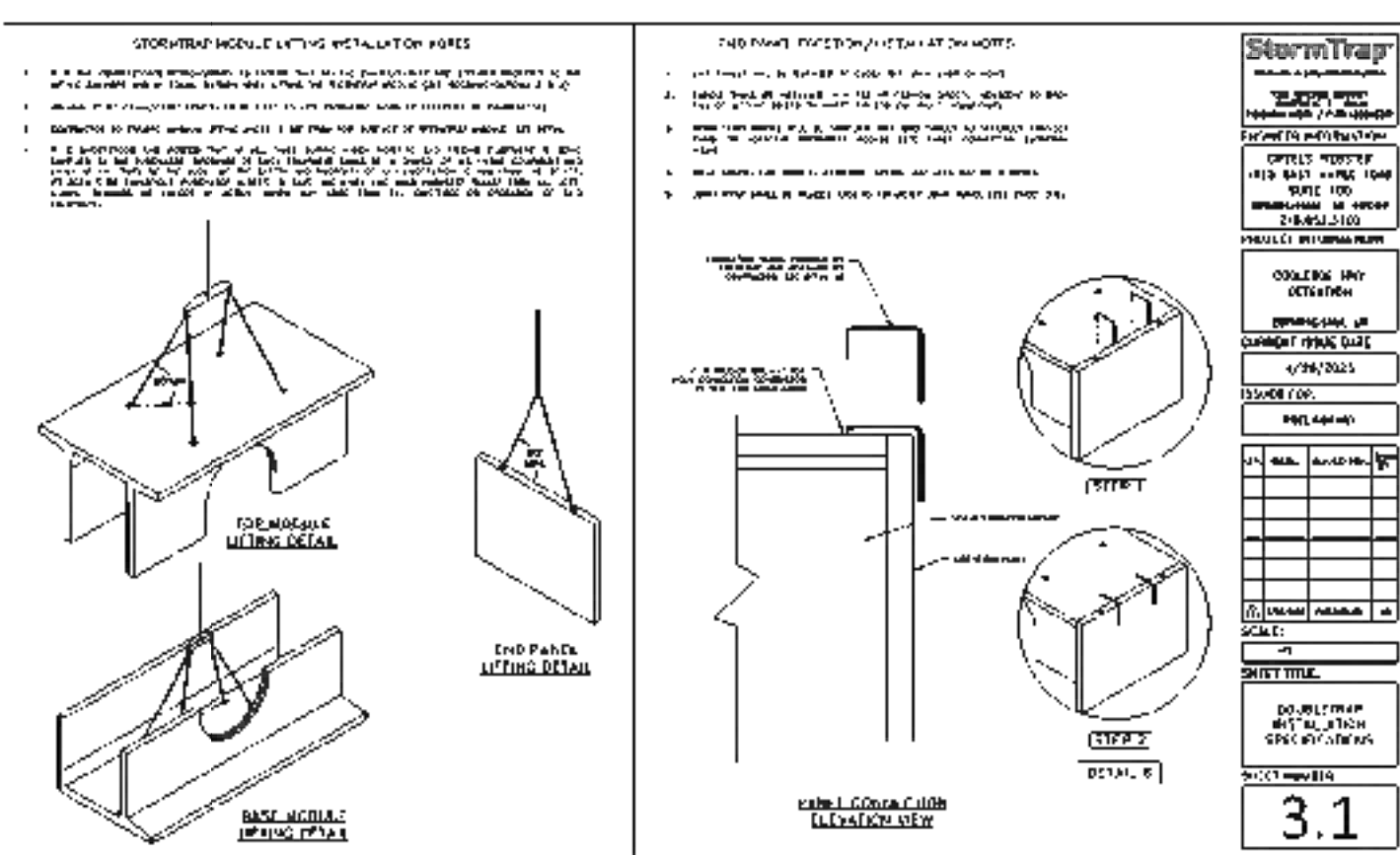
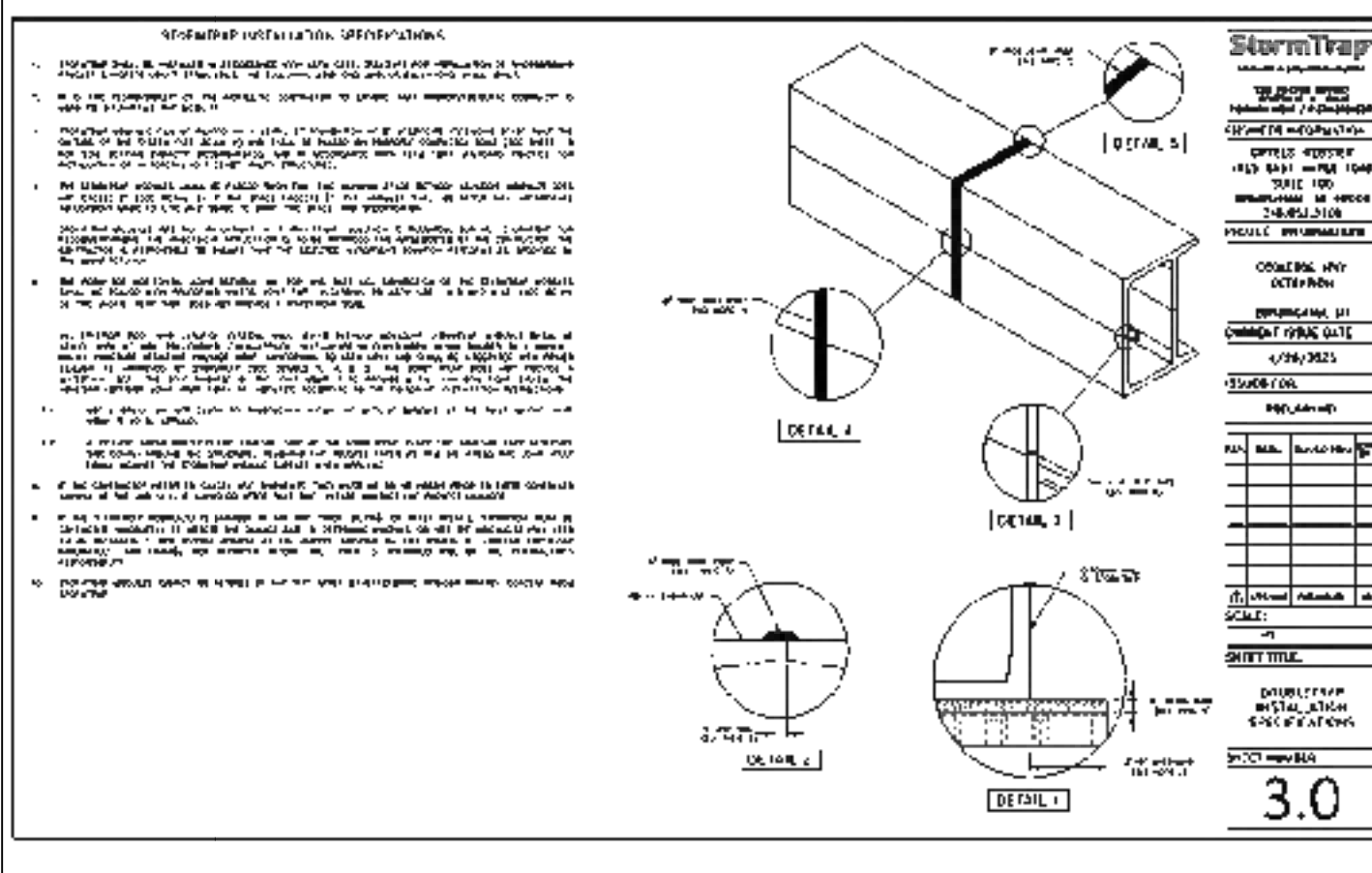
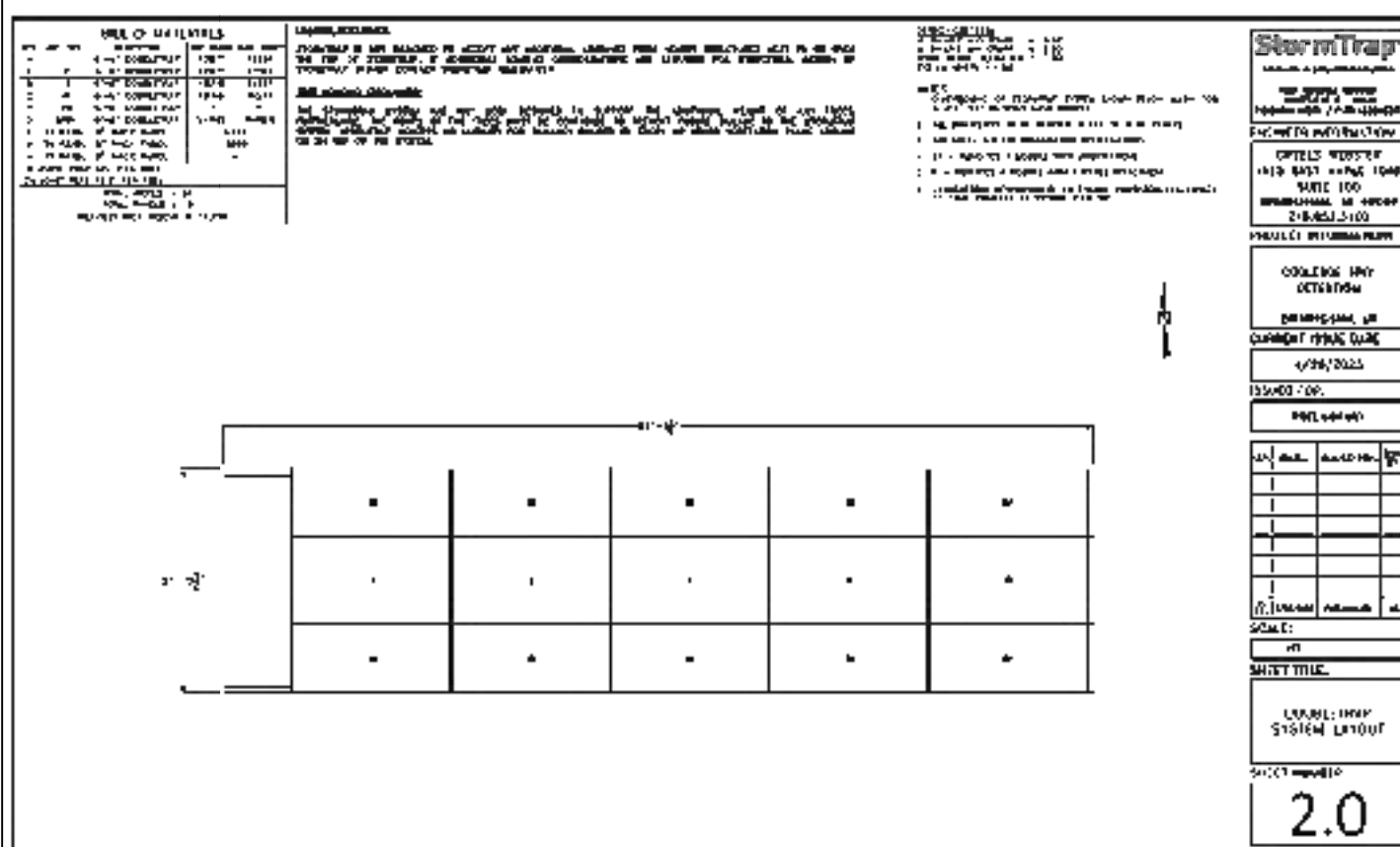
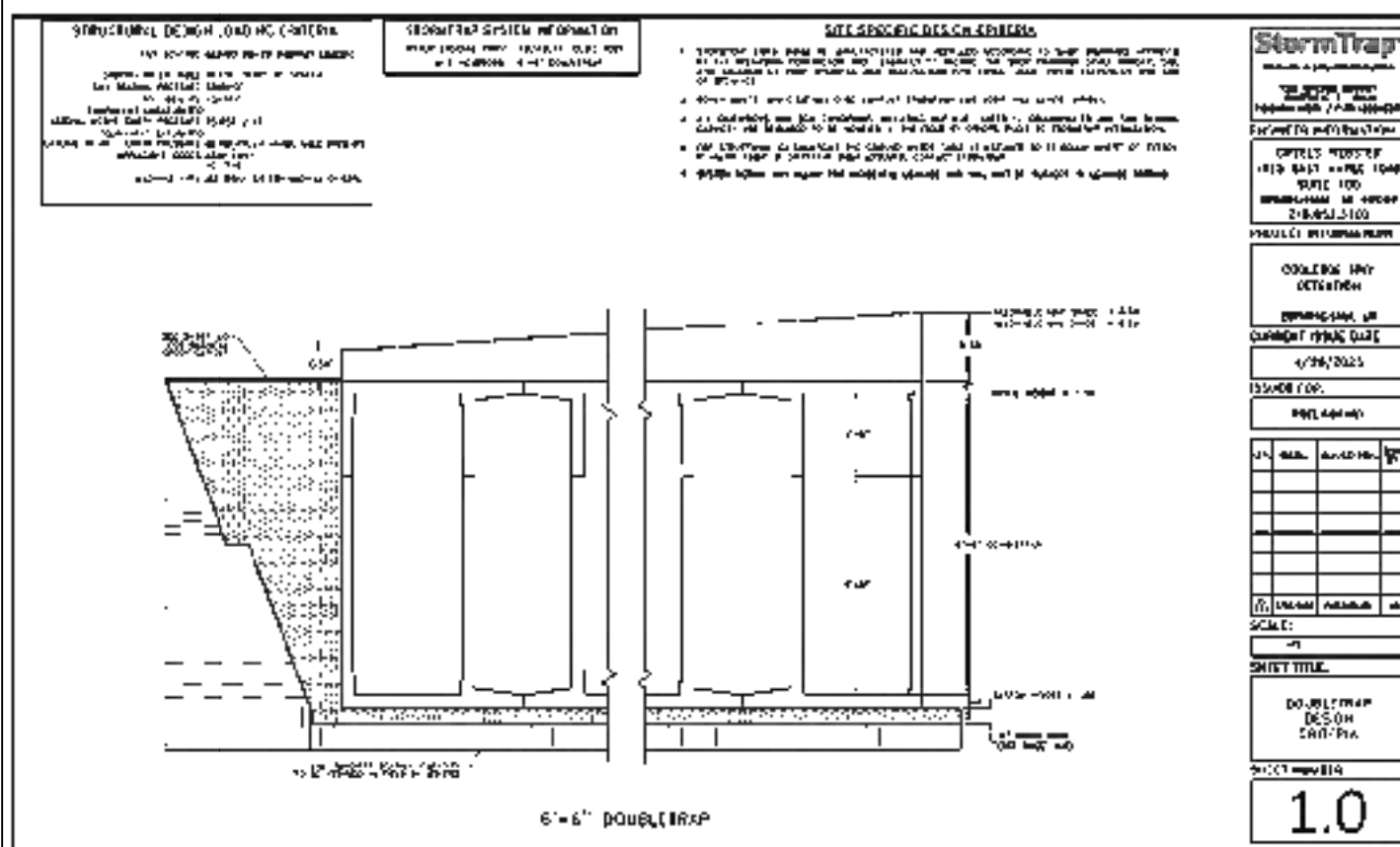
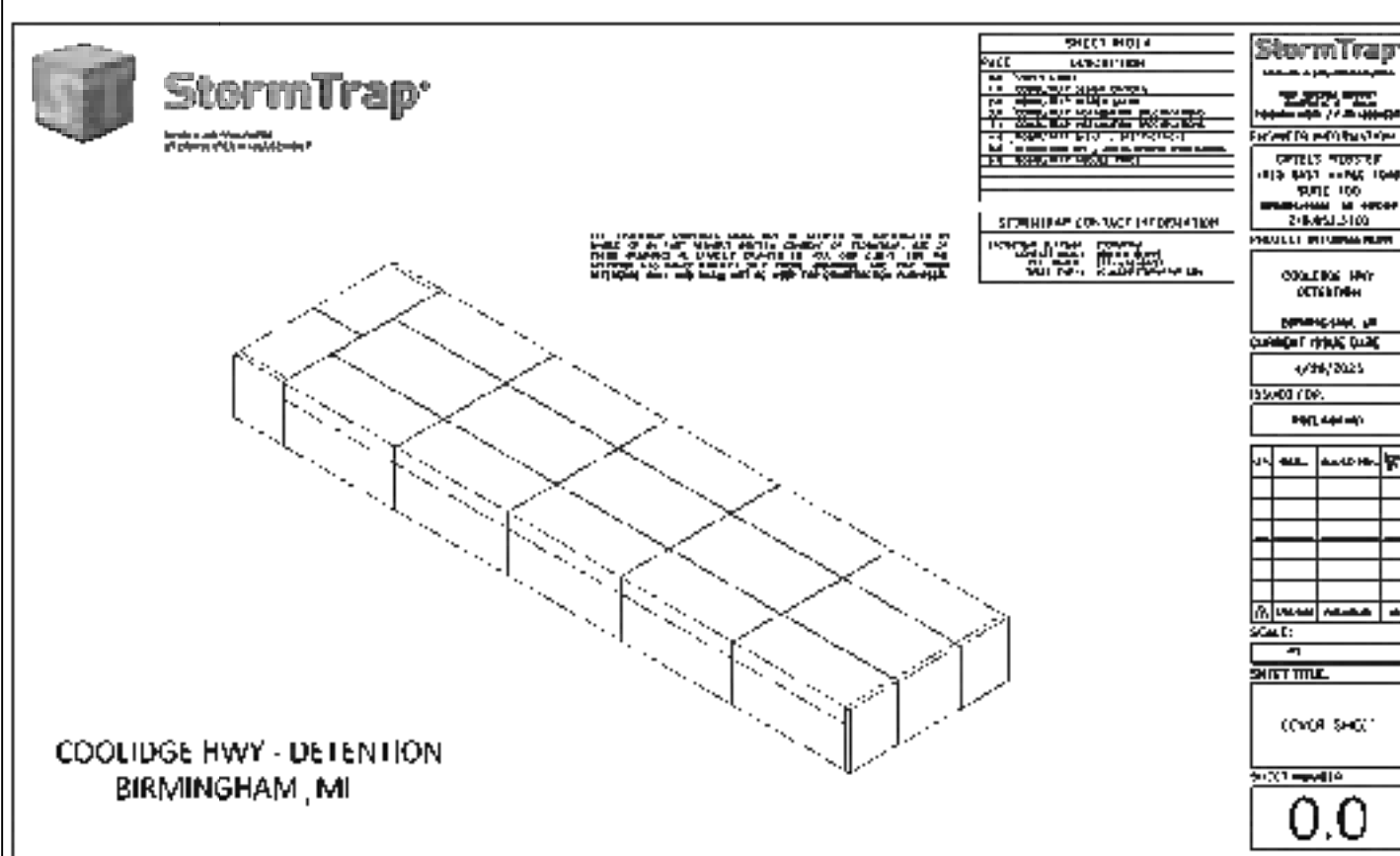
NOT FOR CONSTRUCTION



[illegible]

Table 1. Aqua-Swift™ Microturbine Models and Associated MPEs

Model	Manhole Diameter (ft)	NJDEP 50% TSS Maximum Treatment Flow Rate, MTD (cfs)	50% Maximum Sediment Storage Area Volume (ft <sup>3</sup> )
NC-2	2.5	0.57	2.46
NC-3	3.5	1.03	4.93
NC-4	4.5	1.66	7.89
NC-5	5.5	2.38	11.88
NC-6	6.5	3.08	16.99
NC-7	7.5	3.77	22.09
NC-8	8.5	6.84	28.38
NC-9	9.5	8.39	34.44
NC-10	10.5	10.53	43.30
NC-11	11.5	12.15	51.94
NC-12	12.5	14.75	61.36
NC-13	13	15.33	66.37



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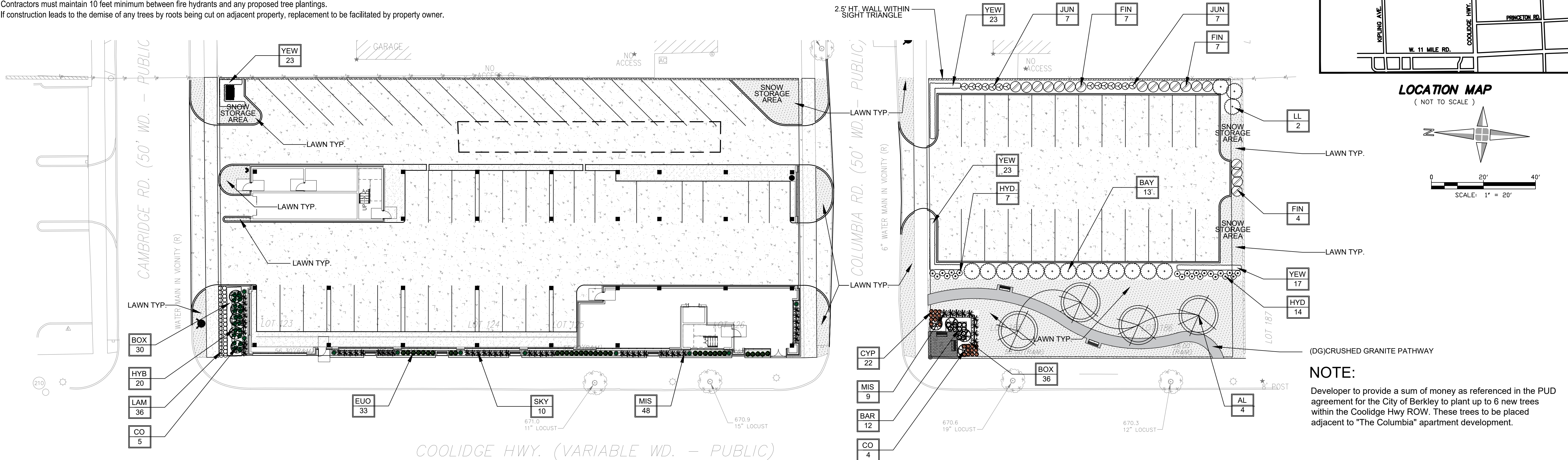


## GENERAL NOTES:

- All Construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
  - All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
  - Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. This is the first of two (1 of 2) required City inspections of the Landscape Plan installation.
  - A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
  - Building Department will not release construction bonds until City landscape architect has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year guarantee expires and final inspection is made.
  - Owner is then responsible for care and maintenance of all plants upon return of bonds. All plant material is to be maintained for the natural life of the plant. No removal of any plants material is permitted without replacement.
  - Contractors must maintain 10 feet minimum between fire hydrants and any proposed tree plantings.
  - If construction leads to the demise of any trees by roots being cut on adjacent property, replacement to be facilitated by property owner.

## LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.



**NOTE:**  
Developer to provide a sum of money as referenced in the PUD agreement for the City of Berkley to plant up to 6 new trees within the Coolidge Hwy ROW. These trees to be placed adjacent to "The Columbia" apartment development.

## PLANT NOTES:

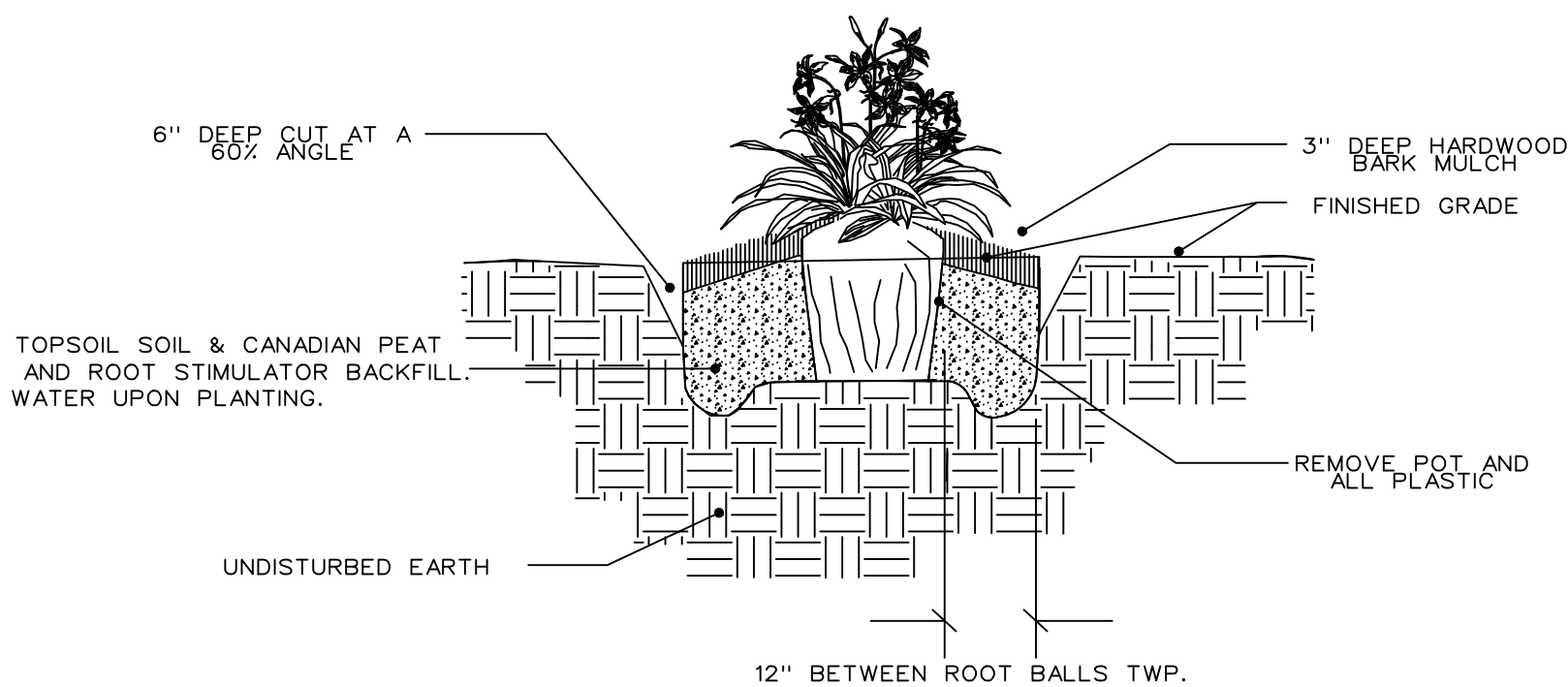
- Plant materials shall be sound, heathy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
- Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, & perennial bed, apply a pre-emergent ('Preen' or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
- Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
- All tree wrap shall be removed upon planting.
- Mulch shall be shredded hardwood bark natural in color, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
- Trees shall be mulched with minimum of 4" deep hardwood bark mulch.
- Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements. Failing plants should be replaced within 3 months of failing.
- Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
- Remove top 1/3 of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
- Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be Upper Midwest/Great Lakes grown, No. 1 grade.
- Plant materials shall be planted within the annual planting window of March 15-Nov 15.
- Any plant substitutions must be approved in writing by the City prior to installation.

## PLANT SCHEDULE

SYMBOL	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	CO	9	Quercus robur x crimsomidit	CRIMSON SPIRE OAK	3" cal.	B&B.
	AL	4	Tilia americana	AMERICAN LINDEN	3" cal.	B&B.
	BAY	13	Myrica pensylvanica	NORTHERN BAYBERRY	5 gal.	CONTAINER
	JUN	14	Juniperus chinensis 'blue point'	BLUE POINT JUNIPER	5 gal.	CONTAINER
	SKY	10	Juniperus scopulorum skyrocket	SKYROCKET JUNIPER	3 gal.	CONTAINER
	MIS	57	Miscanthus sinensis 'little kitten'	LITTLE KITTEN MAIDEN GRASS	3 gal.	CONTAINER
	BOX	66	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	3 gal.	CONTAINER
	FIN	18	Rhamnus frangula 'on williams'	FINELINE BARBERRY	3 gal.	CONTAINER
	BAR	12	Thuja 'Degroot's Spire'	GOLDEN RUBY BARBERRY	1 gal.	CONTAINER
	YEW	86	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	5 gal.	CONTAINER
	CYP	22	Chamaecyparis pisifera f. 'moj'	MOPS THREADLEAF CYPRESS	1 GAL	CONTAINER
	HYD	21	Hydrangea paniculata 'smnhph'	LITTLE LIME PUNCH HYDRANGEA	3 gal.	CONTAINER
	HYB	20	Hydrangea quercifolia 'Mundkin'	MUNCHKIN OAKLEAF HYDRANGEA	3 gal.	CONTAINER
	EUO	33	Euonymus fortunei emerald'n gold	EMERALD 'N GOLD EUONYMUS	1 gal.	CONTAINER
	LAM	36	Lamium maculatum 'orchid frost'	ORCHID FROST LAMIUM	1 gal.	CONTAINER

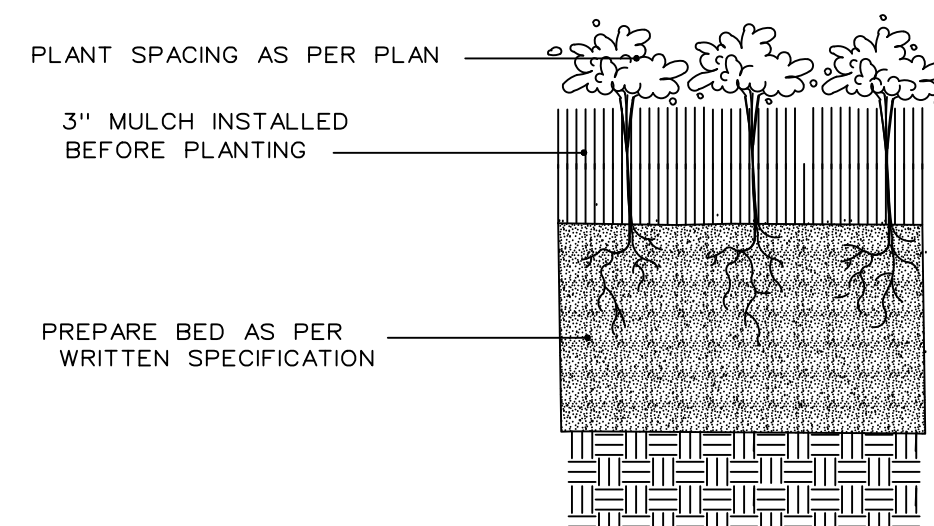
## LAWN SEED MIX:

30% PERENNIAL RYGRASS  
20% PARK KENTUCKY BLUEGRASS  
45% CREEPING RED FESCUE  
5% ANNUAL RYGRASS  
4\*/1000 S.F. SEEDING RATE



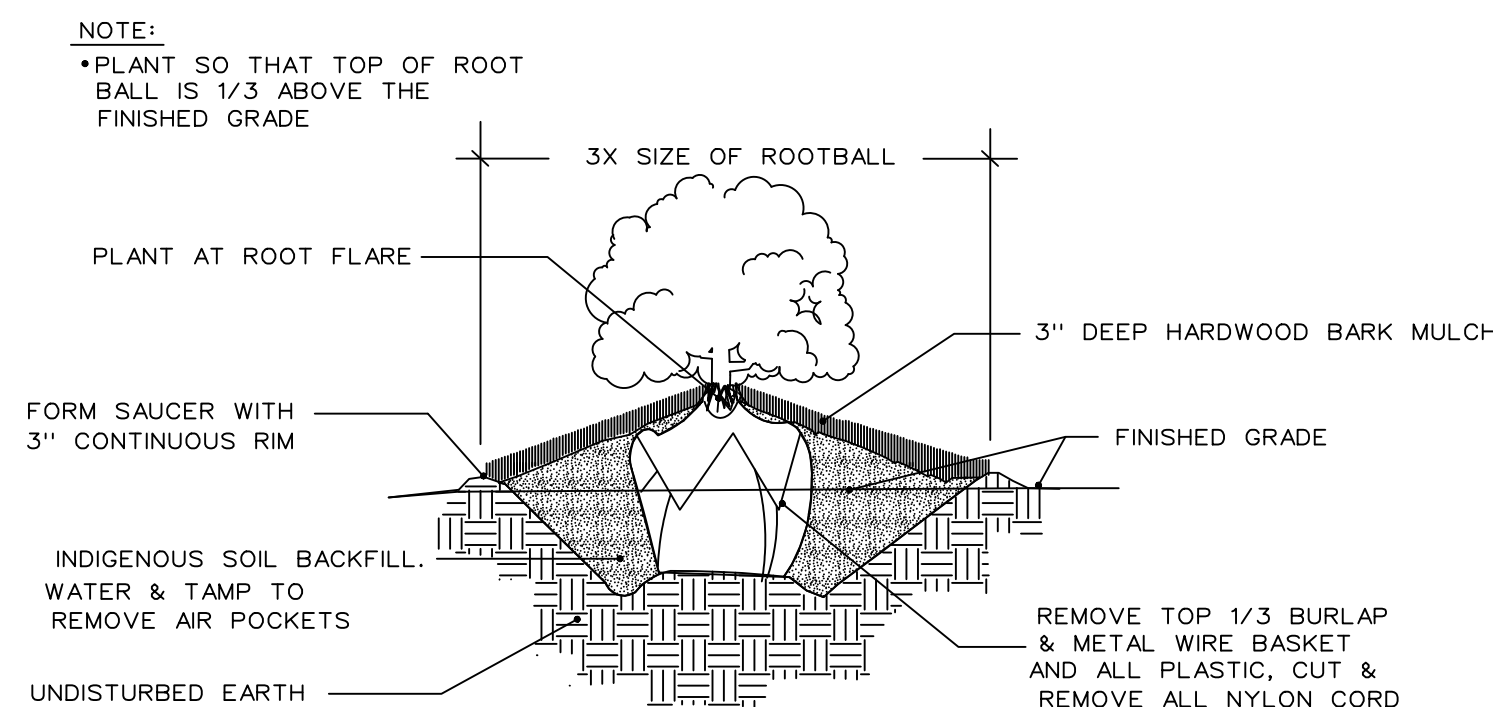
## PERENNIAL PLANTING DETAIL

NO SCALE



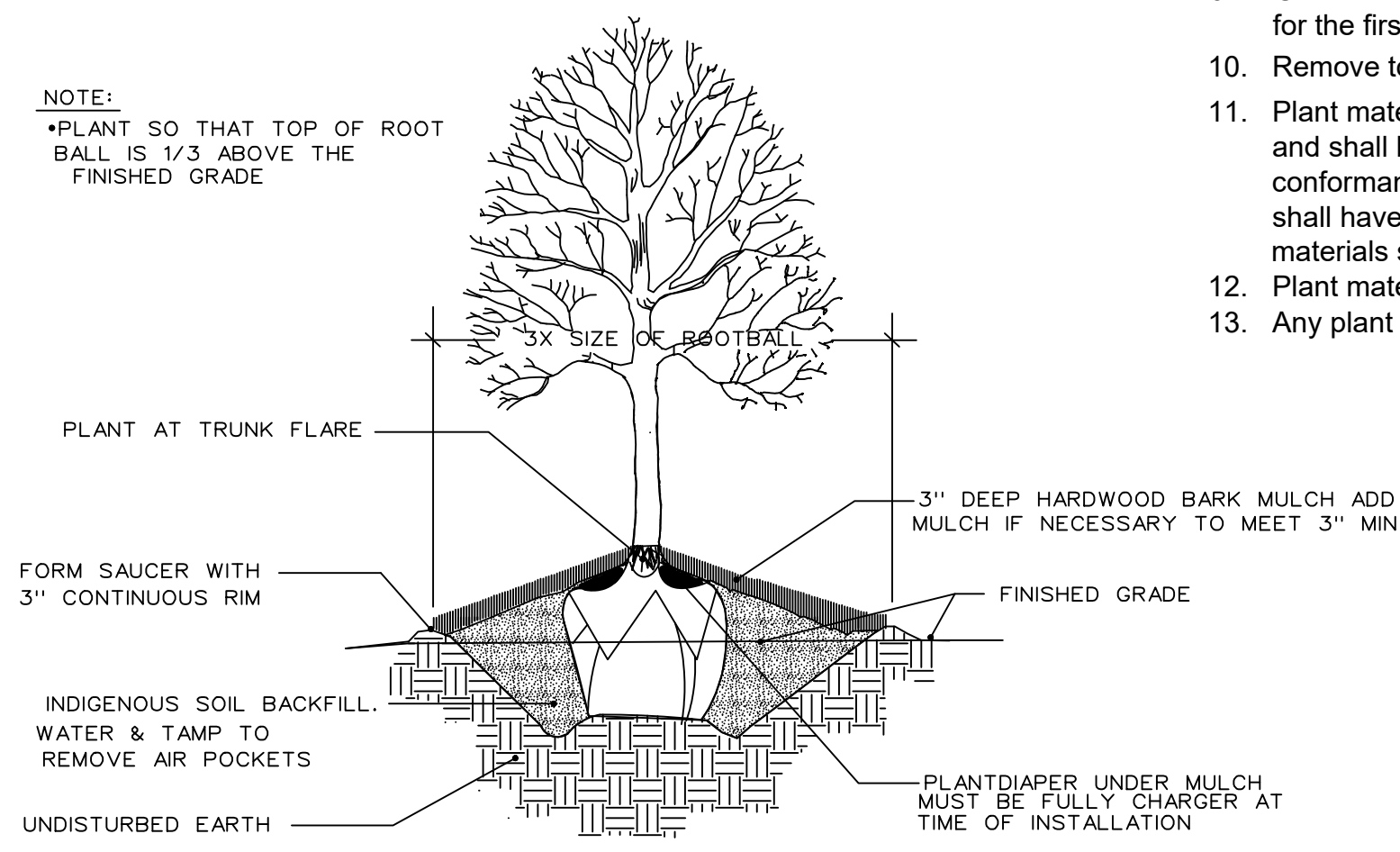
## GROUNDCOVER PLANTING DETAIL

NO SCALE



## SHRUB PLANTING DETAIL

NO SCALE



## TREE PLANTING DETAIL

NO SCALE

**giffels webster**

Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5068  
www.giffelswebster.com

Executive: AW  
Manager: JKA  
Designer: JKA  
Quality Control: AW  
Section: 25  
T-03-N R-10-E

Professional Seal:



**811**

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Developed For:

WJ VENTURES, LLC

2060 COOLIDGE HWY  
BERKLEY, MI 48072

248-246-7878

LANDSCAPE PLAN

THE COLUMBIA

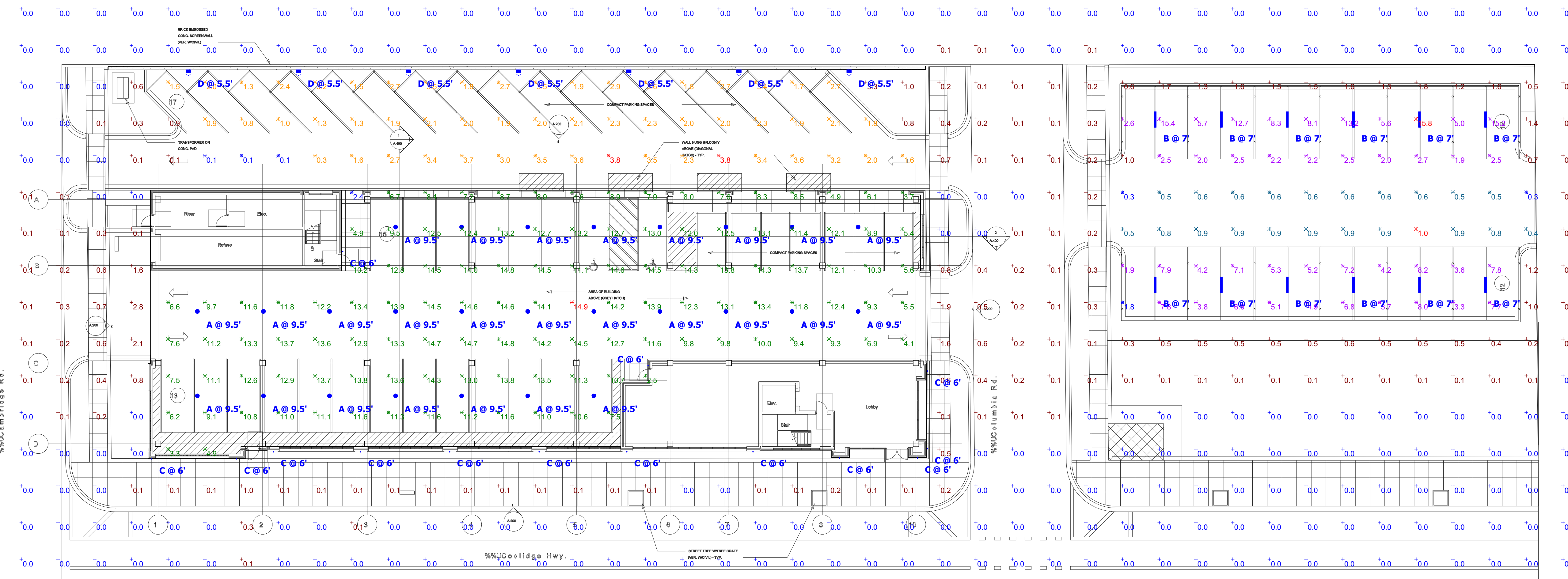
CITY OF BERKLEY  
OAKLAND COUNTY  
MICHIGAN

Date: 07.21.2023  
Scale: 1" = 20'  
Sheet: LS-100  
Project: 20388.00

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
COVERED PARKING	✕	10.9 fc	14.9 fc	2.4 fc	6.2:1	4.5:1
OVERALL	+	2.8 fc	15.8 fc	0.0 fc	N/A	N/A
SECONDARY LOT	✕	0.7 fc	1.0 fc	0.3 fc	3.3:1	2.3:1
UNCOVERED PARKING	✕	2.2 fc	3.8 fc	0.1 fc	38.0:1	22.0:1
CARPORTS	✕	5.9 fc	15.8 fc	1.8 fc	8.8:1	3.3:1

Schedule						
Symbol	Label	QTY	Manufacturer	Description	Lamp	Mounting Height
✕	A	26	Lithonia Lighting	VCPG LED CANOPY LUMINAIRE 3000K	LED	9'-6"
+	B	12	Lithonia Lighting	FEM LED CANOPY LUMINAIRE 3000K	LED	7'-0"
○	C	14	HESS Licht+Form Copyright LUMCAL	Padua WALL SCONCE 3000K	LED	6'-0"
□	D	7	Lithonia Lighting	WDGE2 LED WALLPACK 3000K	LED	5'-0"

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Chris Aina  
caina@gasserbush.com  
734-460-4036  
www.gasserbush.com

**General Note**  
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.  
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

**Plan View**  
Scale - 1" = 16ft



**Mounting Height Note**  
MOUNTING HEIGHT IS MEASURED FROM GRADE TO SKY SIDE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

**Ordering Note**  
FOR INQUIRIES CONTACT GASSER BUSH AT  
QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Drawing Note**  
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE AND FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Alternates Note**  
ALTERNATE LIGHTING FIXTURES WILL NOT MEET CITY ORDINANCE COMPLIANCE DUE TO THE PRECISE OPTICAL AND OUTPUT PERFORMANCE REQUIRED FOR THESE FIXTURES. ALTERNATE LIGHTING PROPOSALS MUST BE RECALCULATED AND RESUBMITTED TO THE CITY FOR APPROVAL. CONTACT LAYOUTS@GASSERBUSH.COM FOR ASSISTANCE WITH ALTERNATE OPTIONS IF NEEDED.

**VC PG LED**  
Parking Garage

Specifications  
Diameter: 19"  
Height: 3.75"  
Weight: 18 lbs  
Finish: with no options

Introduction  
The all new VCPG LED (Visually Comfortable Parking Garage) luminaire is designed to bring glare control, optical performance and energy savings into one package. The recessed lens design of VCPG LED minimizes high angle glare, while its precision molded acrylic lens eliminates LED pixelation and delivers the required minimum, verticals and uniformity. The dedicated up-light module option reduces the contrast between the luminaire and the ceiling creating a more visually comfortable environment. The VCPG LED delivers up to 87% in energy savings when replacing 175W metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the VCPG LED luminaire provides significant maintenance savings over traditional luminaires.

Ordering Information  
EXAMPLE: VCPG LED V4 P4 40K 70CRI TSM MVOLT SRM DNAXD

Series	LED Light Engines	Package	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting
VCPG LED	V4	P1	30K	90CRI	TSM	MVOLT	
	V4	P2	35K	90CRI	TSM	MVOLT	
	V4	P3	40K	90CRI	TSM	MVOLT	
	V4	P4	50K	90CRI	TSM	MVOLT	
	V4	P5	50K	90CRI	TSM	MVOLT	
	V4	P6	50K	90CRI	TSM	MVOLT	
	V4	P7	50K	90CRI	TSM	MVOLT	

Options  
Shipped installed  
UP1 Up-light 500 lumens  
UP2 Up-light 700 lumens  
EMRC Emergency battery backup, Certified in CA Title 20 MAZD05 (9W, 20% max)  
E20WV Emergency battery backup, Certified in CA Title 20 MAZD05 (10W, 9% max)  
HA High ambient (50°C, only P1-P4)  
SF Single face (100V, 277V, 347V)  
DF Double face (200V, 240V, 480V)  
SPD10V 100V Single Pack  
LSD36 36in (36) lead length  
LSD72 72in (60) lead length  
LSD108 108in (48) lead length  
DMG External 0-10V dimm (no control)  
SP Single pack screw  
Shipped separately  
HS Hot Guard  
BS Back Shield  
HS House Side Shield  
BS Back Shield

Standard Sensors/Controls  
PR Motion/ambient sensor for 8-15' mounting heights  
PRH Motion/ambient sensor for 15-30' mounting heights  
PRHCV Motion/ambient sensor for 15-30' mounting heights, pre-programmed to 30 and 35% light output  
PRHSCV Motion/ambient sensor for 15-30' mounting heights, pre-programmed to 30 and 35% light output  
Networked Sensors/Controls  
NLSA01 All-Wireless enabled motion/ambient sensor for 8-15' mounting heights  
NLSA02 All-Wireless enabled motion/ambient sensor for 15-30' mounting heights  
NLSA03 All-Wireless enabled, UL24 Listed motion/ambient sensor for 8-15' mounting heights  
NLSA04 All-Wireless enabled, UL24 Listed motion/ambient sensor for 15-30' mounting heights  
NLSA05 All-Wireless enabled, UL24 Listed motion/ambient sensor for 15-30' mounting heights

Finish  
DNDWD White  
DNDND Natural aluminum  
DNDSD Dark bronze  
DNDLD Black  
Note: Product will be shipped in job packs of 100s per bin. The remaining units will be shipped in unit packs.

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-5ERV (5378) • www.lithonia.com  
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VC PG LED  
Rev. 11/21/22

**FEATURES & SPECIFICATIONS**  
**INTENDED USE** — A general purpose and energy-efficient surface-mounted or suspended LED fixture, suitable for wet, damp and/or cold locations. For vapor tight demanding environments where moisture or dust is a concern and where relatively low fixture mounting heights and wide fixture spacing are common. Not for use or installation in direct outdoor sunlight. Must be installed under canopy or covered ceiling. For direct sunlight installations, please refer to the [15] product family. Typical applications include industrial facilities, parking garages, retail malls, multi-purpose venues, garden centers, and food processing. **Certain airborne contaminants can diminish the integrity of acrylic and/or polycarbonate.** Click here for **Acrylic Polycarbonate Compatibility Table for suitability.**  
**Certain airborne contaminants may adversely affect the functioning of LEDs and other electronic components, depending on various factors such as concentrations of the contaminants, ventilation, and temperature at the end-user location.** Click here for **A list of substances that may not be suitable for interaction with LEDs and other electronic components.**  
**CONSTRUCTION** — One-piece 50A fiberglass housing with integral perimeter channel utilizing continuous poured-in-place NEMA 4X gasket. Approved for thorough washing. Capable polymer latches are standard. Stainless steel latches (NEMA 4X) available as an option for food processing or more demanding applications. Power connection is easily accomplished through pre-drilled holes.  
**OPTICS** — Injection molded, acrylic lens (0.80" thick) provides high impact resistance comparable to 300% DR. A UV stabilized polycarbonate diffuser is available (0.80" thick) in clear or frosted for additional impact strength where vandalism protection is desired. Expected service life of 60,000 hours at 80% lumen maintenance (L80); predicted life of more than 100,000 hours.  
**ELECTRICAL** — Utilizes high-efficiency LEDs mounted to cure-on boards. High-efficiency drivers operate 120-277 MVOLT and 347-480 MVOLT offered with 50-watt dimming, dim-to 10%, Standard Luminaire Surge Protection Level (ALV) Surge Rated per ANSI C82.77.5-2015.  
**INSTALLATION** — A pair of stainless steel surface mount brackets (SMB) are included unless another mounting option is chosen, allowing for surface ceiling or suspension mount applications using included ball with aircraft cable or chain. Optional pair of dual pendant mount brackets (DPMB) are available for surface ceiling or suspension mount applications using either 3/8" threaded rod or included ball with aircraft cable or chain. Optional pair of angle-mounting brackets (AMGB) for horizontal wall mount applications.  
**LISTINGS** — CSA Certified to UL and UL Standards. Suitable for wet location. IP65, IP66, IP67 and IP69K (optional) rated. NSF Splash Zone 2 and Non-Food Zone rated. NEMA 4X rated. Sensors maintain IP65 and IP66 only. See chart on page 5 for Ambient Temperature.  
**DesignLights Consortium (DLC)** Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Product List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.  
**GOVERNMENT PROCUREMENT** — BAA — Product with the BAA option qualifies as a domestic and product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.  
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**NOTE:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

**Stock configurations are offered for shorter lead times:**

Standard Part Number	Stock Part Number
FEM 140X100 [LUM] MD MVOLT 4210 40K DCB	FEM 140 4L MVOLT
FEM 140X100 [LUM] MD MVOLT 4210 50K DCB	FEM 140 4L MVOLT 5K

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about A+ - visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect).  
\*See ordering tree for details

INDUSTRIAL  
FEM LED  
Page 1 of 11

**PADUA 100**  
Wall Mounted Luminaire

**TYPE C**

**DESCRIPTION**  
PADUA combines simple geometric shapes to produce an understated form that enhances contemporary architecture. The cylindrical housing is extruded aluminum, cradled by the concave detailing of the fabricated aluminum wall mounting bracket and bollard shaft. The fully shielded luminaire emits zero uplight. It is suitable for LEED lighting zones 1 through 4 and is Dark Sky compliant. Integral universal LED driver. All hardware is stainless steel.

**ORDERING INFORMATION**

LUMINAIRE	MODEL	CCT	VOLTAGE	FINISH (Primar®)	OPTION
PADUA 100	30K	3000K	UNV	Dark Grey	AP Adapter Plate For Mounting Over 3.5' to 4' Groggless Bar
	40K	4000K		GG Graphite Grey	
				SG Silver Grey	
				BL Black	
				DB Dark Bronze	
				CC CustomRAL Color	

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about A+ - visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect).  
\*See ordering tree for details

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We continue to offer to offer the best product possible, we reserve the right to change, without notice, specifications or materials.  
Technical specification sheets that appear on [www.hessamerica.com](http://www.hessamerica.com) are the most recent ones possible.  
Rev 20220808

**WDGE2 LED**  
Architectural Wall Sconce  
Precision Refractive Optic

**TYPE D**

**Specifications**  
Depth (D1): 7"  
Depth (D2): 1.5"  
Height: 9"  
Width: 11.5"  
Weight: 13.5 lbs  
(without options)

**Introduction**  
The WDGE2 family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance. WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

**Ordering Information**  
EXAMPLE: WDGE2 LED P3 40K 80CRI T3M MVOLT SRM DNBXD

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting	Shipped separately
WDGE2 LED	P0	27K	2700K	70CRI	T15	Type I Short	
	P1	30K	3000K	80CRI	T24	Type I Medium	
	P2	40K	4000K	90CRI	T36	Type I Medium	
	P3	50K	5000K	90CRI	T48	Type I Medium	
	P4	AMP	Amber	TTM	Forward Throw Medium		

Options  
E10WV Emergency battery backup, Certified in CA Title 20 MAZD05 (10W, 9% max)  
E20WV Emergency battery backup, Certified in CA Title 20 MAZD05 (20W, 20% max)  
PE Precision Refractive Optic  
DMC 0-10V dimming with push button pre-programmed for dusk to dawn operation  
PRHCV Motion/ambient sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation  
PRHSCV Motion/ambient sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation  
NCE Bottom conduct only for back box (PBB), total 4 emergency points  
CEE Coastal Connection

Standard Sensors/Controls  
PR Bi-level (100/170%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.  
PRH Bi-level (100/170%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.  
PRHCV Bi-level (100/170%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.  
PRHSCV Bi-level (100/170%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.  
Networked Sensors/Controls  
NLSA01 PWR Embedded wireless control by light with Passive Infrared (PIR) sensor and daylight sensor for 8-15' mounting heights.  
NLSA02 PWR Embedded wireless control by light with Passive Infrared (PIR) sensor and daylight sensor for 15-30' mounting heights.  
NLSA03 PWR Embedded wireless control by light with UL24 listed emergency operation, Passive Infrared (PIR) sensor and daylight sensor for 8-15' mounting heights.  
NLSA04 PWR Embedded wireless control by light with UL24 listed emergency operation, Passive Infrared (PIR) sensor and daylight sensor for 15-30' mounting heights.  
NLSA05 PWR Embedded wireless control by light with UL24 listed emergency operation, Passive Infrared (PIR) sensor and daylight sensor for 15-30' mounting heights.  
See page 4 for net of base functionality

Finish  
DNDWD White  
DNDND Natural aluminum  
DNDSD Dark bronze  
DNDLD Black  
DNDSD Dark bronze  
DNDLD Black  
DNDSD Dark bronze  
DNDLD Black  
DNDSD Dark bronze  
DNDLD Black  
DNDSD Dark bronze  
DNDLD Black


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WDGE2 LED  
Rev. 05/20/24

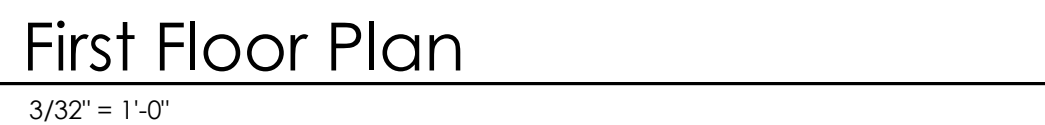


A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED ARCHITECT" at the bottom, separated by stars. The center of the seal contains the name "JASON P. KRIEGER", the title "ARCHITECT", and the license number "No. 53578". A large, stylized signature is written across the seal, overlapping the text.

North

A circular diagram with a horizontal line and two diagonal lines forming a 'K' shape. The word 'North' is written above the circle.

A.100



**RATIO:** 1.35 SPACES / UNIT



WJ Ventures, LLC  
2060 Coolidge Hwy. Berkley, MI  
48072

The Columbia  
2476 Columbia Rd.  
Berkley, MI 48072

[illegible]

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

Typical Floor Plan  
(Second - Third)

Sheet Number:

Unit Schedule	
Name	Count
02 - Second Floor	
A1 - Studio	4
A2 - Studio	1
B1 - 1 Bedroom	8
B2 - 1 Bedroom	1
B2.1 - 1 Bedroom	1
B3 - 1 Bedroom	1
B3.1 - 1 Bedroom	1

03 - Third Floor	
A1 - Studio	4
A2 - Studio	1
B1 - 1 Bedroom	8
B2 - 1 Bedroom	1
B2.1 - 1 Bedroom	1
B3 - 1 Bedroom	1
B3.1 - 1 Bedroom	1

04 - Fourth Floor	
A1 - Studio	4
A2 - Studio	1
B1 - 1 Bedroom	8
B2 - 1 Bedroom	1
B2.1 - 1 Bedroom	1
B3 - 1 Bedroom	1
B3.1 - 1 Bedroom	1

Total Units	5
-------------	---

Unit Percentage		
Occupancy	Count	Unit %
1 Bedroom	36	70.6%
Studio	15	29.4%
Total Units	51	

Unit SF	
Name	Area
Unit A1	623 SF
Unit A2	575 SF
Unit B1	739 SF
Unit B2	683 SF
Unit B2.1	683 SF
Unit B3	821 SF
Unit B3.1	701 SF

Gross Area	
Area	
01 - First Floor	14705 SF
02 - Second Floor	14203 SF
03 - Third Floor	14203 SF
04 - Fourth Floor	14203 SF
	57313 SF

Resi. Net Area	
Area	
02 - Second Floor	11785 SF
03 - Third Floor	11685 SF
04 - Fourth Floor	11685 SF
	35154 SF

Parking Schedule
Count
69

**RATIO:** 1.35 SPACES / UNIT
$$3/32'' = 1'-0''$$

WJ Ventures, LLC  
2060 Coolidge Hwy. Berkley, MI  
48072

The Columbia  
2476 Columbia Rd.  
Berkley, MI 48072

[illegible]

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Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

## Fourth Floor Plan

# A.102


$$3/32'' = 1'-0'$$

Unit Schedule	
Name	Count
02 - Second Floor	
A1 - Studio	4
A2 - Studio	1
B1 - 1 Bedroom	8
B2 - 1 Bedroom	1
B2.1 - 1 Bedroom	1
B3 - 1 Bedroom	1
B3.1 - 1 Bedroom	1

03 - Third Floor	
A1 - Studio	4
A2 - Studio	1
B1 - 1 Bedroom	8
B2 - 1 Bedroom	1
B2.1 - 1 Bedroom	1
B3 - 1 Bedroom	1
B3.1 - 1 Bedroom	1

04 - Fourth Floor	
A1 - Studio	4
A2 - Studio	1
B1 - 1 Bedroom	8
B2 - 1 Bedroom	1
B2.1 - 1 Bedroom	1
B3 - 1 Bedroom	1
B3.1 - 1 Bedroom	1

Total Units	51
-------------	----

Unit Percentage		
Occupancy	Count	Unit %
1 Bedroom	36	70.6%
Studio	15	29.4%
Total Units	51	

Unit SF	
Name	Area
Unit A1	623 SF
Unit A2	575 SF
Unit B1	739 SF
Unit B2	683 SF
Unit B2.1	683 SF
Unit B3	821 SF
Unit B3.1	701 SF

Gross Area	
Area	
01 - First Floor	14705 SF
02 - Second Floor	14203 SF
03 - Third Floor	14203 SF
04 - Fourth Floor	14203 SF
	57313 SF

Resi. Net Area	
Area	
02 - Second Floor	11785 SF
03 - Third Floor	11685 SF
04 - Fourth Floor	11685 SF
	35154 SF

Parking Schedule
Count
69

**RATIO:** 1.35 SPACES / UNIT

# Roof Plan







**Project:**  
The Columbia  
2476 Columbia Rd.  
Berkley, MI 48072

[illegible]

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Sheet Title:

---

Rendered  
Elevations

Sheet Number: A.201



Right (South) Elevation



### Rear (East) Elevation



6'-0"

S.S. PINS @ 24" O.C.

CONC. CAP W/ WASH

THRU WALL MASONRY FLASHING

BRICK EMBOSSED CONCRETE

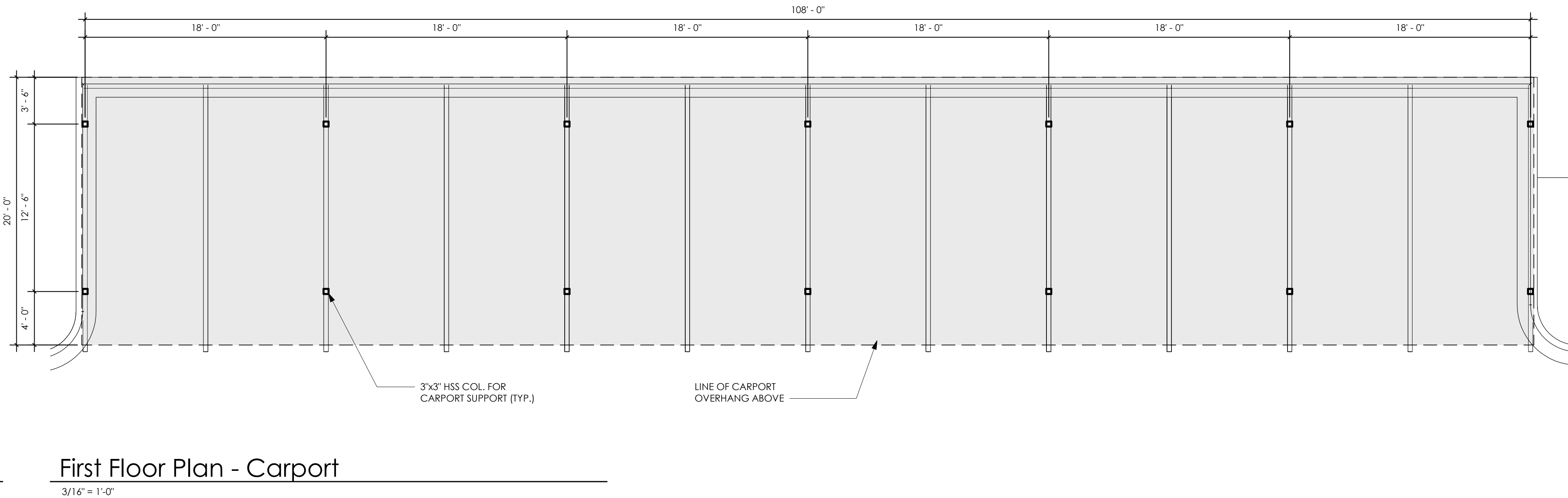
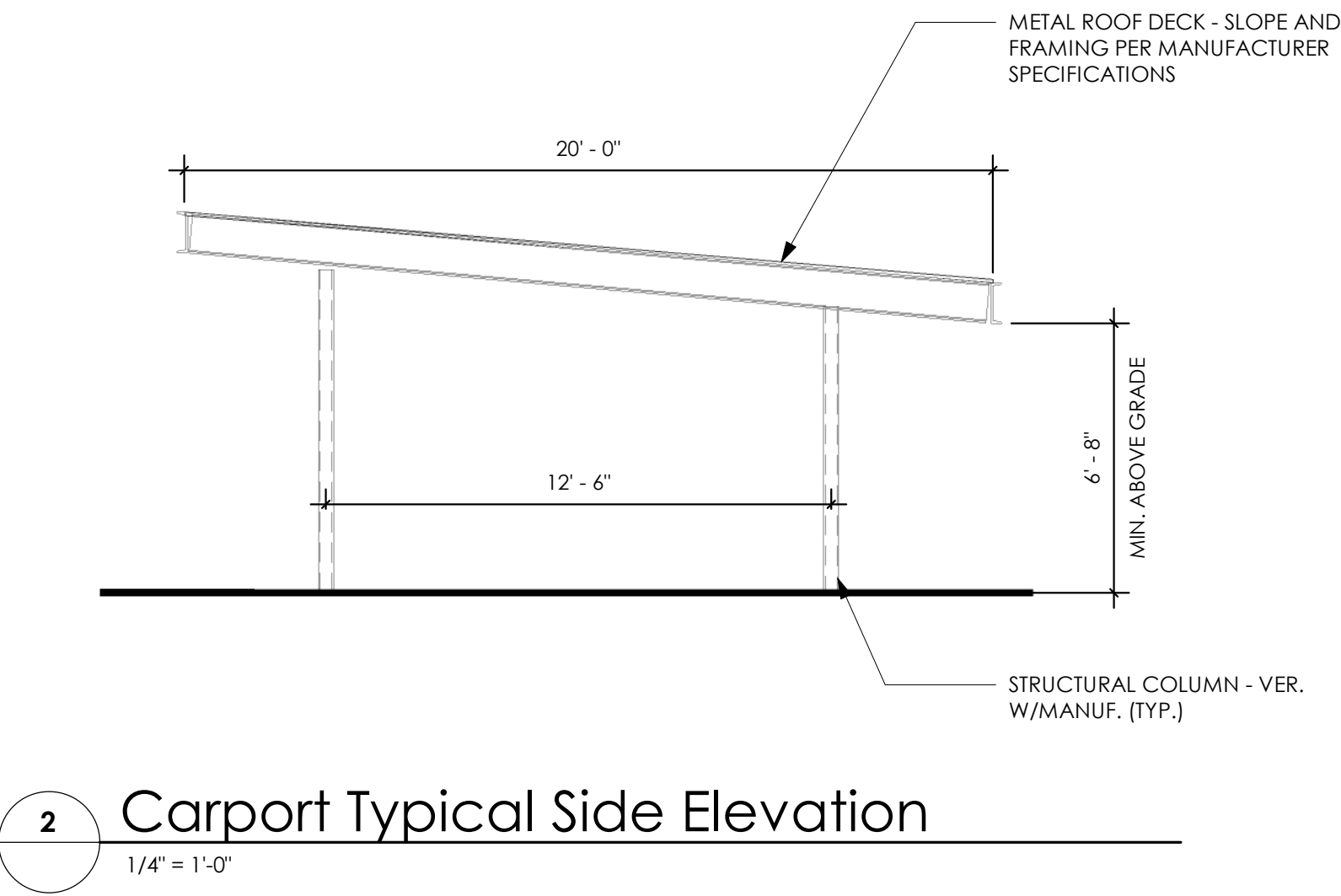
2" 8" 2"

3'-6"

1'-0"

TRENCH FDN W/ REBAR T&B

1" = 1'-0"









February 14, 2025

Kristen Kapelanski  
City of Berkley Community Development Director  
3338 Coolidge Hwy.  
Berkley, MI 48072

Re: The Columbia - 2476 Columbia Rd. – SPA/PUD Resubmittal

On June 17, 2024 the above referenced project was presented to the City Council and the Final PUD plans were approved. Since then, the development team has brought on Krieger Klatt Architects, Inc. (KKA) to be the Architect of Record for the project. We have redesigned the project to better align with today's market and construction costs while still maintaining the original intent from the approved PUD. We have updated all plans and are including them in this resubmittal package titled "02.13.2025 Revised PUD". We are seeking approval from the Planning Commission for the attached plans to then meet with City Council to finalize the PUD and revised Development Agreement. Please see below for a list of notable revisions that were made to the original PUD plans.

1. Eliminated the Southern Building:
  - a. Building 2 separate buildings is an expensive endeavor. We are now proposing one 4-story building on the larger North Parcel between Columbia and Cambridge.
  - b. The Southern parcel now contains a surface parking lot with carports (sheet **A.202**) and a pocket park on Coolidge. The pocket park contains seating areas at the Cambridge/Coolidge corner with a large landscaping area to screen the parking area from Coolidge and the neighbors to the east.
2. Building Revisions:
  - a. Per ordinance, the original PUD was using sloped walls on floor 4 to be classified as a "mansard roof" which allows the building height to be measured to the midpoint of the sloped "roof". This measured 40'-0" to the midpoint but the flat "deck" of the roof would have been 46'-0". The proposed building eliminated these sloped walls. The measurement to the top of deck is 46'-0" so, the building massing has not changed from the original PUD plans.
    - i. Please see sheet **A.400** "Building Section 1" which contains an outline of the original PUD building. Note that the roof deck in the original plans was at 45'-0". This does not include the roof pitch. In our opinion, the original building would have had a roof deck height of 46'-0" which matches what we are proposing.
    - ii. The lower parapet is set at 47'-0" (1' above the roof deck) to allow for proper waterproofing.
    - iii. The upper parapet (located at the North and South corner of the building) is set at 50'-0" and is being proposed to provide visual interest at these premier corners. Please refer to sheets **A.103, A.200, and A.201**.
  - b. The first-floor lobby has been increased in size to allow for all amenities and mail room to be located on this floor. The increased lobby width will be more attractive and will create more pedestrian activity along Coolidge. The stairs and elevators have been relocated to allow for living spaces to be on the corners of the building.
  - c. The unit count has decreased from 57 units to 51 units with a similar mix of 1-bedroom and studio units.
  - d. Inset and wall-hung balconies are being proposed for most units. The 4<sup>th</sup> floor has no wall-hung balconies facing the neighbors to the east.
  - e. The exterior materials being proposed are brick/masonry and standing seam metal siding facing Coolidge. This matches the original design intent while adjusting for the new building look. We are proposing a red/brown brick instead of the white/cream brick from the original PUD as we feel the new brick color will fit in better with the surrounding properties and look of Berkley.

- f. The exterior materials being proposed on the East, part of the North, and part of the South elevations are a mixture of brick/masonry and cement board siding. We feel that the horizontal siding on these elevations helps the transition to the single-family residential lots to the east.
- 3. Important items to point out that remain the same or less than the original PUD drawings.
  - a. Eliminated the southern building
  - b. Reduced the unit count from 57 units to 51 units
  - c. Parking ratio increases from 1.351 to 1.353 and does not contain any tandem parking spaces
  - d. Compact parking ratio is 34.8% of the total parking provided, which is under the 36% that was approved in the original PUD.
  - e. The N/S drive aisle in the covered parking area is now a two-way drive to aid in vehicular circulation.
  - f. Glazing requirements are being met
  - g. The first floor parking area has openings with screening to hide the parking spaces but also create an attractive elevation.
  - h. The North setback remains 10'. The South setback remains 0'. The West (Coolidge) setback has decreased from 5'-3 3/4" to 2'-0". The East setback has increased from 31'-10" to 33'-7 1/8".
    - i. Please note that the benches, trash cans, landscaping and sidewalk improvements on the Coolidge frontage remains from the original PUD.
    - ii. Please note that the original PUD plans had exterior balconies on Coolidge that were 2'-0 1/8" from the West property line. We are proposing inset balconies on this façade which will be match this 2'-0" setback from the property line.
  - i. The required Type A (accessible) dwelling units will be provided as required per code.
  - j. The required 6' masonry screen wall between the property and the neighboring properties to the east will remain.
    - i. Please note that the Southern parcel parking is pushed 5' west of the property line to allow for plantings between the screen wall and the parking spaces.

We believe that the revisions that are being proposed meet the design intent of the original approved PUD plans, while providing some enhancements that will create a beautiful development. We are very excited to present this to you and look forward to your feedback and approval to proceed. If you have any further comments, concerns or questions; please do not hesitate to contact me. We look forward to your next review and bringing this project to fruition.

Thank you,

Raymond J. Phillips  
Director of Design  
[ray@kriegerklatt.com](mailto:ray@kriegerklatt.com)  
248-414-9270 ext. 106





## Memorandum

To: Joseph K. Anderson, PE, PLA, LEED-AP      Date: October 24, 2023

From: Mohamed Aguib, PE      Project: The Columbia  
: Traffic Engineer

RE: The Columbia      Traffic      Project Number: 20388.00  
Impact Assessment Memo

---

This traffic impact assessment memorandum was prepared for the proposed 57-unit residential development in Berkley. The project site is adjacent to Coolidge Highway between Cambridge Road and Columbia Road and covering four residential lots with existing single-family houses. The proposed development consists of redeveloping the subject lots into a 57-unit 3.5 story apartment building with parking lot on the ground level. Site access is currently provided on both Cambridge Road and Columbia Road and is intended to be maintained similarly. An overview of the study area and areas of interest are shown in **Figure 1**.

The purpose of this traffic impact assessment memo is to estimate trip generated numbers for the proposed residential use and to compare them with those generated by the code compliant uses previously approved for the lots but not built. In addition, the study discusses the results of capacity analysis during morning and evening peak hours at the nearest intersections based on historical data from MDOT and traffic assumptions. The conclusions of this study are summarized below:

### Conclusions

- ITE trip generation rates and estimates were utilized to calculate the number of weekday morning (AM) and evening (PM) peak hour peak hour trips. The latest ITE Trip Generation Manual 11<sup>th</sup> Edition was utilized accordingly as shown on Table 1.
- The proposed development, which includes residential only, is expected to generate 41 trips (10 enter and 31 exit) during the morning (AM) and 45 trips (28 enter and 17 exit) during the evening peak hours.
- The code-compliant uses, which includes retail, office and residential, for the same lots would generate 52 trips (22 enter and 30 exit) during the morning (AM) and 86 trips (44 enter and 42 exit) during the evening peak hours.
- The proposed development is expected to generate lower trips than those under the code-compliant plan, consequently, less impact on the surrounding roadway network.
- The subject site is planned to maintain the existing full-access driveways on Cambridge Road and Columbia Road. All driveways are stop-controlled on the minor approach.

- Surface parking is provided on site on the ground level of the building.
- Pedestrian walking facilities and accessibility will be maintained around the site and connecting to the neighborhood.
- At the intersection of Coolidge Highway and Cambridge Road, the results of the morning (AM) and evening (PM) peak hour capacity analysis for the existing and future conditions show acceptable levels of service.
- At the intersection of Coolidge Highway and Columbia Road, the results of the morning (AM) and evening (PM) capacity analysis for the existing and future conditions show lower than acceptable levels of service at the minor approaches, side street approaches. However, the levels of service for the major approaches are acceptable. The lower levels of service during the evening (PM) peak hour are mainly due to the high traffic volume on Coolidge Highway, which is typical for most driveways along this major street.

### **Roadway Network Characteristics**

Coolidge Highway is a three-lane minor arterial with a posted speed limit of 30 mph in the study area. The cross section of Coolidge Highway consists of one-lane each way and a center two-way left-turn lane. Bike lanes and pedestrian sidewalks are provided on both sides of the road. A traffic count station located south of the site shows an AADT (2022) of 20,239 as per Michigan Department of Transportation's (MDOT) Transportation Data Management System (TDMS).

### **Traffic Data from MDOT**

Turning movement counts in the study area, for limited movements, were collected from MDOT database and used accordingly to estimate the traffic volumes at the intersections of Coolidge Highway at Cambridge Road and Columbia Road. These traffic counts were conducted in October of 2022 at a station south of Eleven Mile Road, for the major approaches on Coolidge Highway, during a weekday morning (7:00am to 9:00am) and evening (4:00pm to 6:00pm) peak periods. The existing peak hour traffic volumes are shown in Figure 2.

### **Trip Generation Summary**

The published peak hour trip generation rates, along with inbound/outbound distribution from the Institute of Transportation Engineers (ITE) Trip Generation Manual (11<sup>th</sup> Edition) were utilized to calculate the number off peak hour trips for the proposed and code-compliant uses.

For the proposed Berkley Condos development, the land use in this evaluation includes Multifamily Housing (Low-rise). The proposed development is expected to generate a total of 41 trips (10 enter and 31 out) during the morning peak hour and a total of 45 trips (28 enter and 17 exit) during the evening peak hour, as shown in Table 1 and Figure 4. The table also shows the uses approved for the subject lots and their relative sizes which include retail, office, and multifamily uses.

The comparison of the proposed (residential only) use and the code-compliant uses have shown that the proposed uses would generate a lower number of trips during the morning and evening peak hours. This difference in the total number of trips is shown in the last line of Table 1.

**Table 1: Trip Generation Summary<sup>1</sup>**

Type	Use	ITE Code	Size	Units	Weekday Trips	AM Peak-Hour Trips			PM Peak-Hour Trips		
						In	Out	Total	In	Out	Total
Proposed	Multifamily Housing (Low-Rise)	220	57	DU	441	10	31	41	28	17	45
	Total Trips				441	10	31	41	28	17	45
Code Compliant	Retail	822	5,760	SF	473	12	8	20	26	27	53
	Office	712	3,150	SF	45	4	1	5	2	5	7
	Multifamily Housing (Low-Rise)	220	12	DU	152	6	21	27	16	10	26
	Total Trips				670	22	30	52	44	42	86
Difference between Proposed and Code Compliant Uses					-229	-12	1	-11	-16	-25	-41

<sup>1</sup>A trip is a one-directional vehicular movement into or out of the site. These forecasts are based on trip rates and application methodology recommended by the Institute of Transportation Engineers in its *Trip Generation Manual –11<sup>th</sup> Edition* (2021).

## Capacity Analysis for Existing and Future Conditions

Method and Criteria – Intersection capacity analysis was conducted using the Synchro 11 computerized traffic model, based on methodologies contained in the Transportation Research Board's Highway Capacity Manual (HCM).

The primary objective of the capacity analysis is to determine the level of service, a qualitative measure of the “ease” of traffic flow based on vehicular delay. Analytical models are used to estimate the average control delay by approach and vehicular (through or turning) movement – and in the case of signalized and all-way stop-controlled intersections – the overall intersection as well. The traffic models account for lane configuration, grade (if any), type of traffic control, traffic volume and composition, and other traffic flow parameters.

Level of service (LOS) is expressed on a letter-based grading scale, with A being the highest level and F being the lowest level. Historically, achieving a LOS D or better has been the normal objective in an urban or suburban area; however, LOS E or worse may be unavoidable at some locations along heavily traveled roadways.

During the morning (AM) and evening (PM) peak hours, the results of the capacity analysis for the existing and future conditions show acceptable levels of service of D or better at the intersection of Coolidge Highway at Cambridge Road.

During the morning (AM) and evening (PM) peak hours, the results of the capacity analysis for the existing and future conditions show lower than acceptable levels of service for the minor approaches at the intersection of Coolidge Highway at Columbia Road. However, the levels of service for the major approaches are acceptable. These levels were found during existing



conditions and are expected to continue in the future after the proposed development completion. However, these conditions are typical of most of the minor approaches along this corridor and are expected to operate normally.

## **Conclusion**

The proposed residential development is expected to maintain the expected addition of traffic impacts on the study area. The results of additional site generated traffic are expected to be within roadway and intersection capacities. In comparison with the code compliant site plan, the proposed development is reducing the number of added vehicles to the roadway network.

# APPENDIX

1. Traffic Study Figures
2. Site Plans (Proposed & Code Compliant)
3. SYNCHRO Analysis Output Sheets
4. MDOT TDMS Traffic Count Data

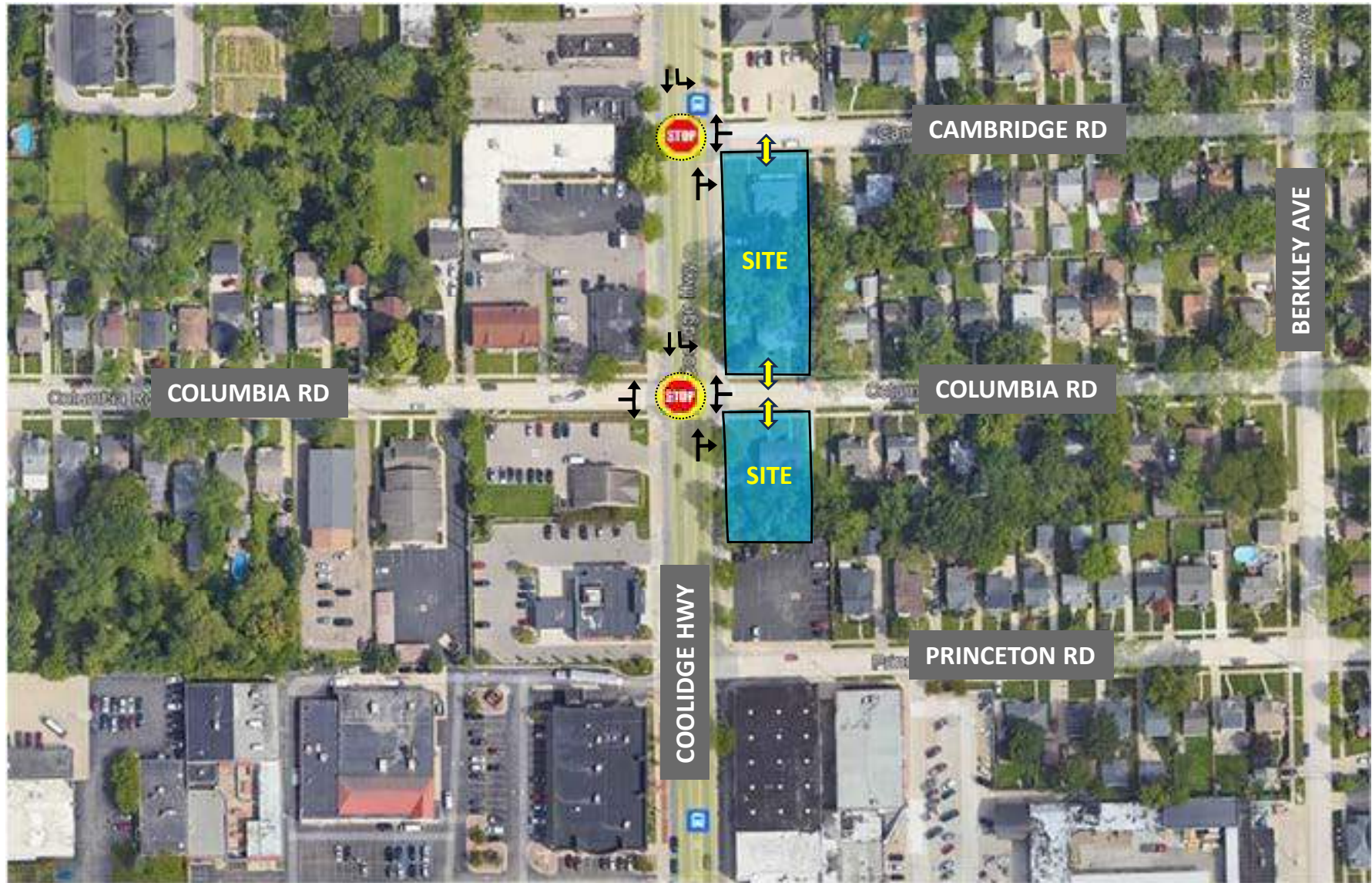
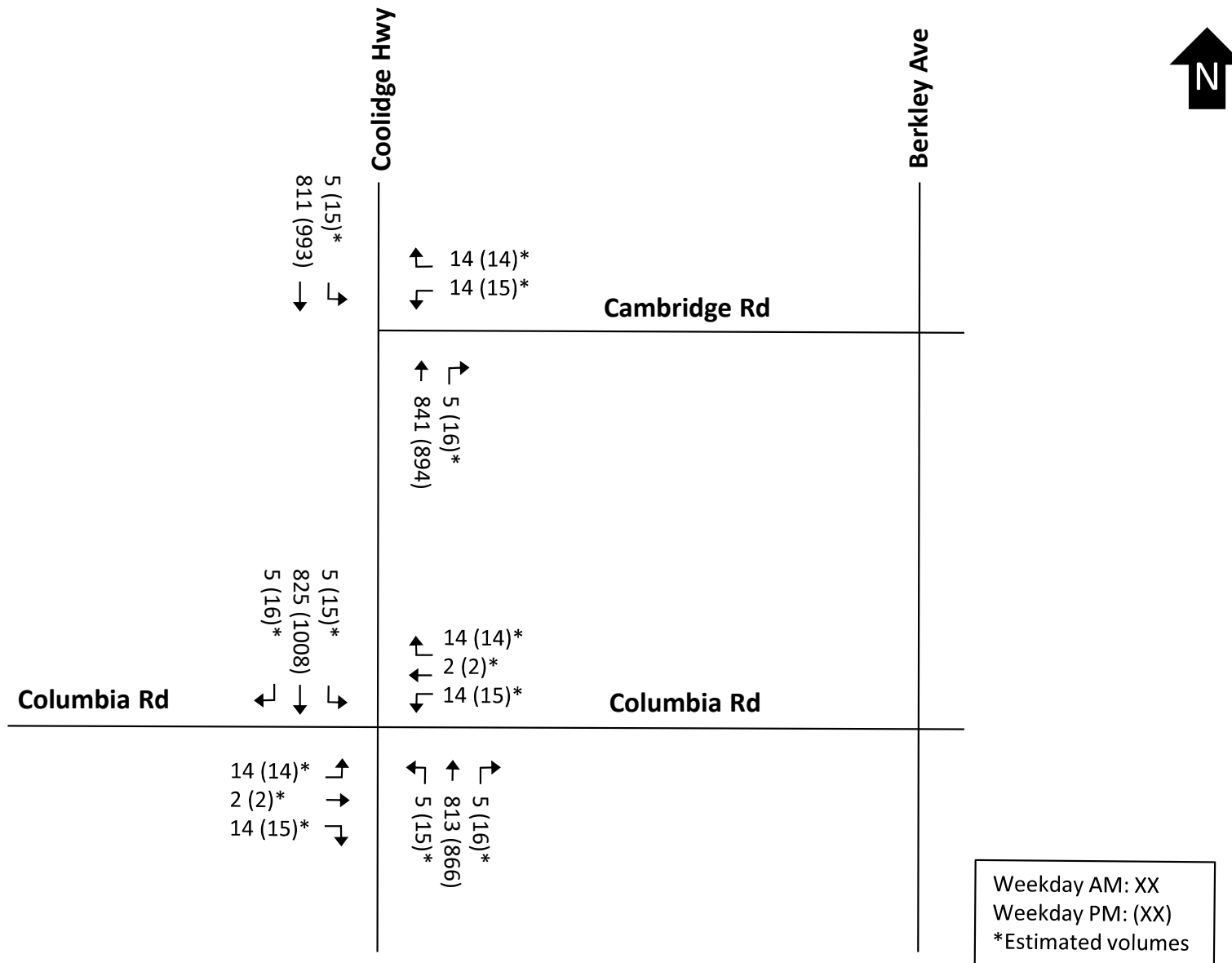


Figure 1. Study Area





**Figure 2. Existing Peak-Hour Volumes**

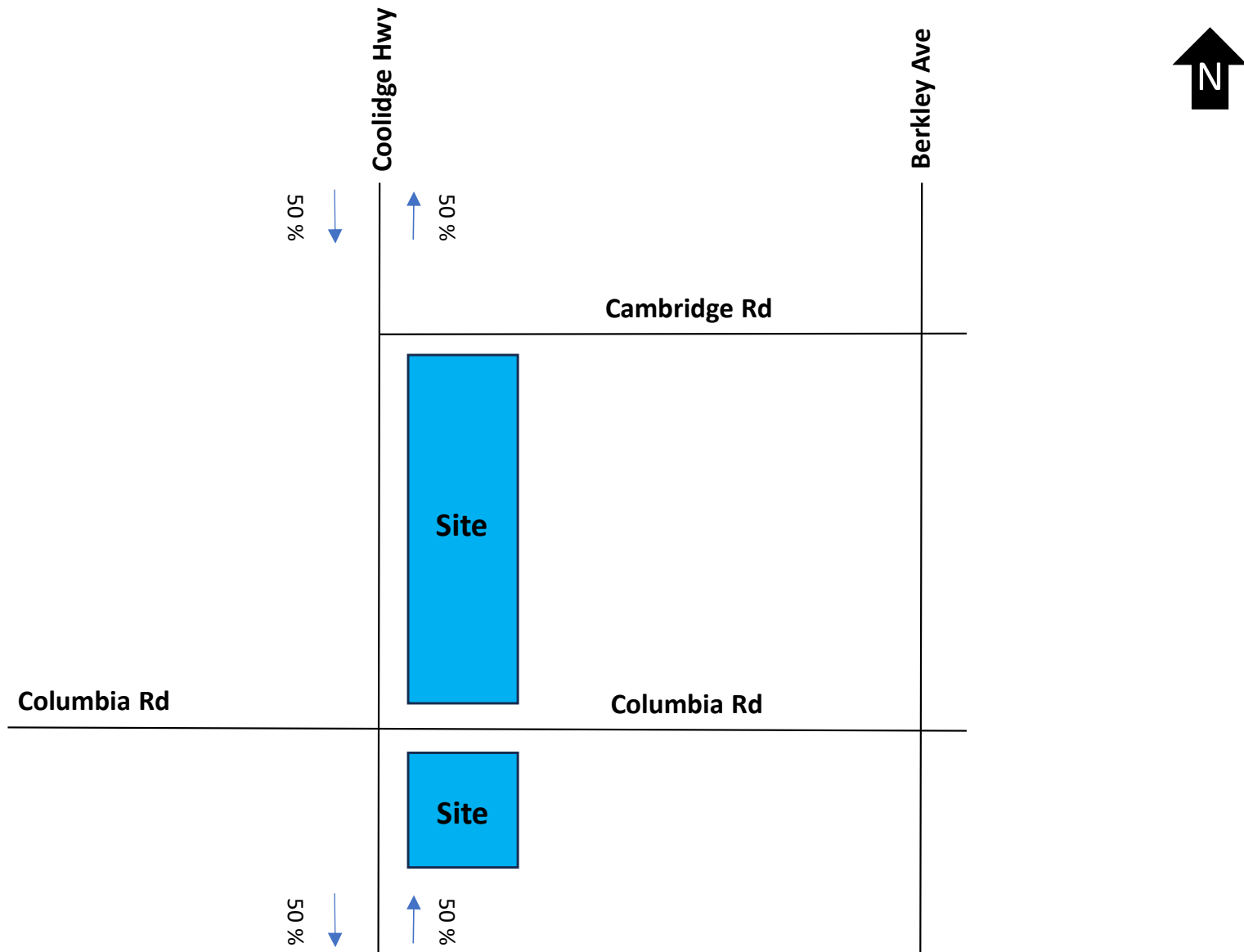


Figure 3. Trip Distribution

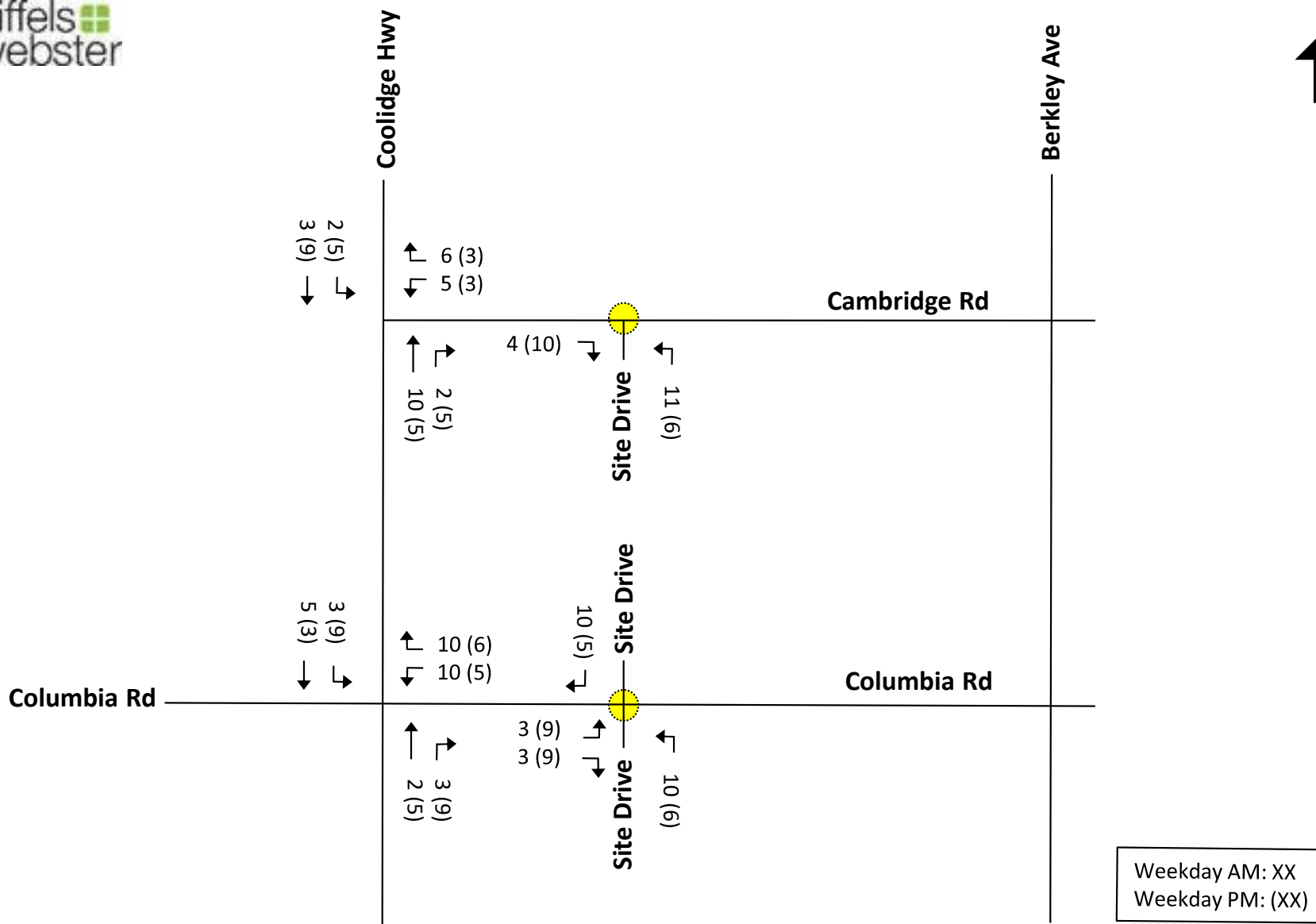


Figure 4. Site Generated Peak-Hour Trip Assignment



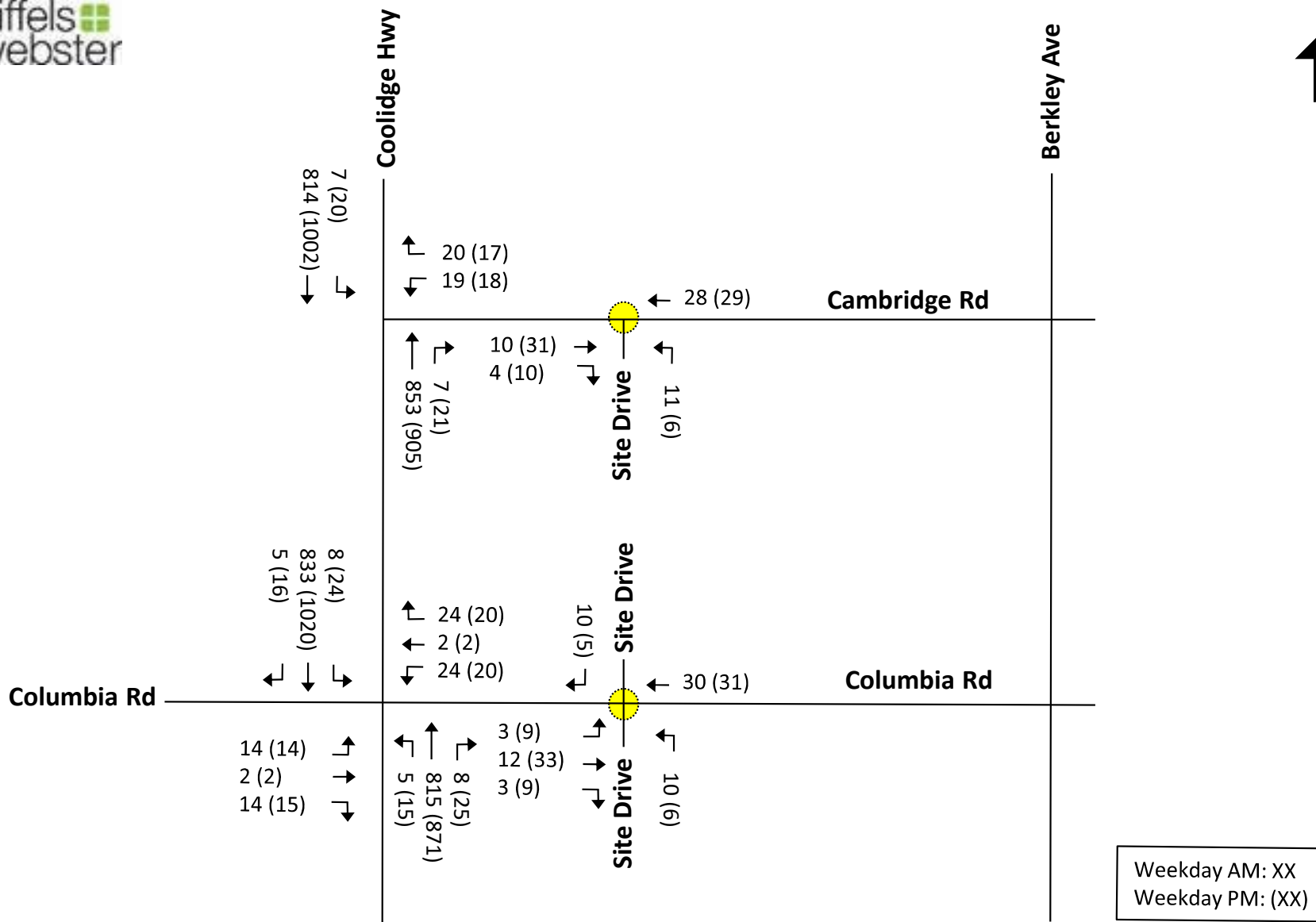
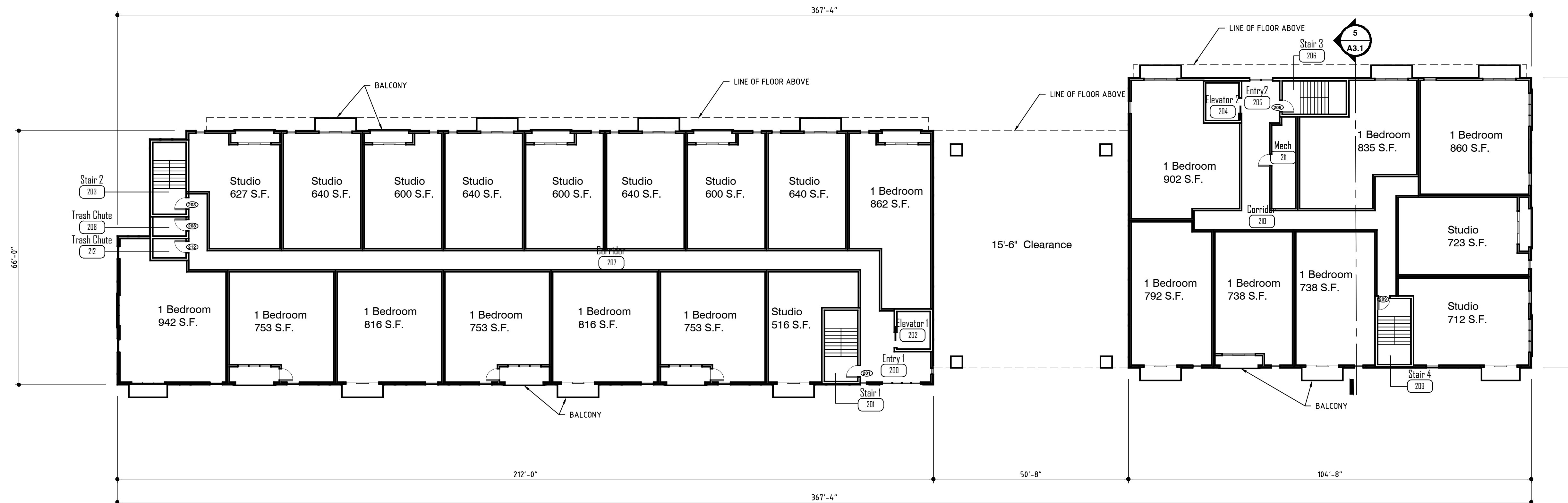
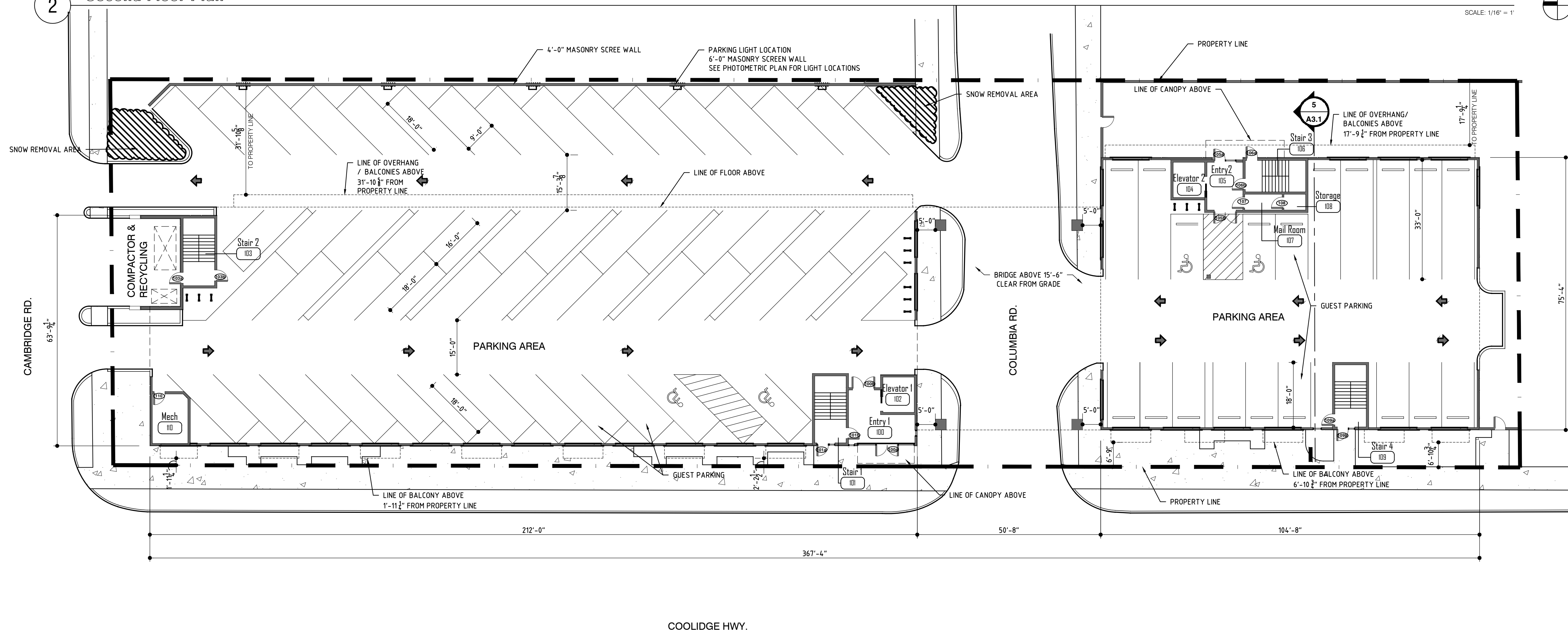


Figure 5. Future Peak-Hour Volumes



2 Second Floor Plan



## 1 Ground Floor Plan

BUILDING SUMMARY	
Main Floor	1,476 S.F.
Second Floor	20, 351 S.F.
Third Floor	24, 710 S.F.
Loft	4,669 S.F.
Total	52, 685 S.F.
UNIT SUMMARY	
Studio with Balcony	7
Studio with Juliet Balcony	5
1 Bedroom with Balcony	14
1 Bedroom with Juliet Balcony	10
1 Bedroom with Juliet Balcony and Patio	4
Studio Loft and Patio	14
1 Bedroom Loft and Patio	3
Total	57
MISS DIG	
MISS DIG TICKET NUMBER #B012982740-00B	
SETBACK RELIEF	
ANY PROJECTIONS OCCUR ABOVE 8' FROM GRADE. FRONT SETBACK RELIEF IS NEEDED, HOWEVER BASED ON AVERAGE FRONT SETBACKS, THIS SHOULD BE CONSIDERED.	

3300 AUBURN RD. SUITE 300  
AUBURN HILLS, MI 48326  
T:248.601.4422 F:248.453.5854  
WWW.DESIGNHAUS.COM  
INFO@DESIGNHAUS.COM

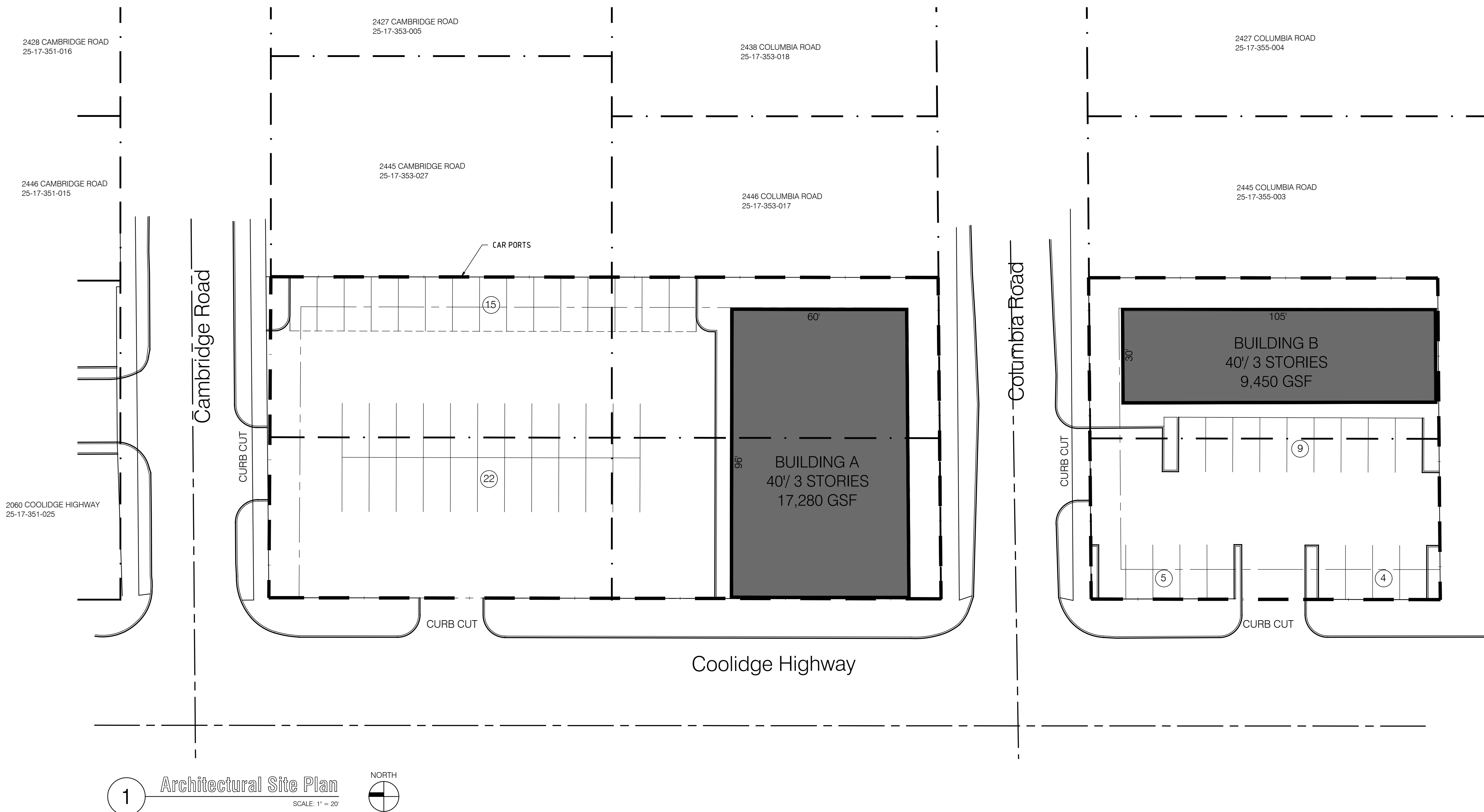
PUD Submit #4	10/13/23
PUD Submit #3	08/29/23
PUD Submit #2	08/25/23
PUD Submit	07/21/23
ISSUANCE	DATE

**The Columbia**  
 2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.  
 Berkley, MI 48072

---

**Ground Floor Plan & Second Floor Plan**





## BUILDING A

Zoned: Gateway		
Building Use:	Floor 1	Floor 2-3
	Retail/ Office	Multifamily
	5,760 SF	11,520 SF

Unit Count:	Floor 2 4 Units	Floor 3 4 Units
-------------	--------------------	--------------------

Maximum Building Height:  
40' Max Height - 40' Tall

Maximum Lot Coverage:  
90%

Setbacks:	
Required	Proposed
Front: 10'	10'
Sides: 0'	0'
Rear: 10'	10'

### Parking

<p>Retail/ Office: One space per 225 SF of usable floor area</p>
--

Multi-family: Two spaces per dwelling unit

Retail/ Office:	18 spaces required
Multi-family:	16 spaces required
Total:	34 spaces required
37 Spaces Provided	

## BUILDING B

Zoned: Gateway		
Building Use:	Floor 1	Floor 2-3
	Retail/ Office	Multifamily
	3,150 SF	6,300 SF

Unit Count:	Floor 2	Floor 3
	2 Units	2 Units

Maximum Building Height:  
40' Max Height - 40' Tall

Maximum Lot Coverage:  
90%

Setbacks:	
Required	Proposed
Front: 10'	10'
Sides: 0'	0'
Rear: 10'	10'





Parking
---------

Retail/ Office: One space per 225 SF of usable floor area

Multi-family: Two spaces per dwelling unit

Retail/ Office:	10 spaces required
Multi-family:	8 spaces required
Total:	18 spaces required
18 Spaces Provided	






Intersection						
Int Delay, s/veh	0.4					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	14	14	841	5	5	811
Future Vol, veh/h	14	14	841	5	5	811
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	100	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	15	15	914	5	5	882
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1809	917	0	0	919	0
Stage 1	917	-	-	-	-	-
Stage 2	892	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	87	330	-	-	743	-
Stage 1	390	-	-	-	-	-
Stage 2	400	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	86	330	-	-	743	-
Mov Cap-2 Maneuver	219	-	-	-	-	-
Stage 1	390	-	-	-	-	-
Stage 2	397	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	20.5	0	0.1			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	263	743	-	
HCM Lane V/C Ratio	-	-	0.116	0.007	-	
HCM Control Delay (s)	-	-	20.5	9.9	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	0.4	0	-	

Intersection												
Int Delay, s/veh	2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔		↖	↗		↖	↗	
Traffic Vol, veh/h	14	2	14	14	2	14	5	813	5	5	825	5
Future Vol, veh/h	14	2	14	14	2	14	5	813	5	5	825	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	100	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	95	95	95	95	95	95	95	95	95	95	95	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	15	2	15	15	2	15	5	856	5	5	868	5

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	1758	1752	871	1758	1752	859	873	0	0	861	0	0
Stage 1	881	881	-	869	869	-	-	-	-	-	-	-
Stage 2	877	871	-	889	883	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	66	85	350	66	85	356	773	-	-	781	-	-
Stage 1	341	365	-	347	369	-	-	-	-	-	-	-
Stage 2	343	368	-	338	364	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	61	84	350	61	84	356	773	-	-	781	-	-
Mov Cap-2 Maneuver	61	84	-	61	84	-	-	-	-	-	-	-
Stage 1	339	363	-	345	367	-	-	-	-	-	-	-
Stage 2	325	366	-	320	362	-	-	-	-	-	-	-





Approach	EB		WB		NB		SB	
HCM Control Delay, s	55.4		54.7		0.1		0.1	
HCM LOS	F		F					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	773	-	-	102 103	781	-	-
HCM Lane V/C Ratio	0.007	-	-	0.31 0.307	0.007	-	-
HCM Control Delay (s)	9.7	-	-	55.4 54.7	9.6	-	-
HCM Lane LOS	A	-	-	F F	A	-	-
HCM 95th %tile Q(veh)	0	-	-	1.2 1.2	0	-	-

Intersection						
Int Delay, s/veh	0					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	0	0	0	0	0	0
Future Vol, veh/h	0	0	0	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	0	0	0	0
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	1	0	2	1
Stage 1	-	-	-	-	1	-
Stage 2	-	-	-	-	1	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1622	-	1021	1084
Stage 1	-	-	-	-	1022	-
Stage 2	-	-	-	-	1022	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1622	-	1021	1084
Mov Cap-2 Maneuver	-	-	-	-	1021	-
Stage 1	-	-	-	-	1022	-
Stage 2	-	-	-	-	1022	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		0		0	
HCM LOS					A	
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	-	-	-	1622	-	
HCM Lane V/C Ratio	-	-	-	-	-	
HCM Control Delay (s)	0	-	-	0	-	
HCM Lane LOS	A	-	-	A	-	
HCM 95th %tile Q(veh)	-	-	-	0	-	



Intersection												
Int Delay, s/veh	0											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		<div>↕</div>			<div>↕</div>			<div>↕</div>			<div>↕</div>	
Traffic Vol, veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Future Vol, veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	0	0	0	0	0	0	0	0	0
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1	0	0	1	0	0	2	2	1	2	2	1
Stage 1	-	-	-	-	-	-	1	1	-	1	1	-
Stage 2	-	-	-	-	-	-	1	1	-	1	1	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1622	-	-	1622	-	-	1020	894	1084	1020	894	1084
Stage 1	-	-	-	-	-	-	1022	895	-	1022	895	-
Stage 2	-	-	-	-	-	-	1022	895	-	1022	895	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1622	-	-	1622	-	-	1020	894	1084	1020	894	1084
Mov Cap-2 Maneuver	-	-	-	-	-	-	1020	894	-	1020	894	-
Stage 1	-	-	-	-	-	-	1022	895	-	1022	895	-
Stage 2	-	-	-	-	-	-	1022	895	-	1022	895	-
Approach	EB		WB				NB			SB		
HCM Control Delay, s	0		0				0			0		
HCM LOS							A			A		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	-	1622	-	-	1622	-	-	-				
HCM Lane V/C Ratio	-	-	-	-	-	-	-	-				
HCM Control Delay (s)	0	0	-	-	0	-	-	0				
HCM Lane LOS	A	A	-	-	A	-	-	A				
HCM 95th %tile Q(veh)	-	0	-	-	0	-	-	-				

Intersection						
Int Delay, s/veh	0.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	15	14	894	16	15	993
Future Vol, veh/h	15	14	894	16	15	993
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	100	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	15	972	17	16	1079

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	2092	981	0	0	989
Stage 1	981	-	-	-	-
Stage 2	1111	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	58	303	-	-	699
Stage 1	363	-	-	-	-
Stage 2	315	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	57	303	-	-	699
Mov Cap-2 Maneuver	178	-	-	-	-
Stage 1	363	-	-	-	-
Stage 2	308	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	23.9	0	0.2
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	222	699
HCM Lane V/C Ratio	-	-	0.142	0.023
HCM Control Delay (s)	-	-	23.9	10.3
HCM Lane LOS	-	-	C	B
HCM 95th %tile Q(veh)	-	-	0.5	0.1




Intersection												
Int Delay, s/veh	4.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔		↖	↗		↖	↗	
Traffic Vol, veh/h	14	2	15	14	2	15	15	866	16	15	1008	16
Future Vol, veh/h	14	2	15	14	2	15	15	866	16	15	1008	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	100	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	15	2	16	15	2	16	16	941	17	16	1096	17

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	2128	2127	1105	2128	2127	950	1113	0	0	958	0	0
Stage 1	1137	1137	-	982	982	-	-	-	-	-	-	-
Stage 2	991	990	-	1146	1145	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	36	50	256	36	50	315	627	-	-	718	-	-
Stage 1	245	277	-	300	327	-	-	-	-	-	-	-
Stage 2	296	324	-	242	274	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	32	48	256	31	48	315	627	-	-	718	-	-
Mov Cap-2 Maneuver	32	48	-	31	48	-	-	-	-	-	-	-
Stage 1	239	271	-	292	318	-	-	-	-	-	-	-
Stage 2	272	316	-	220	268	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	131.3		135.1		0.2		0.1	
HCM LOS	F		F					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	627	-	-	58	57	718	-
HCM Lane V/C Ratio	0.026	-	-	0.581	0.591	0.023	-
HCM Control Delay (s)	10.9	-	-	131.3	135.1	10.1	-
HCM Lane LOS	B	-	-	F	F	B	-
HCM 95th %tile Q(veh)	0.1	-	-	2.3	2.4	0.1	-







Intersection						
Int Delay, s/veh	0					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	31	0	0	29	0	0
Future Vol, veh/h	31	0	0	29	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	34	0	0	32	0	0
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	34	0	66	34
Stage 1	-	-	-	-	34	-
Stage 2	-	-	-	-	32	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1578	-	939	1039
Stage 1	-	-	-	-	988	-
Stage 2	-	-	-	-	991	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1578	-	939	1039
Mov Cap-2 Maneuver	-	-	-	-	939	-
Stage 1	-	-	-	-	988	-
Stage 2	-	-	-	-	991	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		0		0	
HCM LOS					A	
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	-	-	-	1578	-	
HCM Lane V/C Ratio	-	-	-	-	-	
HCM Control Delay (s)	0	-	-	0	-	
HCM Lane LOS	A	-	-	A	-	
HCM 95th %tile Q(veh)	-	-	-	0	-	

Intersection												
Int Delay, s/veh	0											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	33	0	0	31	0	0	0	0	0	0	0
Future Vol, veh/h	0	33	0	0	31	0	0	0	0	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	36	0	0	34	0	0	0	0	0	0	0

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	34	0	0	36	0	0	70	70	36	70	70	34
Stage 1	-	-	-	-	-	-	36	36	-	34	34	-
Stage 2	-	-	-	-	-	-	34	34	-	36	36	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1578	-	-	1575	-	-	922	821	1037	922	821	1039
Stage 1	-	-	-	-	-	-	980	865	-	982	867	-
Stage 2	-	-	-	-	-	-	982	867	-	980	865	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1578	-	-	1575	-	-	922	821	1037	922	821	1039
Mov Cap-2 Maneuver	-	-	-	-	-	-	922	821	-	922	821	-
Stage 1	-	-	-	-	-	-	980	865	-	982	867	-
Stage 2	-	-	-	-	-	-	982	867	-	980	865	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0	0	0	0
HCM LOS			A	A

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	-	1578	-	-	1575	-	-	-
HCM Lane V/C Ratio	-	-	-	-	-	-	-	-
HCM Control Delay (s)	0	0	-	-	0	-	-	0
HCM Lane LOS	A	A	-	-	A	-	-	A
HCM 95th %tile Q(veh)	-	0	-	-	0	-	-	-

Intersection						
Int Delay, s/veh	0.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	19	20	853	7	7	814
Future Vol, veh/h	19	20	853	7	7	814
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	100	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	21	22	927	8	8	885
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1832	931	0	0	935	0
Stage 1	931	-	-	-	-	-
Stage 2	901	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	84	324	-	-	732	-
Stage 1	384	-	-	-	-	-
Stage 2	396	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	83	324	-	-	732	-
Mov Cap-2 Maneuver	215	-	-	-	-	-
Stage 1	384	-	-	-	-	-
Stage 2	392	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	21.5	0	0.1			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	260	732	-	
HCM Lane V/C Ratio	-	-	0.163	0.01	-	
HCM Control Delay (s)	-	-	21.5	10	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	0.6	0	-	






Intersection												
Int Delay, s/veh	3.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	14	2	14	24	2	24	5	815	8	8	833	5
Future Vol, veh/h	14	2	14	24	2	24	5	815	8	8	833	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	100	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	95	95	95	95	95	95	95	95	95	95	95	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	15	2	15	25	2	25	5	858	8	8	877	5

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	1782	1772	880	1776	1770	862	882	0	0	866	0	0
Stage 1	896	896	-	872	872	-	-	-	-	-	-	-
Stage 2	886	876	-	904	898	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	64	83	346	64	83	355	767	-	-	777	-	-
Stage 1	335	359	-	345	368	-	-	-	-	-	-	-
Stage 2	339	367	-	331	358	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	58	82	346	59	82	355	767	-	-	777	-	-
Mov Cap-2 Maneuver	58	82	-	59	82	-	-	-	-	-	-	-
Stage 1	333	355	-	343	365	-	-	-	-	-	-	-
Stage 2	311	364	-	312	354	-	-	-	-	-	-	-





Approach	EB		WB		NB		SB	
HCM Control Delay, s	58.3		75.4		0.1		0.1	
HCM LOS	F		F					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	767	-	-	98	100	777	-
HCM Lane V/C Ratio	0.007	-	-	0.322	0.526	0.011	-
HCM Control Delay (s)	9.7	-	-	58.3	75.4	9.7	-
HCM Lane LOS	A	-	-	F	F	A	-
HCM 95th %tile Q(veh)	0	-	-	1.2	2.4	0	-

Intersection						
Int Delay, s/veh	1.8					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	10	4	0	28	11	0
Future Vol, veh/h	10	4	0	28	11	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	4	0	30	12	0
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	15	0	43	13
Stage 1	-	-	-	-	13	-
Stage 2	-	-	-	-	30	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1603	-	968	1067
Stage 1	-	-	-	-	1010	-
Stage 2	-	-	-	-	993	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1603	-	968	1067
Mov Cap-2 Maneuver	-	-	-	-	968	-
Stage 1	-	-	-	-	1010	-
Stage 2	-	-	-	-	993	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		0		8.8	
HCM LOS					A	
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	968	-	-	1603	-	
HCM Lane V/C Ratio	0.012	-	-	-	-	
HCM Control Delay (s)	8.8	-	-	0	-	
HCM Lane LOS	A	-	-	A	-	
HCM 95th %tile Q(veh)	0	-	-	0	-	

Intersection												
Int Delay, s/veh	2.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	3	12	3	0	30	0	10	0	0	0	0	10
Future Vol, veh/h	3	12	3	0	30	0	10	0	0	0	0	10
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	3	13	3	0	33	0	11	0	0	0	0	11
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	33	0	0	16	0	0	60	54	15	54	55	33
Stage 1	-	-	-	-	-	-	21	21	-	33	33	-
Stage 2	-	-	-	-	-	-	39	33	-	21	22	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1579	-	-	1602	-	-	936	837	1065	944	836	1041
Stage 1	-	-	-	-	-	-	998	878	-	983	868	-
Stage 2	-	-	-	-	-	-	976	868	-	998	877	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1579	-	-	1602	-	-	925	835	1065	942	834	1041
Mov Cap-2 Maneuver	-	-	-	-	-	-	925	835	-	942	834	-
Stage 1	-	-	-	-	-	-	996	876	-	981	868	-
Stage 2	-	-	-	-	-	-	966	868	-	996	875	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	1.2			0			8.9			8.5		
HCM LOS							A			A		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	925	1579	-	-	1602	-	-	1041				
HCM Lane V/C Ratio	0.012	0.002	-	-	-	-	-	0.01				
HCM Control Delay (s)	8.9	7.3	0	-	0	-	-	8.5				
HCM Lane LOS	A	A	A	-	A	-	-	A				
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0				






Intersection						
Int Delay, s/veh	0.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	18	17	905	21	20	1002
Future Vol, veh/h	18	17	905	21	20	1002
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	100	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	20	18	984	23	22	1089
Major/Minor	Minor1	Major1		Major2		
Conflicting Flow All	2129	996	0	0	1007	0
Stage 1	996	-	-	-	-	-
Stage 2	1133	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	55	297	-	-	688	-
Stage 1	357	-	-	-	-	-
Stage 2	307	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	53	297	-	-	688	-
Mov Cap-2 Maneuver	172	-	-	-	-	-
Stage 1	357	-	-	-	-	-
Stage 2	297	-	-	-	-	-
Approach	WB	NB		SB		
HCM Control Delay, s	25.2	0		0.2		
HCM LOS	D					
Minor Lane/Major Mvmt	NBT	NBRWBLn1		SBL	SBT	
Capacity (veh/h)	-	- 216		688	-	
HCM Lane V/C Ratio	-	- 0.176		0.032	-	
HCM Control Delay (s)	-	- 25.2		10.4	-	
HCM Lane LOS	-	- D		B	-	
HCM 95th %tile Q(veh)	-	- 0.6		0.1	-	

Intersection												
Int Delay, s/veh	6.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔		↔	↔		↔	↔	
Traffic Vol, veh/h	14	2	15	20	2	20	15	871	25	24	1020	16
Future Vol, veh/h	14	2	15	20	2	20	15	871	25	24	1020	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	100	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	15	2	16	22	2	22	16	947	27	26	1109	17

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	2175	2176	1118	2172	2171	961	1126	0	0	974	0	0
Stage 1	1170	1170	-	993	993	-	-	-	-	-	-	-
Stage 2	1005	1006	-	1179	1178	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	33	46	252	34	47	311	620	-	-	708	-	-
Stage 1	235	267	-	296	323	-	-	-	-	-	-	-
Stage 2	291	319	-	232	265	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	28	43	252	29	44	311	620	-	-	708	-	-
Mov Cap-2 Maneuver	28	43	-	29	44	-	-	-	-	-	-	-
Stage 1	229	257	-	288	315	-	-	-	-	-	-	-
Stage 2	262	311	-	207	255	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	163		207		0.2		0.2	
HCM LOS	F		F					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	620	-	-	51 53	708	-	-
HCM Lane V/C Ratio	0.026	-	-	0.661 0.861	0.037	-	-
HCM Control Delay (s)	11	-	-	163 207	10.3	-	-
HCM Lane LOS	B	-	-	F F	B	-	-
HCM 95th %tile Q(veh)	0.1	-	-	2.6 3.7	0.1	-	-

Intersection						
Int Delay, s/veh	0.7					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	31	10	0	29	6	0
Future Vol, veh/h	31	10	0	29	6	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	34	11	0	32	7	0
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	45	0	72	40
Stage 1	-	-	-	-	40	-
Stage 2	-	-	-	-	32	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1563	-	932	1031
Stage 1	-	-	-	-	982	-
Stage 2	-	-	-	-	991	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1563	-	932	1031
Mov Cap-2 Maneuver	-	-	-	-	932	-
Stage 1	-	-	-	-	982	-
Stage 2	-	-	-	-	991	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		0		8.9	
HCM LOS					A	
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	932	-	-	1563	-	
HCM Lane V/C Ratio	0.007	-	-	-	-	
HCM Control Delay (s)	8.9	-	-	0	-	
HCM Lane LOS	A	-	-	A	-	
HCM 95th %tile Q(veh)	0	-	-	0	-	



Intersection												
Int Delay, s/veh	1.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	9	33	9	0	31	0	6	0	0	0	0	5
Future Vol, veh/h	9	33	9	0	31	0	6	0	0	0	0	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	10	36	10	0	34	0	7	0	0	0	0	5
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	34	0	0	46	0	0	98	95	41	95	100	34
Stage 1	-	-	-	-	-	-	61	61	-	34	34	-
Stage 2	-	-	-	-	-	-	37	34	-	61	66	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1578	-	-	1562	-	-	884	795	1030	888	790	1039
Stage 1	-	-	-	-	-	-	950	844	-	982	867	-
Stage 2	-	-	-	-	-	-	978	867	-	950	840	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1578	-	-	1562	-	-	874	789	1030	884	784	1039
Mov Cap-2 Maneuver	-	-	-	-	-	-	874	789	-	884	784	-
Stage 1	-	-	-	-	-	-	943	838	-	975	867	-
Stage 2	-	-	-	-	-	-	973	867	-	943	834	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	1.3			0			9.2			8.5		
HCM LOS							A			A		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	874	1578	-	-	1562	-	-	1039				
HCM Lane V/C Ratio	0.007	0.006	-	-	-	-	-	0.005				
HCM Control Delay (s)	9.2	7.3	0	-	0	-	-	8.5				
HCM Lane LOS	A	A	A	-	A	-	-	A				
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0				

Record	1	of 1	Goto Record	go
Location ID	63-5139	NPO ID	59455	
Type	SPOT	HPMS ID	1 4 125 040	
On NHS	No	On HPMS	Yes	
LRS ID	0644004	LRS Loc Pl	2 675	
SF Group	Urban Non State	Route Type		
AF Group	NoFactor	Route		
GF Group	Urban Non State	Active	Yes	
Class Dist Grp	NTL 4	Category	Primary	
Seas Class Grp				
WIM Group				
QC Group	Default			
Facct Class	(4) Minor Arterial	Milepost		
Located On	COOLIDGE HWY			
Loc On Alias				
	100 FEET S OF 11 MILE			
More Detail				

Directions: 2-WAY NO SB

AADT								
	Year	AADT	DRV-30	K %	D %	PA	BC	Src
	2022	20,239	1,859	9	53	19,852 (98%)	387 (2%)	
	2021	22,368 <sup>3</sup>		9	54	21,318 (95%)	1,050 (5%)	Grown from 2020
	2020	19,031 <sup>3</sup>		9	54	18,687 (95%)	944 (5%)	Grown from 2019
	2019	22,987	2,125	9	54	22,554 (98%)	433 (2%)	
	2018	23,242 <sup>3</sup>		7	65	22,616 (97%)	626 (3%)	Grown from 2017
1-5 of 7								

VOLUME COUNT				VOLUME TREND	
	Date	Int	Total	Year	Annual Growth
	Wed 10/19/2022	15	20,718	2022	-10%
	Tue 10/18/2022	15	19,769	2021	14%
	Tue 9/15/2019	15	22,987	2020	-15%
	Tue 12/6/2016	60	22,327	2019	-1%



Location Info					
Location ID	63-5139_NB				
County ID	63				
Station ID	9_NB				
Type	I-SECTION				
Functional Class	4				
Located On	COOLIDGE HWY				
	100 FEET S OF 11 MILE				
Direction	NB				
Community	Oak Park				
MPO_ID	58453				
HPMS ID	1_4_125_048				
Agency	Michigan Department of Transportation				
Interval: 15 mins					
Time	15 Min				Hourly Count
	1st	2nd	3rd	4th	
00:00 - 01:00	13	21	6	4	44
01:00 - 02:00	7	5	2	2	16
02:00 - 03:00	4	5	3	5	17
03:00 - 04:00	1	3	4	7	15
04:00 - 05:00	8	7	12	9	36
05:00 - 06:00	18	16	36	33	103
06:00 - 07:00	44	46	67	111	268
07:00 - 08:00	104	125	171	215	615
08:00 - 09:00	245	165	188	167	765
09:00 - 10:00	152	148	142	146	588
10:00 - 11:00	143	133	163	134	573
11:00 - 12:00	153	139	140	161	593
12:00 - 13:00	175	124	171	159	629
13:00 - 14:00	154	169	140	170	633
14:00 - 15:00	139	182	181	194	696
15:00 - 16:00	208	221	234	208	871
16:00 - 17:00	211	224	213	205	853
17:00 - 18:00	244	217	204	201	866
18:00 - 19:00	192	175	187	165	719
19:00 - 20:00	170	124	96	85	475
20:00 - 21:00	86	86	85	57	314
21:00 - 22:00	53	58	43	38	192
22:00 - 23:00	35	40	23	26	124
23:00 - 24:00	28	21	12	12	73
TOTAL					10078

Count Data Info	
Start Date	10/19/2022
End Date	10/20/2022
Start Time	12:00 PM
End Time	12:00 PM
Direction	NB
Notes	
Count Source	63-5139
File Name	63-5139_1003382_10-18-2022.prn
Weather	
Study	
Owner	brownv22
QC Status	Accepted



Location Info					
Location ID	63-5139_SB				
County ID	63				
Station ID	9_SB				
Type	I-SECTION				
Functional Class	4				
Located On	COOLIDGE HWY				
	100 FEET S OF 11 MILE				
Direction	SB				
Community	Oak Park				
MPO_ID	58454				
HPMS ID	1_4_125_048				
Agency	Michigan Department of Transportation				
Interval: 15 mins					
Time	15 Min				Hourly Count
	1st	2nd	3rd	4th	
00:00 - 01:00	15	18	5	8	46
01:00 - 02:00	9	9	8	9	35
02:00 - 03:00	5	4	1	4	14
03:00 - 04:00	2	2	4	8	16
04:00 - 05:00	4	3	7	14	28
05:00 - 06:00	15	13	21	28	77
06:00 - 07:00	39	50	70	74	233
07:00 - 08:00	92	133	167	228	620
08:00 - 09:00	223	200	160	174	757
09:00 - 10:00	117	134	124	154	529
10:00 - 11:00	113	93	115	135	456
11:00 - 12:00	116	133	148	164	561
12:00 - 13:00	157	171	147	156	631
13:00 - 14:00	173	175	160	162	670
14:00 - 15:00	133	143	180	197	653
15:00 - 16:00	215	242	248	276	981
16:00 - 17:00	235	215	217	249	916
17:00 - 18:00	240	240	237	276	993
18:00 - 19:00	251	197	179	163	790
19:00 - 20:00	177	177	144	141	639
20:00 - 21:00	124	137	96	81	438
21:00 - 22:00	93	78	58	63	292
22:00 - 23:00	55	34	43	37	169
23:00 - 24:00	29	23	26	18	96
TOTAL					10640

Count Data Info	
Start Date	10/19/2022
End Date	10/20/2022
Start Time	12:00 PM
End Time	12:00 PM
Direction	SB
Notes	
Count Source	63-5139
File Name	63-5139_1003382_10-18-2022.prn
Weather	
Study	
Owner	brownv22
QC Status	Accepted

May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to approve the “Berkley Street Art Fest” event on Saturday, July 12, 2025 from 11 a.m.-5 p.m. on Coolidge Highway, between Catalpa and Beverly, for the Berkley Area Chamber of Commerce, P.O. Box 72-1253. Approval is conditional upon the submission of required items and documents prior to event dates.

Ayes:

Nays:

Absent:

Motion:



# MEMORANDUM

To: Mayor Dean and City Council  
From: Victoria Mitchell, City Clerk  
  
Date: *Monday, May 19, 2025*  
Subject: Berkley Street Art Fest

---

Madam Mayor and Members of City Council,

## Background

- The annual Berkley Street Art Fest is scheduled to take place Saturday, July 12, 2025 from 11 a.m.-5 p.m. It is a Berkley Area Chamber of Commerce event.
- The event will take place on Coolidge Highway, between Catalapa Drive and Beverly Boulevard.
- The event is managed and staffed by members of the Berkley Area Chamber of Commerce and volunteers.
- The Chamber is in contact with Casa Amado, which is going to apply for a special permit to have a beer tent on its property during the event.
- The majority of necessary documentation was submitted to the Clerk's Office, and a plan is in place to receive a certificate of liability insurance.
- A meeting took place with Berkley Area Chamber of Commerce Executive Director Darlene Rothman and appropriate City staff to review the event application. All of the necessary approvals were received by City staff.
- Berkley Area Chamber of Commerce Executive Director Darlene Rothman was advised that the cost for the event, due to the City, will be \$3,840. The cost is 40 percent of the estimated \$8,000 in Department of Public Services costs and \$1,600 in Public Safety costs.

## Summary

- The Berkley Street Art Fest Community Special Event Application is before you today for approval.
- The application and event plan received internal approval.
- The applicant is aware reimbursement in the amount of \$3,840 will be due to the City.

## Recommendation

Approval of the "Berkley Street Art Fest" event on Saturday, July 12, 2025 from 11 a.m.-5 p.m. on Coolidge Highway, between Catalpa and Beverly, for the Berkley Area Chamber of Commerce, P.O. Box 72-1253. Approval is conditional upon the submission of required items and documents prior to event dates.





**CITY OF BERKLEY  
COMMUNITY SPECIAL EVENT  
PERMIT APPLICATION DISPOSITION CHECKLIST**

Event Name: BERKLEY STREET ART FEST

Event Date(s) JULY 12, 2025 Location(s) COOLIDGE BETWEEN CATALPA & DEVERLY Event Hours PUBLIC HOURS 11am - 5pm

**ORGANIZATION:**

Organization Name:

BERKLEY AREA CHAMBER OF COMMERCE

Headquarters Street Address:

PO BOX 72-1253

City:

BERKLEY

State:

MI

Zip Code:

48072

Phone:

**(b) (6)**

Website:

BERKLEYCHAMBER.COM

Tax Exempt Status (as defined by the US Internal Revenue Service):

Non-Profit

☒

501(c)(3)

N/A

Other (specify)

501(c)(6)

The following documents have been submitted:

Completed application

☒ YES ☐ NO

Valid IRS tax exempt verification

☒ YES ☐ NO

Financial report for the preceding fiscal year

☒ YES ☐ NO

Proof of Commercial Liability Coverage

☒ YES ☐ NO

Estimated cost to execute the solicitation / event

☒ YES ☐ NO

Charitable Solicitation / Special Event Hold Harmless Agreement

☒ YES ☐ NO

Application reviewed by:

Public Safety

M. K.

Public Works

A. W.

Building Official

E. N.

Comments:

Presented to City Council:

Date:

Approved:

☐ YES ☐ NO

Organization Notified

☐ YES ☐ NO

Date



City Clerk's Office  
3338 Coolidge Hwy.  
Berkley, MI 48072  
248-658-3300  
Fax: 248-658-3301  
www.berkleymich.org

Print Form

## CITY OF BERKLEY, MICHIGAN COMMUNITY SPECIAL EVENT APPLICATION

Name of Event: BERKLEY STREET ART FEST  
Organization / Contact: BERKLEY AREA  
Name of Organization: CHAMBER OF COMMERCE Contact's Name: JARUENES ROTHMAN  
Address: PO BOX 72-1253 City: BERKLEY State/zip: MI 48072  
Telephone: 248-414-9157 24 Hour Emergency Contact: 248-892-3161

If event will be on private property owned by someone else, then a letter of permission from the property owner must be submitted with the application.

### Event Location:

If the event involves city streets or sidewalks, include a map showing the location.  
A petition from affected businesses may be required.

Dates and Hours of Event: COOLIDGE BETWEEN CATALPA & BEVERLY  
JULY 12, 2025 EVENT SETUP 6AM. OPEN TO PUBLIC 11AM-4PM  
TEAR DOWN ENDS AT 5PM. ACTUAL ROAD CLOSED 4AM-7PM

How many employees or volunteers?

2 STAFF, 5-10 VOLUNTEER DEPENDING ON TIME OF DAY

How will site be secured during off-hours? NO OFF HOURS. ALTHOUGH WE HAVE VOLUNTEERS  
OPENING & CLOSING BARRIERS DURING SET UP / TEAR DOWN TO LET VENDORS

What type of merchandise will be sold? SIDE WALK CHALK, FOOD, ART, FOOD TRUCKS. THRU

If you are selling food, include a copy of your receipt from Oakland County Health Department. WE SUBMIT LIST OF  
FOOD VENDORS BEFORE EVENT TO OAKLAND COUNTY HEALTH DEPT AND THEY  
Will there be any electricity outside the building (e.g., extension cords, heaters, lights)? CONFIRM LICENSE & VENDORS  
If yes, an electrical inspection by the City will be required after set up and before opening.  
FOR THE DJ

Include a Site Plan showing where merchandise will be sold, how pedestrian and vehicular traffic will circulate on the site.

What are your plans for set up and removal?

Tax Exempt Status (as defined by the US Internal Revenue Service):

Non-Profit ☒ 501.C3 ☐ Other (specify) ☐

501C6

Include the following documents:

- ☐ Internal Revenue Service tax exempt documentation for the organization.
- ☐ Organization's financial report for the preceding fiscal year.
- ☐ Proof of Commercial Liability Coverage on an "occurrence basis", naming the City of Berkley as additional insured, with no less than \$1,000,000 per occurrence and/or combined single limit, Personal injury, Bodily injury, and Property Damage.
- ☐ Liquor Liability, \$500,000 per occurrence and \$500,000 aggregate. (If applicable)
- ☐ Special Event Hold Harmless Agreement signed by an authorized representative

By Ordinance, each Community Special Event is limited to a maximum of 7 days.

Applications must be received at least 45 days prior to the event. Events involving the public right of way will require City Council approval. I understand that a representative of the organization will need to attend the City Council meeting. The City will notify me of the meeting date and time.

An application will be denied or an event shut down if complete and accurate information is not provided.

Jaruenes Rothman  
Signature of Applicant

2-16-25  
Date



## APPROVALS

DEPARTMENT	Approve (YES/NO)	Signature	Date
Planning/Building	yes	<i>C. [Signature]</i>	4-23-25
Comments:			
Public Safety	yes	<i>[Signature]</i>	4-23-25
Comments:			
Notify SMART, ambulance, and waste collection of any road closures.			
Public Works:	yes	<i>Ad Wagon</i>	4/23/25
Comments:			
Parks/Recreation			
Comments:			
City Clerk	yes	<i>Victoria Mitchell</i>	4-29-25
Comments:			
City Manager			
Comments:			

### For City Use Only:

Date Application Received

2-18-25

Permit

Receipt Number

PTU 25-0002

Received	Receipt Number	Date Received
Application Fee (\$200.00) <input type="checkbox"/>		2-18-25 <span style="border: 1px solid black; border-radius: 50%; padding: 2px;">DB</span>
Cleanup Bond (\$100.00) <input type="checkbox"/>		
Fee Waived <input type="checkbox"/>	City Manager's approval required	

City Manager's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

#### IF APPLICABLE:

Motion Number:

Conditions (if any):

Is fee to be reimbursed?





# CITY OF BERKLEY COMMUNITY SPECIAL EVENT HOLD HARMLESS AGREEMENT

This Hold Harmless Agreement is between BERKLEY AREA CHAMBER OF COMMERCE (the Organization) and the City of Berkley, Michigan, (City) for the date(s) specified below.

Organization Name BERKLEY AREA CHAMBER OF COMMERCE  
Address PO BOX 72-1253  
City BERKLEY State MI Zip 48072 Phone (b) (6)  
Event Name BERKLEY STREET ART TEST (BSAF)  
Event Location(s) COOLIDGE BETWEEN CATALPA & BEVERLY Event Date(s) JULY 12, 2025

To the fullest extent permitted by law, the Organization expressly agrees to indemnify and hold harmless the City of Berkley, its elected and appointed officials, its employees and volunteers and others working on behalf of the City, from and against all loss, cost, expense, damage, liability or claims (whether groundless or not) arising out of bodily injury, sickness or disease (including death resulting at any time there from) which may be sustained or claimed by any person or persons participating in the above named event.

This includes damage or destruction of any property (including loss of use) based on any act or omission (negligent or otherwise) of the Organization or anyone acting on its behalf in connection with or incidental to this agreement. The Organization shall, at its own cost and expense, defend any such claim and any suit, action, or proceeding which may be commenced hereunder. In the event of any suit, action or proceeding, the Organization shall pay:

- Any and all judgments which may be recovered.
- Any and all expenses, including, but not limited to, costs, attorneys' fees and settlement expenses which may be incurred.

The Organization shall not be responsible to the City on indemnity for damages caused by or resulting from the City's sole negligence.

Authorized Representative

DARLENE ROTHMAN  
(Please print)

Title

EXECUTIVE DIRECTOR

Signature

Darlene Rothman

Date

2-16-25

# CITY OF BERKLEY MICHIGAN

## TEMPORARY TRAFFIC CONTROL ORDER

(TCO NUMBER)

In accordance with the duly adopted Uniform Traffic Code for Cities, Townships, and Villages, the Traffic Engineer hereby issues the following Temporary Traffic Control Order.

Film Permit Applicant: Please provide the information requested in the shaded area. Submit this page with your application.

<b>PROJECT NAME:</b>	BERKLEY STREET ART FEST
<b>Location</b>	COOLIDGE BETWEEN CAPITALA & BEVERLY
<b>DATE/S/TIMES:</b>	JULY 12, 2025 OPEN TO PUBLIC 11am - 4pm SET UP 6AM TEAR DOWN COMPLETED BY 5PM ROAD CLOSURE 4AM - 7PM
<b>RESPONSIBLE PARTY:</b>	BERKLEY AREA CHAMBER OF COMMERCE
<b>Name:</b>	DARLENE ROTHMAN
<b>Street Address:</b>	PO BOX 72-1253
<b>City/State/ZIP:</b>	BERKLEY, MI 48072
<b>Contact Phone:</b>	(b) (6)
<b>Email address:</b>	DARLENE@BERKLEYCHAMBER.COM

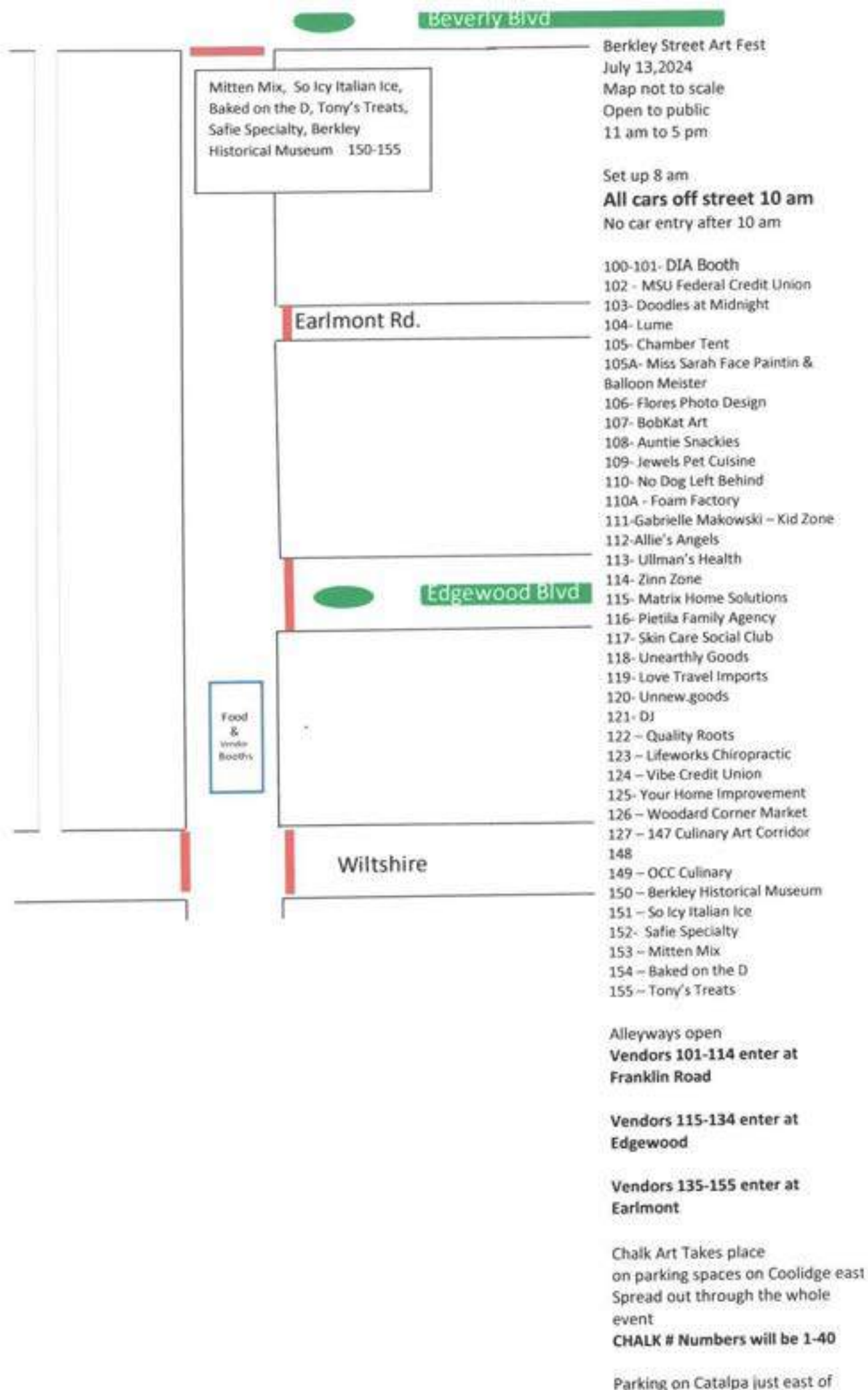
### For Official Use Only:

<b>Action required by City :</b>	
(Attach additional pages if needed)	

Approved by: (Print name and title below)	Signature:	Date:
Public Safety	M. L.	4-23-25
Public Works	Ad W.	4/23/25
Building Official	E. M.	4-23-25

\*\*Original - Traffic Control File

Return copy of completed form to City Clerk's Office







is d

Library

Vendors

Culinary  
Corridor w/  
Woodward  
Corners- 22  
booths  
127- 149  
OCC Sampling



Vibe, Quality Roots,  
Lifeworks Chiropractic,  
Your Home improvement  
122-125

DJ  
121

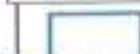
Matrix Home solutions.  
Pietila Agency, Skin  
Care Social Club,  
Unearthly Concoctions,  
Unnew Goods, Love  
Travel Imports

115-120

Wiltshire



Zinn Zone  
114



Ullman's, Allie's  
Angels 112-113



Kid Zone –  
Gabrielle  
Makowski 111



Franklin Rd.

Dog Adoption –  
No Dogs Left  
Behind 110

Parking lot @Nova –  
Bouncy, Foam Factory-  
110 A restrooms

Jorge – Photography BobKat Art,  
Auntie's Snackies, Jewels Pet  
Cuisine 106-109

Miss Sarah Face  
Painting, Balloon  
Meister - 105 A

Free Parking located  
across from High school  
HERE

nic Day  
Beer Tent

Chamber Booth 105

No





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/28/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	Eagle Rock Insurance Agency, Inc 1904 11 Mile Rd Berkley, MI 48072	CONTACT NAME: Susan Firman PHONE (A/C, No, Ext): (248)548-5530 E-MAIL: eaglerock@eaglerockinsurance.com ADDRESS: INSURER(S) AFFORDING COVERAGE: NAIC #:
INSURED	Berkley Chamber of Commerce PO Box 72-1253 Berkley, MI 48072	INSURER A: Home-Owners Insurance Company 26638 INSURER B: The Cincinnati Insurance Company 10677 INSURER C: INSURER D: INSURER E: INSURER F:

## COVERAGES

CERTIFICATE NUMBER: 00000595-0

REVISION NUMBER: 2

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADD'L SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		04353953	03/09/2025	03/09/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPROP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		04353953	03/09/2025	03/09/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N / A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	Directors & Officers		EMN 042 49 52	03/10/2023	03/10/2026	1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

## CERTIFICATE HOLDER

## CANCELLATION

Info

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Thomas Byars

(SGF)

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# **Berkley Area Chamber of Commerce** **Balance Sheet**

As of December 31, 2024

	Total
	As of Dec 31, 2024
<b>ASSETS</b>	
Current Assets	
Bank Accounts	
101000	
Flagstar Bank	43,278.63
101002	
Restricted Corpoto	2,025.00
Total	
101000	
Flagstar Bank	\$45,303.63
102000	
Petty Cash	(162.00)
Total	
Bank Accounts	\$45,141.63
Accounts Receivable	
120000	
Accounts Receivable	0.00
Total	
Accounts Receivable	0.00
Other Current Assets	
110000	
Undeposited Funds	155.00
Total	
Other Current Assets	\$155.00
Total	
Current Assets	\$45,296.63
<b>TOTAL ASSETS</b>	<b>\$45,296.63</b>
<b>LIABILITIES AND EQUITY</b>	
Liabilities	
Current Liabilities	
Accounts Payable	
200000	
Accounts Payable	0.00
Total	
Accounts Payable	\$0.00
Total	
Current Liabilities	\$0.00
Total	
Liabilities	\$0.00
Equity	



300000	
Opening	
Equity	0.00
301000	
Retained	
Earnings	46,321.77
310000	
Restricted	
Funds	2,025.00
Net	
Income	(\$3,050.14)
Total	
Equity	<b>\$45,296.63</b>
TOTAL	
LIABILITIES	
AND	
EQUITY	<b>\$45,296.63</b>



## Sales Tax License

Business Tax Section  
Michigan Department of Treasury  
P.O. Box 30427  
Lansing, MI 48909  
[www.michigan.gov/taxes](http://www.michigan.gov/taxes)

THE GREATER BERKLEY CHAMBER OF  
COMMERCE  
BERKLEY AREA CHAMBER OF COMMERCE  
2744 ELLWOOD AVE  
BERKLEY, MI 48072-3211

Notice Date:	November 18, 2023
Account Number:	38-2561920
Letter ID:	10039999671
Contact Us:	617-636-6925

Below is your Sales Tax License. The licensee is required to ensure the sales tax license is displayed or readily available on premises. Treasury will no longer be mailing multiple licenses for businesses with more than one location. To obtain another Sales Tax License and 24/7 access to your business information please visit [mto.treasury.michigan.gov](http://mto.treasury.michigan.gov).

The account number on the sales tax license is your business Federal Employer Identification Number (FEIN). If you do not have an FEIN, Treasury has assigned you a 9-character account number beginning with "TR".

You must notify the Michigan Department of Treasury of any changes to your business ownership, address or FEIN. To update any existing business information please visit Michigan Treasury Online (MTO) at [mto.treasury.michigan.gov](http://mto.treasury.michigan.gov).

Note: The expiration date for the sales tax license coincides with the calendar year it is issued for.

CUT ALONG THIS LINE

164 (Rev. 4-19)

STATE OF MICHIGAN

DEPARTMENT OF TREASURY

## Sales Tax License

THE GREATER BERKLEY CHAMBER OF  
COMMERCE  
BERKLEY AREA CHAMBER OF COMMERCE  
2744 ELLWOOD AVE  
BERKLEY, MI 48072-3211



Account Number: 38-2561920  
Expiration Date: December 31, 2024

Issued under authority of P.A. 167 of 1933, as amended.





Victoria Mitchell &lt;vmitchell@berkleymi.gov&gt;

---

## Additional Documentation

---

**Darlene Rothman** <darlene@berkeleychamber.com>  
To: Victoria Mitchell <vmitchell@berkleymi.gov>  
Cc: Darlene Rothman <berkeleychamber@gmail.com>

Tue, Apr 29, 2025 at 1:38 AM

Hi Victoria,

Please let me know if you need anything else.

1. Valid IRS Tax Exempt Verification - attached
2. Financial Report for the preceding fiscal year - attached
3. Proof of Commercial Liability Coverage - attached
4. Estimated Cost to execute the event - \$11,000

We are in contact with Casa Amado, who is going to apply for a special permit to have a Beer Tent on their property during Berkley Street Art Fest on July 12, 2025.

Darlene Rothman  
Executive Director, Berkley Area Chamber  
darlene@berkeleychamber.com

(b) (6)



---

--- On Tue, 22 Apr 2025 16:52:00 -0400 **Victoria Mitchell** <vmitchell@berkleymi.gov> wrote ---

[Quoted text hidden]

---

### 3 attachments

-  **Year end 2024 P and L financial report.xlsx**  
11K
-  **Berkley Chamber - Certificate 2025.pdf**  
215K
-  **Sales Tax License 2024.pdf**  
626K





City of Berkley

Temporary Use

Permit No: PTU25-0002

Building Department  
Phone: (248) 658-3320

3338 Coolidge  
Fax: (248) 658-3301

Berkley, MI 48072  
WWW.BERKLEYMICH.ORG

**3338 Coolidge Hwy**  
04-25-17-101-019  
Berkley

Brookline Hills  
48072 1690

Location

City Hall Building

Occupant

**Issued:** 02/18/2025

**Expires:** 07/13/2025

Berkley Area Chamber of Commerce

P.O. Box 72-1253

Berkley MI 48072

(b) (6)

Applicant

**Description:** Berkley Street Art Fest  
July 12, 2025 11am- 4pm  
Road Closure 4am-7pm

**Stipulations:**

Permit Item

Work Type

Community Event

Temporary Use

Failure to abide by the conditions of this permit shall result in immediate closure and violations issued.

The City reserves the right to alter any event if it finds that the event(s) are jeopardizing public safety.

I agree this permit is only for the work described, and does not grant permission for additional or related work which requires separate permits. I am responsible for assuring all required inspections are requested in conformance with the applicable code.

I hereby certify that the proposed work is authorized by the owner, and that I am authorized by the owner to make this application as his authorized agent. I agree to conform to all applicable laws of the State of Michigan and the local jurisdiction. All information on the permit application is accurate to the best of my knowledge.

May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to approve the "Berkley Art Bash" event on Saturday, June 14, 2025 from 10 a.m.-6 p.m. on 12 Mile Road for the Berkley Area Chamber of Commerce, P.O. Box 72-1253. Approval is conditional upon the submission of required items and documents prior to event dates.

Ayes:

Nays:

Absent:

Motion:



# MEMORANDUM

To: Mayor Dean and City Council  
From: Victoria Mitchell, City Clerk  
  
Date: *Monday, May 19, 2025*  
Subject: Berkley Art Bash

---

Madam Mayor and Members of City Council,

## Background

- The annual Berkley Art Bash is scheduled to take place Saturday, June 14, 2025 from 10 a.m.-6 p.m. It is a Berkley Area Chamber of Commerce event.
- The event will take place on 12 Mile Road, between Buckingham Avenue and Coolidge Highway.
- The event is managed and staffed by members of the Berkley Area Chamber of Commerce and volunteers.
- The majority of necessary documentation was submitted to the Clerk's Office, and a plan is in place to receive a certificate of liability insurance.
- A meeting took place with Berkley Area Chamber of Commerce Executive Director Darlene Rothman and appropriate City staff to review the event application. All of the necessary approvals were received by City staff.
- Berkley Area Chamber of Commerce Executive Director Darlene Rothman was advised that the cost for the event, due to the City, will be \$5,600. The cost is 40 percent of the estimated \$12,000 in Department of Public Services costs and \$2,000 in Public Safety costs.

## Summary

- The Berkley Art Bash Community Special Event Application is before you today for approval.
- The application and event plan received internal approval.
- The applicant is aware reimbursement in the amount of \$5,600 will be due to the City.

## Recommendation

Approval of the "Berkley Art Bash" event on Saturday, June 14, 2025 from 10 a.m.-6 p.m. on 12 Mile Road for the Berkley Area Chamber of Commerce, P.O. Box 72-1253. Approval is conditional upon the submission of required items and documents prior to event dates.





**CITY OF BERKLEY  
COMMUNITY SPECIAL EVENT  
PERMIT APPLICATION DISPOSITION CHECKLIST**

Event Name: BERKLEY ART BASH

Event Date(s) JUNE 14, 2025 Location(s) 12 MILE BETWEEN BUCKINGHAM & COOLIDGE Event Hours 10AM-6PM

**ORGANIZATION:**

Organization Name: <u>BERKLEY AREA CHAMBER OF COMMERCE</u>			
Headquarters Street Address: <u>PO BOX 72-1253</u>			
City: <u>BERKLEY</u>	State: <u>MI</u>	Zip Code: <u>48072</u>	(b) (6)
Website: <u>BERKLEYCHAMBER.COM</u>			

Tax Exempt Status (as defined by the US Internal Revenue Service):

Non-Profit ☒ 501(c)(3) ☐ N/A ☐ Other (specify) \_\_\_\_\_  
501(c)6

The following documents have been submitted:

Completed application	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Valid IRS tax exempt verification	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Financial report for the preceding fiscal year	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Proof of Commercial Liability Coverage	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Estimated cost to execute the solicitation / event	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Charitable Solicitation / Special Event Hold Harmless Agreement	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO

Application reviewed by: Public Safety NSK 4-23-25 Public Works Ad Wj  
Building Official EHS

Comments:

Presented to City Council:

Date: _____	Approved: _____ YES _____ NO	Organization Notified _____ YES _____ NO	Date _____
-------------	------------------------------	--	------------



City Clerk's Office  
3338 Coolidge Hwy.  
Berkley, MI 48072  
248-658-3300  
Fax: 248-658-3301  
www.berkleymich.org

Print Form

# CITY OF BERKLEY, MICHIGAN COMMUNITY SPECIAL EVENT APPLICATION

Name of Event: BERKLEY ART BASH

Organization / Contact: BERKLEY AREA

Name of Organization: CHAMBER OF COMMERCE Contact's Name: DARLENE ROTHMAN

Address: Box 72-1253 City: BERKLEY State/zip: MI 48072

Telephone: (b) (6) 24 Hour Emergency Contact: (b) (6) CELL

If event will be on private property owned by someone else, then a letter of permission from the property owner must be submitted with the application.

## Event Location:

If the event involves city streets or sidewalks, include a map showing the location.  
A petition from affected businesses may be required.

1/2 MILE RD BETWEEN COOLIDGE & BUCKINGHAM

Dates and Hours of Event: JUNE 14, 2025 10AM-6PM EVENT SET-UP 6AM-7:30PM TEAR DOWN 6PM-7:30PM  
ROAD CLOSURE 4AM-10PM

How many employees or volunteers? 2 EMPLOYEES, VOLUNTEERS 3-10 DEPENDENT ON TIME OF DAY MORE AT SETUP

How will site be secured during off-hours? NO OFF HOURS, STAFF & VOLUNTEERS DURING SETUP/TEAR DOWN AT CLOSING TO LET ARTISTS IN/OUT BARRICADES OPENING

What type of merchandise will be sold? ART, CRAFTS, JEWELRY, FOOD

If you are selling food, include a copy of your receipt from Oakland County Health Department. WE PROVIDE LIST OF FOOD VENDORS TO HEALTH DEPT BEFORE EVENT TO CONFIRM THEY'RE LICENSED

Will there be any electricity outside the building (e.g., extension cords, heaters, lights)?  
If yes, an electrical inspection by the City will be required after set up and before opening. NO

Include a Site Plan showing where merchandise will be sold, how pedestrian and vehicular traffic will circulate on the site.

What are your plans for set up and removal? EACH ARTIST RESPONSIBLE FOR THEIR SETUP & TEAR DOWN OF BOOTH. VOLUNTEERS OPEN & CLOSE BARRICADES TO LET ARTISTS

Tax Exempt Status (as defined by the US Internal Revenue Service): IN & OUT DURING SETUP/TEAR DOWN

Non-Profit ☒ 501.C3 ☐ Other (specify) ☐  
501C-6

## Include the following documents:

- ☐ Internal Revenue Service tax exempt documentation for the organization.
- ☐ Organization's financial report for the preceding fiscal year.
- ☐ Proof of Commercial Liability Coverage on an "occurrence basis", naming the City of Berkley as additional insured, with no less than \$1,000,000 per occurrence and/or combined single limit, Personal injury, Bodily injury, and Property Damage.
- ☐ Liquor Liability, \$500,000 per occurrence and \$500,000 aggregate. (if applicable)
- ☐ Special Event Hold Harmless Agreement signed by an authorized representative

By Ordinance, each Community Special Event is limited to a maximum of 7 days.

Applications must be received at least 45 days prior to the event. Events involving the public right of way will require City Council approval. I understand that a representative of the organization will need to attend the City Council meeting. The City will notify me of the meeting date and time.

An application will be denied or an event shut down if complete and accurate information is not provided.

Darlene Rothman  
Signature of Applicant

2-16-25  
Date

## APPROVALS

DEPARTMENT	Approve (YES/NO)	Signature	Date
Planning/Building	yes	<i>E. H. S.</i>	4-23-25
Comments:			
Public Safety	yes	<i>m. K.</i>	4-23-25
Comments:			
Notify SMART, ambulance, and waste collection of any road closures.			
Public Works:	Yes	<i>Ad Wgi</i>	4/23/25
Comments:			
Parks/Recreation			
Comments:			
City Clerk	Yes	<i>Victoria Mitchell</i>	4-29-25
Comments:			
City Manager			
Comments:			

### For City Use Only:

Date Application Received 2-18-25

Permit

Receipt Number

PTU 25-0001

Received	Receipt Number	Date Received
Application Fee (\$200.00) <input checked="" type="checkbox"/>		2-18-25 <span style="border: 1px solid black; border-radius: 50%; padding: 2px;">DL</span>
Clean-up Bond (\$400.00) <input type="checkbox"/>		
Fee Waived <input type="checkbox"/>	City Manager's approval required	

City Manager's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

#### IF APPLICABLE:

Motion Number:

Conditions (if any):

Is fee to be reimbursed?





# CITY OF BERKLEY COMMUNITY SPECIAL EVENT HOLD HARMLESS AGREEMENT

This Hold Harmless Agreement is between BERKLEY AREA CHAMBER OF COMMERCE (the Organization) and the City of Berkley, Michigan, (City) for the date(s) specified below.

Organization Name BERKLEY AREA CHAMBER OF COMMERCE  
Address PO BOX 72-1253  
City BERKLEY State MI Zip 48072 Phone (b) (6)  
Event Name BERKLEY ART BASH  
Event Location(s) 12 MILE, BETWEEN COOLIDGE & BUCKINGHAM Event Date(s) JUNE 14, 2025

To the fullest extent permitted by law, the Organization expressly agrees to indemnify and hold harmless the City of Berkley, its elected and appointed officials, its employees and volunteers and others working on behalf of the City, from and against all loss, cost, expense, damage, liability or claims (whether groundless or not) arising out of bodily injury, sickness or disease (including death resulting at any time there from) which may be sustained or claimed by any person or persons participating in the above named event.

This includes damage or destruction of any property (including loss of use) based on any act or omission (negligent or otherwise) of the Organization or anyone acting on its behalf in connection with or incidental to this agreement. The Organization shall, at its own cost and expense, defend any such claim and any suit, action, or proceeding which may be commenced hereunder. In the event of any suit, action or proceeding, the Organization shall pay:

- Any and all judgments which may be recovered.
- Any and all expenses, including, but not limited to, costs, attorneys' fees and settlement expenses which may be incurred.

The Organization shall not be responsible to the City on indemnity for damages caused by or resulting from the City's sole negligence.

Authorized Representative DARLENE ROFFMAN Title EXECUTIVE DIRECTOR  
(Please print)  
Signature Darlene Rothman Date 2-16-25

**CITY OF BERKLEY MICHIGAN**  
**TEMPORARY TRAFFIC CONTROL ORDER**

(TCO NUMBER)

In accordance with the duly adopted Uniform Traffic Code for Cities, Townships, and Villages, the Traffic Engineer hereby issues the following Temporary Traffic Control Order.

Film Permit Applicant: Please provide the information requested in the shaded area. Submit this page with your application.

<b>PROJECT NAME:</b>	BERKLEY ART BASH
<b>Location</b>	12 MILE RD, BETWEEN BUKKINGHAM & COOLIDGE
<b>DATE/S/TIMES:</b>	JUNE 14, 2025 ROAD CLOSURE 4am - 10pm
<b>RESPONSIBLE PARTY:</b>	BERKLEY AREA CHAMBER OF COMMERCE
<b>Name:</b>	DARLENE ROTHMAN
<b>Street Address:</b>	PO BOX 72 - 1253
<b>City/State/ZIP:</b>	BERKLEY, MI 48072
<b>Contact Phone:</b>	(b) (6)
<b>Email address:</b>	DARLENE@BERKLEYCHAMBER.COM

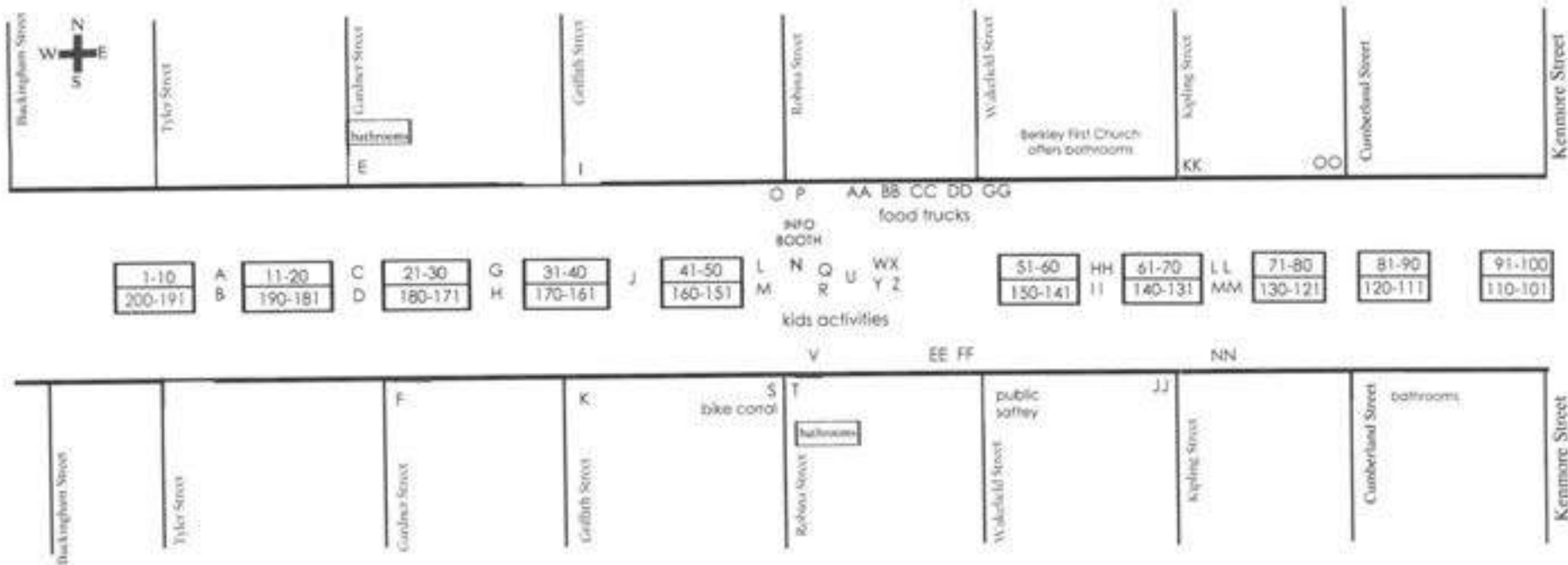
**For Official Use Only:**

<b>Action required by City :</b>	
(Attach additional pages if needed)	

Approved by: (Print name and title below)	Signature:	Date:
Public Safety	M. L.	4-23-25
Public Works	Ad W. J.	4/23/25
Building Official	E. N. S.	4-23-25

**\*\*Original - Traffic Control File**

Return copy of completed form to City Clerk's Office



\* Artists - Please park on side streets and leave main parking lot spaces open for your customers who are coming and going throughout the day  
DO NOT PARK ON THE SIDES OF THE STREETS DESIGNATED AS FIRE LANES  
YOU WILL BE TICKETED

## berkeley art baSH Site Layout 2024

For directions - enter this address into Google Maps: 3117 W 12 Mile Berkeley MI 48072

Note - Map is for artist layout purposes & is not drawn to scale





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/28/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	Eagle Rock Insurance Agency, Inc 1904 11 Mile Rd Berkley, MI 48072	CONTACT NAME: Susan Firman PHONE (A/C, No, Ext): (248)548-5530 E-MAIL: eaglerock@eaglerockinsurance.com ADDRESS:	FAX (A/C, No): INSURER(S) AFFORDING COVERAGE	NAIC #
INSURED	Berkley Chamber of Commerce PO Box 72-1253 Berkley, MI 48072	INSURER A: Home-Owners Insurance Company INSURER B: The Cincinnati Insurance Company INSURER C: INSURER D: INSURER E: INSURER F:	26638 10677	

## COVERAGES

CERTIFICATE NUMBER: 00000595-0

REVISION NUMBER: 2

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADOL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		04353953	03/09/2025	03/09/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ex occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPROP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		04353953	03/09/2025	03/09/2026	COMBINED SINGLE LIMIT (Ex accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/ MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y/N <input type="checkbox"/> N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	Directors & Officers		EMN 042 49 52	03/10/2023	03/10/2026	1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 191, Additional Remarks Schedule, may be attached if more space is required)

## CERTIFICATE HOLDER

## CANCELLATION

Info

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Thomas Byars

(SGF)

© 1988-2015 ACORD CORPORATION. All rights reserved.



## Sales Tax License

Business Tax Section  
Michigan Department of Treasury  
P.O. Box 30427  
Lansing, MI 48909  
[www.michigan.gov/taxes](http://www.michigan.gov/taxes)

THE GREATER BERKLEY CHAMBER OF  
COMMERCE  
BERKLEY AREA CHAMBER OF COMMERCE  
2744 ELLWOOD AVE  
BERKLEY, MI 48072-3211

Notice Date:	November 18, 2023
Account Number:	38-2561920
Letter ID:	10039999671
Contact Us:	517-636-6925

Below is your Sales Tax License. The licensee is required to ensure the sales tax license is displayed or readily available on premises. Treasury will no longer be mailing multiple licenses for businesses with more than one location. To obtain another Sales Tax License and 24/7 access to your business information please visit [mto.treasury.michigan.gov](http://mto.treasury.michigan.gov).

The account number on the sales tax license is your business Federal Employer Identification Number (FEIN). If you do not have an FEIN, Treasury has assigned you a 9-character account number beginning with "TR".

You must notify the Michigan Department of Treasury of any changes to your business ownership, address or FEIN. To update any existing business information please visit Michigan Treasury Online (MTO) at [mto.treasury.michigan.gov](http://mto.treasury.michigan.gov).

Note: The expiration date for the sales tax license coincides with the calendar year it is issued for.

CUT ALONG THIS LINE

164 (Rev. 4-19)

STATE OF MICHIGAN

DEPARTMENT OF TREASURY

## Sales Tax License

THE GREATER BERKLEY CHAMBER OF  
COMMERCE  
BERKLEY AREA CHAMBER OF COMMERCE  
2744 ELLWOOD AVE  
BERKLEY, MI 48072-3211



Account Number: 38-2561920  
Expiration Date: December 31, 2024

Issued under authority of P.A. 167 of 1933, as amended.



# **Berkley Area Chamber of Commerce Balance Sheet**

As of December 31, 2024

	Total
	As of Dec 31, 2024
<b>ASSETS</b>	
Current Assets	
Bank Accounts	
101000	
Flagstar Bank	43,278.63
101002	
Restricted Compoto	2,025.00
Total	
101000	
Flagstar Bank	\$45,303.63
102000	
Petty Cash	(162.00)
Total	
Bank Accounts	\$45,141.63
Accounts Receivable	
120000	
Accounts Receivable	0.00
Total	
Accounts Receivable	0.00
Other Current Assets	
110000	
Undeposited Funds	155.00
Total	
Other Current Assets	\$155.00
Total Current Assets	\$45,296.63
<b>TOTAL ASSETS</b>	<b>\$45,296.63</b>
<b>LIABILITIES AND EQUITY</b>	
Liabilities	
Current Liabilities	
Accounts Payable	
200000	
Accounts Payable	0.00
Total	
Accounts Payable	\$0.00
Total	
Current Liabilities	\$0.00
Total	
Liabilities	\$0.00
Equity	



300000	
Opening	
Equity	0.00
301000	
Retained	
Earnings	46,321.77
310000	
Restricted	
Funds	2,025.00
Net	
Income	(\$3,050.14)
Total	
Equity	<b>\$45,296.63</b>
TOTAL	
LIABILITIES	
AND	
EQUITY	<b>\$45,296.63</b>



Victoria Mitchell &lt;vmitchell@berkeleymi.gov&gt;

---

## Additional Documentation

---

**Darlene Rothman** <darlene@berkeleychamber.com>  
To: Victoria Mitchell <vmitchell@berkeleymi.gov>  
Cc: Darlene Rothman <berkeleychamber@gmail.com>

Tue, Apr 29, 2025 at 1:38 AM

Hi Victoria,

Please let me know if you need anything else.

1. Valid IRS Tax Exempt Verification - attached
2. Financial Report for the preceding fiscal year - attached
3. Proof of Commercial Liability Coverage - attached
4. Estimated Cost to execute the event - \$11,000

We are in contact with Casa Amado, who is going to apply for a special permit to have a Beer Tent on their property during Berkley Street Art Fest on July 12, 2025.

Darlene Rothman  
Executive Director, Berkley Area Chamber  
darlene@berkeleychamber.com

(b) (6)


---


--- On Tue, 22 Apr 2025 16:52:00 -0400 **Victoria Mitchell** <vmitchell@berkeleymi.gov> wrote ---

[Quoted text hidden]

---

### 3 attachments

 **Year end 2024 P and L financial report.xlsx**  
11K

 **Berkley Chamber - Certificate 2025.pdf**  
215K

 **Sales Tax License 2024.pdf**  
626K



City of Berkley

Temporary Use

Permit No: PTU25-0001

Building Department

3338 Coolidge

Berkley, MI 48072

Phone: (248) 658-3320

Fax: (248) 658-3301

WWW.BERKLEYMICH.ORG

3338 Coolidge Hwy

Location

04-25-17-101-019

Brookline Hills

Berkley

48072 1690

City Hall Building

Occupant

Issued: 02/18/2025

Expires: 06/15/2025

Berkley Area Chamber of Commerce

Applicant

P.O. Box 72-1253

Berkley MI 48072

(b) (6)

Description: Berkley Art Bash  
June 14, 2025- 10am to 6pm  
Road Closure 4am to 10pm

Stipulations:

Permit Item

Work Type

Community Event

Temporary Use

Failure to abide by the conditions of this permit shall result in immediate closure and violations issued.

The City reserves the right to alter any event if it finds that the event(s) are jeopardizing public safety.

I agree this permit is only for the work described, and does not grant permission for additional or related work which requires separate permits. I am responsible for assuring all required inspections are requested in conformance with the applicable code.

I hereby certify that the proposed work is authorized by the owner, and that I am authorized by the owner to make this application as his authorized agent. I agree to conform to all applicable laws of the State of Michigan and the local jurisdiction. All information on the permit application is accurate to the best of my knowledge.



May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to approve a Downtown Development Authority (DDA) event, "Berkley Pride Block Party" on Robina south of 12 Mile Road, on Gardner south of 12 Mile Road, and in the Municipal Parking Lot located between those two roads, on Sunday, June 22, 2025 from 1 to 5 pm. Approval is conditional upon the submission of required items and documents prior to the event date.

Ayes:

Nays:

Absent:

Motion:



# MEMORANDUM

To: Mayor Dean and City Council  
From: Victoria Mitchell, City Clerk  
  
Date: *Monday, May 19, 2025*  
Subject: Berkley Pride Block Party

---

Madam Mayor and Members of City Council,

## Background

- The annual Downtown Development Authority (DDA) Berkley Pride Block Party is scheduled to take place Sunday, June 22, 2025 from 1-5 p.m. This is the fourth year for the event.
- The event will take place on Robina Avenue, south of 12 Mile Road; Griffith Avenue, south of 12 Mile Road; and the Municipal Parking Lot between Robina and Griffith, south of 12 Mile Road.
- The event is managed and staffed by members of the Downtown Development Authority and volunteers.
- The majority of necessary documentation was submitted to the Clerk's Office, and a plan is in place to receive a certificate of liability insurance.
- A meeting took place with Interim DDA Executive Director Jennifer Finney and appropriate City staff to review the event application. All of the necessary approvals were received by City staff.
- Interim DDA Executive Director Jennifer Finney was advised that the cost for the event, due to the City, will be \$1,560. The cost is 40 percent of the estimated \$3,000 in Department of Public Services costs and \$900 in Public Safety costs.

## Summary

- The Berkley Pride Block Party Community Special Event Application is before you today for approval.
- The application and event plan received internal approval.
- The applicant is aware reimbursement in the amount of \$1,560 will be due to the City.

## Recommendation

Approval of a Downtown Development Authority (DDA) event, "Berkley Pride Block Party" on Robina south of 12 Mile Road, on Gardner south of 12 Mile Road, and in the Municipal Parking Lot located between those two roads, on Sunday, June 22, 2025 from 1 to 5 p.m. Approval is conditional upon the submission of required items and documents prior to the event date.



# CITY OF BERKLEY COMMUNITY SPECIAL EVENT PERMIT APPLICATION DISPOSITION CHECKLIST

Event Name: BERKLEY PRIDE BLOCK PARTY

Event Date(s): JUNE 22, 2025 Location(s): LOBNA, SOUTH OF 2 MILE RD  
BENEFITH, SOUTH OF 2 MILE RD  
MUNICIPAL PARKING LOT BETWEEN THOSE TWO ROADS Event Hours: 1:00 - 5:00 PM

### ORGANIZATION:

Organization Name: <u>BERKLEY DOWNTOWN DEVELOPMENT AUTHORITY</u>			
Headquarters Street Address: <u>3338 COULDBE HWY</u>			
City: <u>BERKLEY</u>	State: <u>MI</u>	Zip Code: <u>48072</u>	Phone: <u>(b) (6)</u>
Website: <u>WWW.DOWNTOWNBERKLEY.COM</u>			

Tax Exempt Status (as defined by the US Internal Revenue Service):

Non-Profit ☐ 501(c)(3) ☐ N/A ☐ Other (specify) PUBLIC AUTHORITY

The following documents have been submitted:

Completed application	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Valid IRS tax exempt verification	<input type="checkbox"/> YES <input type="checkbox"/> NO
Financial report for the preceding fiscal year	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Proof of Commercial Liability Coverage	<input type="checkbox"/> YES <input type="checkbox"/> NO
Estimated cost to execute the solicitation / event	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Charitable Solicitation / Special Event Noid Harmless Agreement	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

Application reviewed by: Public Safety M. H. 5-1520 Public Works \_\_\_\_\_

Building Official EMS 5/12/25

Comments:

Presented to City Council:

Date:

Approved:

☐ YES ☐ NO

Organization Notified

☐ YES ☐ NO

Date



Print Form



City Clerk's Office  
3338 Coolidge Hwy.  
Berkley, MI 48072  
248-658-3300  
Fax: 248-658-3301  
www.berkleymich.org

## CITY OF BERKLEY, MICHIGAN COMMUNITY SPECIAL EVENT APPLICATION

Name of Event: BERKLEY PRIDE BLOCK PARTY

### Organization / Contact:

Name of Organization: BERKLEY DOWNTOWN DEVELOPMENT AUTHORITY Contact's Name: JENNIFER FINNEY  
Address: 3338 COOLIDGE City: BERKLEY State/zip: MI, 48072  
Telephone: (b) (6) 24 Hour Emergency Contact: \_\_\_\_\_

If event will be on private property owned by someone else, then a letter of permission from the property owner must be submitted with the application.

Event Location: SOUTH ROBINIA, BETWEEN SOUTH GRIFFITH AND MUNICIPAL LOT BETWEEN TWO ROADS

If the event involves city streets or sidewalks, include a map showing the location.  
A petition from affected businesses may be required.

Dates and Hours of Event: JUNE 22, 2025 1:00-5:00 PM

How many employees or volunteers? 1 EMPLOYEE, 42 VOLUNTEERS

How will site be secured during off-hours? NO SETUP OR MATERIALS WILL REMAIN BEYOND THE EVENT'S SAME DAY

What type of merchandise will be sold? BRANDED "BERKLEY PRIDE" SHIRTS AND HATS

If you are selling food, include a copy of your receipt from Oakland County Health Department. N/A

Will there be any electricity outside the building (e.g., extension cords, heaters, lights)?  
If yes, an electrical inspection by the City will be required after set up and before opening. YES (DJ BOOTH)

Include a Site Plan showing where merchandise will be sold, how pedestrian and vehicular traffic will circulate on the site.

What are your plans for set up and removal? HANDLED BY DDA EMPLOYEE AND VOLUNTEERS, SAME DAY OF EVENT

Tax Exempt Status (as defined by the US Internal Revenue Service):

Non-Profit ☐ 501.C3 ☐ Other (specify) ☒ PUBLIC AUTHORITY

Include the following documents:

- ☐ Internal Revenue Service tax exempt documentation for the organization.
- ☐ Organization's financial report for the preceding fiscal year.
- ☐ Proof of Commercial Liability Coverage on an "occurrence basis", naming the City of Berkley as additional insured, with no less than \$1,000,000 per occurrence and/or combined single limit, Personal Injury, Bodily Injury, and Property Damage.
- ☐ Liquor Liability, \$500,000 per occurrence and \$500,000 aggregate. (if applicable)
- ☒ Special Event Hold Harmless Agreement signed by an authorized representative

By Ordinance, each Community Special Event is limited to a maximum of 7 days.

Applications must be received at least 45 days prior to the event. Events involving the public right of way will require City Council approval. I understand that a representative of the organization will need to attend the City Council meeting. The City will notify me of the meeting date and time.

An application will be denied or an event shut down if complete and accurate information is not provided.

[Signature]  
Signature of Applicant

5/7/25  
Date



**APPROVALS**

DEPARTMENT	Approve (YES/NO)	Signature	Date
Planning/Building	yes	E. [Signature]	5/12/25
Comments:			
Public Safety	yes	Mrs. [Signature]	5-15-25
Comments:			
Notify SMART, ambulance, and waste collection of any road closures.			
Public Works			
Comments:			
Parks/Recreation			
Comments:			
City Clerk	yes	V. [Signature]	5/12/25
Comments:			
City Manager			
Comments:			

**For City Use Only:**

Date Application Received	Receipt Number	
Received	Receipt Number	Date Received
Application Fee (\$299.00) <input type="checkbox"/>		
Clean up Bond (\$100.00) <input type="checkbox"/>		
Fee Waived <input type="checkbox"/>	City Manager's approval required	

City Manager's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

IF APPLICABLE:

Motion Number: \_\_\_\_\_

Conditions (if any): \_\_\_\_\_

Is fee to be reimbursed? \_\_\_\_\_





# CITY OF BERKLEY COMMUNITY SPECIAL EVENT HOLD HARMLESS AGREEMENT

This Hold Harmless Agreement is between BERKLEY D.D.A., (the Organization) and the City of Berkley, Michigan, (City) for the date(s) specified below.

Organization Name BERKLEY DOWNTOWN DEVELOPMENT AUTHORITY  
 Address 3338 COCLIDGE HWY  
 City BERKLEY State MI Zip 48072 Phone (b) (6)  
 Event Name BERKLEY PRIDE BLOCK PARTY  
 Event Location(s) PARINA, SOUTH OF 12 MILE RD Event Date(s) JUNE 23 2025  
GRIFFITH, SOUTH OF 12 MILE RD  
MUNICIPAL LOT BETWEEN THOSE STREETS

To the fullest extent permitted by law, the Organization expressly agrees to indemnify and hold harmless the City of Berkley, its elected and appointed officials, its employees and volunteers and others working on behalf of the City, from and against all loss, cost, expense, damage, liability or claims (whether groundless or not) arising out of bodily injury, sickness or disease (including death resulting at any time there from) which may be sustained or claimed by any person or persons participating in the above named event.

This includes damage or destruction of any property (including loss of use) based on any act or omission (negligent or otherwise) of the Organization or anyone acting on its behalf in connection with or incidental to this agreement. The Organization shall, at its own cost and expense, defend any such claim and any suit, action, or proceeding which may be commenced hereunder. In the event of any suit, action or proceeding, the Organization shall pay:

- Any and all judgments which may be recovered.
- Any and all expenses, including, but not limited to, costs, attorneys' fees and settlement expenses which may be incurred.

The Organization shall not be responsible to the City on indemnity for damages caused by or resulting from the City's sole negligence.

Authorized Representative JENNIFER FINNEY  
 (Please print)

Title INTERIM EXECUTIVE DIRECTOR

Signature [Signature]

Date 5/7/25



# CITY OF BERKLEY MICHIGAN

## TEMPORARY TRAFFIC CONTROL ORDER

(TCO NUMBER)

In accordance with the duly adopted Uniform Traffic Code for Cities, Townships, and Villages, the Traffic Engineer hereby issues the following Temporary Traffic Control Order.


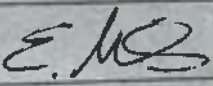
**Firm Permit Applicant:** Please provide the information requested in the shaded area. Submit this page with your application.

<b>PROJECT NAME:</b>	BERKLEY PRIDE BLOCK PARTY
<b>Location</b>	ROXANA, SOUTH OF R MILE RD, GRIFITH, SOUTH OF R MILE RD
<b>DATE/S/TIMES:</b>	JUNE 22, 2025 1:00-5:00 PM
<b>RESPONSIBLE PARTY:</b>	BERKLEY DOWNTOWN DEVELOPMENT AUTHORITY
<b>Name:</b>	JENNIFER FINNEY
<b>Street Address:</b>	3328 COOLIDGE HWY
<b>City/State/ZIP:</b>	BERKLEY, MI, 48072
<b>Contact Phone:</b>	(b) (6)
<b>Email address:</b>	JFINNEY@BERKLEYMI.GOV

MINOR LOT  
BETWEEN  
TWO  
ROADS

### For Official Use Only:

<b>Action required by City:</b> (Attach additional pages if needed)	
--	--

Approved by: (Print name and title below)	Signature:	Date:
Public Safety		5/15/25
Public Works		
Building Official		5/12/25

**\*\*Original - Traffic Control File**

Return copy of completed form to City Clerk's Office

**Berkley Downtown Development Authority  
Berkley Pride Block Party**

**Sunday, June 22, 2025  
1:00 to 5:00 PM**

**Location: Robina Avenue, south of 12 Mile Road; Griffith Avenue, south of 12 Mile Road; the municipal parking lot located between Robina and Griffith Avenues south of 12 Mile Road**

(pending municipal approval)

**Objective:** Continue our expanded Downtown Berkley promotional events calendar and build upon the momentum of our Downtown Block Party Series; Draw further interest and activity to the 12 Mile and Robina business cluster and infuse foot traffic for downtown businesses on an otherwise slower Sunday; Leverage the latest downtown murals and public space enhancements at Robina; Stimulate additional exposure of the unique experiences and shopping opportunities offered in dynamic Downtown Berkley; Bring the Berkley community together during Pride month; Build on the first three years' successful Berkley Pride Block Party offerings.

Estimated Budget: \$6,500

**Costs to Cover Include:**

- Paid Social Media Marketing and Promotional Efforts
- Printed Posters, Flyers, and Promotional Materials
- Downtown Berkley Promotional Items for Distribution
- 'Card My Yard' BERKLEY PRIDE Temporary Signage and Photo Stations
- Decor to Enhance the Robina and Griffith Streetscapes
- Arts and Craft Station Supplies
- Face Painting Station Materials
- Anticipated Stipend for Musical DJ Service
- Promotional Shirts for Downtown Berkley Volunteers
- Additional Insurance Policy Coverage

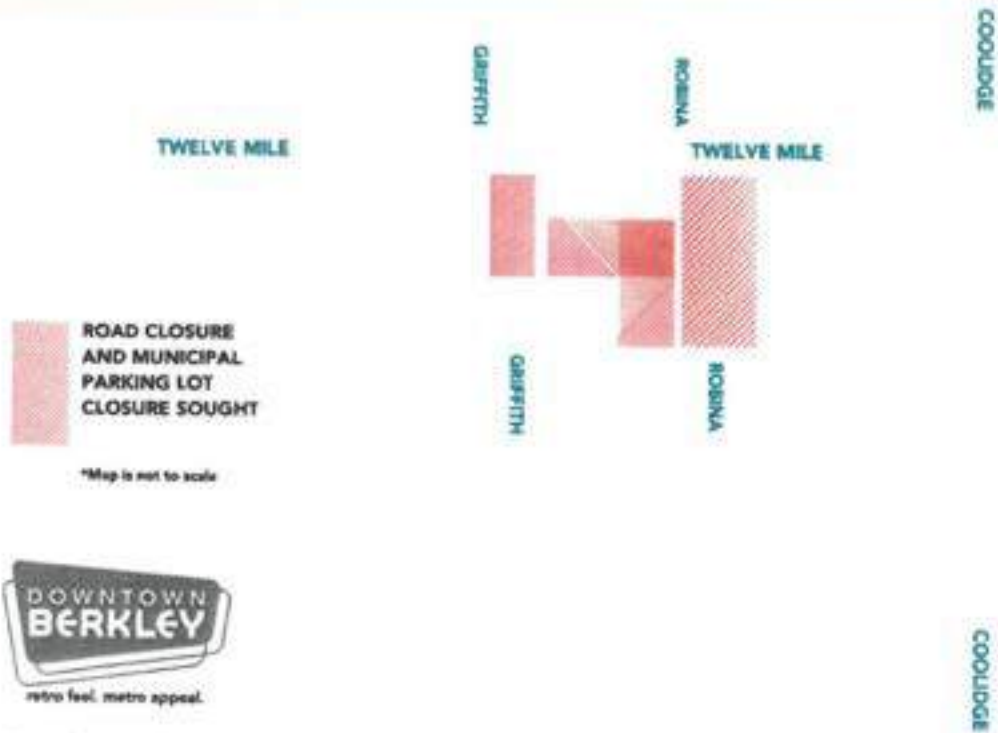
# Berkley Pride Block Party 2025 Layout

DOWNTOWN BERKLEY RETAILERS AND DINING





# Berkley Pride Block Party 2025 Layout



Brought to you by your Berkley Downtown Development Authority

GL NUMBER	DESCRIPTION	2024-25 ANNUED BUDGET	YTD BALANCE 04/30/2025 NORMAL (ABNORMAL)	ACTIVITY FOR MONTH 04/30/2025 INCREASE (DECREASE)	AVAILABLE BALANCE NORMAL (ABNORMAL)	BUDGET USED
Fund 248 - DOWNTOWN DEVELOPMENT AUTHORITY						
Revenues						
Dept 001 - REVENUES						
248-001-402-000	PROPERTY TAXES	34,000.00	34,286.82	0.00	1,713.18	95.24
248-001-402-001	PROPERTY TAX CAPTURE - DDA	388,000.00	440,538.92	0.00	(52,538.92)	113.54
248-001-402-850	PPT - CURRENT YR DEL	0.00	0.00	0.00	0.00	0.00
248-001-402-990	PROPERTY TAXES - CHARGEBACKS	0.00	0.00	0.00	0.00	0.00
248-001-445-000	INTEREST AND PENALTIES ON TAXES	0.00	0.00	0.00	0.00	0.00
248-001-445-001	INTEREST ON TAXES-FINAL SETTLEMENT	0.00	0.00	0.00	0.00	0.00
248-001-539-010	STATE GRANTS	10,000.00	0.00	0.00	10,000.00	0.00
248-001-549-010	STATE REIMBURSEMENTS - PPT	0.00	0.00	0.00	0.00	0.00
248-001-573-000	LOCAL COMMUNITY STABILIZATION SHARE-PPT	0.00	0.00	0.00	0.00	0.00
248-001-565-000	INVESTMENT EARNINGS (LOSSES)	10,234.00	0.00	0.00	10,234.00	0.00
248-001-670-000	REIMBURSEMENTS	0.00	0.00	0.00	0.00	0.00
248-001-672-001	SUNDRY REVENUE	0.00	0.00	0.00	0.00	0.00
248-001-674-005	MERCHANDISE REVENUE	5,000.00	0.00	0.00	5,000.00	0.00
248-001-675-000	CONTRIBUTIONS	0.00	0.00	0.00	0.00	0.00
248-001-675-001	BANNER DONATIONS	0.00	0.00	0.00	0.00	0.00
248-001-675-002	FUND RAISING	0.00	0.00	0.00	0.00	0.00
248-001-675-004	T-SHIRT SALES	0.00	0.00	0.00	0.00	0.00
248-001-675-005	CORPORATE DONATIONS	0.00	0.00	0.00	0.00	0.00
248-001-675-117	COOPERATIVE ADVERTISING INCOME	0.00	0.00	0.00	0.00	0.00
248-001-675-814	EVENT SPONSORSHIPS/FEES	10,000.00	620.00	0.00	9,380.00	6.20
248-001-699-248	TRANSFER IN FROM 815 DDA	0.00	0.00	0.00	0.00	0.00
Total Dept 001 - REVENUES		459,234.00	475,445.74	0.00	(16,211.74)	103.53
TOTAL REVENUES		459,234.00	475,445.74	0.00	(16,211.74)	103.53
Expenditures						
Dept 252 - ACTIVE EMPLOYEE BENEFITS						
248-252-716-000	DENTAL/VISION/LIFE-LTD/RHCS	3,738.00	2,712.06	0.00	1,025.94	72.55
248-252-716-500	HEALTH CARE COSTS - BC/RS	16,224.00	0.00	0.00	16,224.00	0.00
248-252-718-000	RETIREMENT-DB MERS	25,948.00	21,622.80	2,162.28	4,325.20	83.33
Total Dept 252 - ACTIVE EMPLOYEE BENEFITS		45,910.00	24,334.86	2,162.28	21,575.14	53.01
Dept 265 - CITYWIDE PROJECTS						
248-265-921-100	TRIBUNAL/BOARD OF REVIEW TAX EXPENSE	0.00	0.00	0.00	0.00	0.00
Total Dept 265 - CITYWIDE PROJECTS		0.00	0.00	0.00	0.00	0.00
Dept 267 - FACILITIES						
248-267-931-001	BUILDING MAINTENANCE - MARQUEE	0.00	0.00	0.00	0.00	0.00
Total Dept 267 - FACILITIES		0.00	0.00	0.00	0.00	0.00
Dept 722 - DDA OPERATIONS						
248-722-726-260	INTERNAL SRVC - LABOR & ADMIN	20,000.00	15,000.00	0.00	5,000.00	75.00
248-722-730-000	POSTAGE-PRINTING-MAILING	300.00	147.00	1.00	153.00	49.00
248-722-731-000	BOOKS / PERIODICALS	0.00	0.00	0.00	0.00	0.00
248-722-758-000	PROGRAM SUPPLIES	0.00	0.00	0.00	0.00	0.00
248-722-803-000	MEMBERSHIPS AND GUES	1,100.00	902.00	375.00	198.00	82.00

GL NUMBER	DESCRIPTION	2024-25	YTD BALANCE	ACTIVITY FOR	AVAILABLE
		AMENDED BUDGET	04/30/2025	MONTH 04/30/2025	
NORMAL (ABNORMAL)					
INCREASE (DECREASE)					
FUND 248 - DOWNTOWN DEVELOPMENT AUTHORITY					
Expenditures					
248-722-807-000	AUDIT SERVICES	2,200.00	2,200.00	0.00	0.00
248-722-817-000	CONSULTANT	0.00	0.00	0.00	0.00
248-722-818-205	SECRETARIAL SERVICES	1,800.00	1,400.00	150.00	400.00
248-722-824-000	LEGAL SERVICES	0.00	0.00	0.00	0.00
248-722-825-000	CITY ATTORNEY	0.00	0.00	0.00	0.00
248-722-853-000	TELEPHONE	600.00	404.91	40.50	195.09
248-722-864-000	MEETINGS & CONFERENCES	0.00	0.00	0.00	0.00
248-722-865-000	DOWNTOWN BERKELEY PARTNERS NON PROFIT	0.00	0.00	0.00	0.00
248-722-866-000	SUBSCRIPTION SERVICES	300.00	0.00	0.00	300.00
248-722-904-000	PRINTING	300.00	0.00	0.00	300.00
248-722-914-000	LIABILITY INSURANCE	0.00	0.00	0.00	0.00
248-722-921-100	TRIBUNAL/BOARD OF REVIEW TAX EXPENSE	0.00	0.00	0.00	0.00
Total Dept 722 - DOA OPERATIONS		26,600.00	20,053.91	566.50	6,546.09
75.39					
Dept 724 - SPECIAL EVENTS					
248-724-706-000	DPW WORKERS	3,000.00	1,646.53	0.00	1,353.47
248-724-709-000	OVERTIME	0.00	689.31	0.00	(689.31)
248-724-712-000	IN LIEU	0.00	0.00	0.00	0.00
248-724-715-000	FICA	0.00	177.31	0.00	(177.31)
248-724-716-000	DENTAL/VISION/LIFE-LTD/RHCS	0.00	0.00	0.00	0.00
248-724-718-000	RETIREMENT-DB MERS	0.00	0.00	0.00	0.00
248-724-723-000	SICK LEAVE	0.00	0.00	0.00	0.00
248-724-729-000	STATIONARY	0.00	0.00	0.00	0.00
248-724-758-000	PROGRAM SUPPLIES	0.00	0.00	0.00	0.00
248-724-758-001	BOOKLEY SEASON	17,000.00	17,941.11	0.00	(941.11)
248-724-814-000	WEB SITE MAINTENANCE	0.00	0.00	0.00	0.00
248-724-817-004	DDA - EVENTS	45,000.00	14,031.28	0.00	30,968.72
248-724-817-005	DDA - MEDIA	0.00	0.00	0.00	0.00
248-724-817-009	MERRIMOTH	0.00	0.00	0.00	0.00
248-724-817-010	LADIES NIGHT OUT	0.00	0.00	0.00	0.00
248-724-817-011	DOWNTOWN SUMMER CONCERTS	0.00	0.00	0.00	0.00
248-724-817-012	ART BASH	0.00	0.00	0.00	0.00
248-724-817-013	STREET ART FEST	0.00	0.00	0.00	0.00
248-724-817-014	OAKLAND COUNTY IRISH FEST	0.00	0.00	0.00	0.00
248-724-817-015	HOLIDAY LIGHTS	40,000.00	51,310.49	0.00	(11,310.49)
248-724-817-016	ART & ABOUT	0.00	0.00	0.00	0.00
248-724-817-017	HOLIDAY LIGHTS PARADE	0.00	0.00	0.00	0.00
248-724-818-000	CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00
248-724-829-000	TROLLEY	0.00	0.00	0.00	0.00
248-724-901-000	ADVERTISING	0.00	0.00	0.00	0.00
248-724-940-000	EQUIPMENT RENTAL	8,000.00	7,119.70	0.00	880.30
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111,310.49					
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GL MINOR	DESCRIPTION	2024-25		YTD BALANCE		ACTIVITY FOR		AVAILABLE	
		AMENDED BUDGET	NORMAL (ABNORMAL)	04/30/2025	NORMAL (ABNORMAL)	MONTH 04/30/2025	INCREASE (DECREASE)	BALANCE	BDOG USED
Fund 248 - DOWNTOWN DEVELOPMENT AUTHORITY									
Expenditures									
Total Dept 726 - MARKETING AND ADVERTISING		71,500.00		59,015.49		6,036.00		12,484.51	82.54
Dept 727 - MARKET DEVELOPMENT									
248-727-329-000	STATIONARY	0.00		0.00		0.00		0.00	0.00
248-727-730-000	POSTAGE-PRINTING-MAILING	0.00		0.00		0.00		0.00	0.00
248-727-758-000	PROGRAM SUPPLIES	0.00		0.00		0.00		0.00	0.00
248-727-817-000	CONSULTANT	0.00		0.00		0.00		0.00	0.00
248-727-817-001	CONSULTANT-FACADE GRANTS	0.00		0.00		0.00		0.00	0.00
248-727-817-002	MERCHANDISE EXPENDITURES	0.00		0.00		0.00		0.00	0.00
248-727-817-003	BANNERS	0.00		0.00		0.00		0.00	0.00
248-727-817-006	FARMERS MARKET - CONSULTANT	0.00		0.00		0.00		0.00	0.00
248-727-817-007	FARMERS MARKET - PROGRAM EXPENSES	0.00		0.00		0.00		0.00	0.00
248-727-972-100	FACADE GRANT INCENTIVE PROGRAM	0.00		0.00		0.00		0.00	0.00
Total Dept 727 - MARKET DEVELOPMENT		0.00		0.00		0.00		0.00	0.00
Dept 729 - STREETSCAPE & DESIGN									
248-729-758-010	BANNERS	0.00		0.00		0.00		0.00	0.00
248-729-818-000	CONTRACTUAL SERVICES	0.00		0.00		0.00		0.00	0.00
248-729-818-101	BERKLEY PLAZA PROJECT	0.00		0.00		0.00		0.00	0.00
248-729-818-200	FLOWER BASKET PROGRAM	56,000.00		55,557.30		0.00		442.70	99.21
248-729-818-201	PUBLIC ART/PLACEMAKING	34,000.00		28,091.45		0.00		5,908.55	82.62
248-729-818-202	DESIGN GUIDELINES	0.00		0.00		0.00		0.00	0.00
248-729-818-203	MARKET ANALYSIS	0.00		0.00		0.00		0.00	0.00
248-729-818-205	SECRETARIAL SERVICES	0.00		0.00		0.00		0.00	0.00
248-729-818-206	DOWNTOWN PLAN	0.00		0.00		0.00		0.00	0.00
248-729-818-207	PEST CONTROL	500.00		630.00		0.00		(130.00)	126.00
248-729-818-208	MURAL/WINDOW ART PROGRAM	0.00		0.00		0.00		0.00	0.00
248-729-931-001	BUILDING MAINTENANCE - MARQUEE	0.00		0.00		0.00		0.00	0.00
248-729-972-100	FACADE GRANT INCENTIVE PROGRAM	15,000.00		3,678.50		0.00		11,321.50	24.52
248-729-974-301	BERKLEY HIGH GARDEN CLUB	0.00		0.00		0.00		0.00	0.00
Total Dept 729 - STREETSCAPE & DESIGN		105,500.00		87,957.25		0.00		17,542.75	83.37
Dept 730 - BUSINESS DEVELOPMENT									
248-730-814-002	BUSINESS DATABASE CRM	0.00		0.00		0.00		0.00	0.00
248-730-818-203	MARKET ANALYSIS	0.00		0.00		0.00		0.00	0.00
248-730-818-204	BUSINESS RECRUITMENT	0.00		0.00		0.00		0.00	0.00
248-730-960-100	BUSINESS SUPPORT/TRAINING	0.00		0.00		0.00		0.00	0.00
248-730-960-110	QUARTERLY MERCHANT MEETINGS	0.00		0.00		0.00		0.00	0.00
Total Dept 730 - BUSINESS DEVELOPMENT		0.00		0.00		0.00		0.00	0.00
Dept 740 - BDA ADMINISTRATION									
248-740-704-000	FULL TIME EMPLOYEES	81,954.00		59,506.62		0.00		22,447.38	72.61
248-740-707-000	PART TIME EMPLOYEES	0.00		6,460.80		2,739.30		(6,460.80)	100.00
248-740-709-000	OVERTIME	0.00		0.00		0.00		0.00	0.00
248-740-715-000	FICA	6,270.00		5,006.71		211.09		1,263.29	79.85
248-740-725-000	WORKERS COMPENSATION	336.00		295.17		0.00		40.83	87.85
248-740-728-000	OFFICE SUPPLIES	464.00		0.00		0.00		464.00	0.00
248-740-814-001	WEBSITE	0.00		0.00		0.00		0.00	0.00

PERIOD ENDING 04/30/2025

GL NUMBER	DESCRIPTION	2024-25	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	04/30/2025 NORMAL (ABNORMAL)	MONTH 04/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 248 - DOWNTOWN DEVELOPMENT AUTHORITY						
Expenditures						
248-740-817-008	BOARD TRAININGS	0.00	0.00	0.00	0.00	0.00
248-740-818-000	CONTRACTUAL	0.00	0.00	0.00	0.00	0.00
248-740-940-000	EQUIPMENT RENTAL	0.00	0.00	0.00	0.00	0.00
248-740-946-001	OFFICE SPACE RENTAL	0.00	0.00	0.00	0.00	0.00
248-740-960-000	PROFESSIONAL DEVELOPMENT	2,700.00	365.95	0.00	2,334.05	13.55
Total Dept 740 - DDA ADMINISTRATION		91,724.00	71,635.25	2,970.39	20,088.75	78.10
Dept 902 - PUBLIC IMPROVEMENT						
248-902-821-001	ENGINEERING - ROBINA PROJECT	0.00	0.00	0.00	0.00	0.00
248-902-972-200	STREETScape IMPROVEMENTS	60,000.00	72,297.86	0.00	(12,297.86)	120.50
248-902-972-300	SIDEWALK REPAIR	0.00	0.00	0.00	0.00	0.00
248-902-972-500	WAYFINDING	10,000.00	0.00	0.00	10,000.00	0.00
248-902-972-600	BANNERS POLE REPLACEMENT	0.00	0.00	0.00	0.00	0.00
248-902-972-700	BERKLEY PLAZA PROJECT	0.00	0.00	0.00	0.00	0.00
248-902-974-300	COMPLETE STREETS	0.00	0.00	0.00	0.00	0.00
248-902-976-738	BUILDING IMPROVEMENTS - LIBRARY	0.00	0.00	0.00	0.00	0.00
Total Dept 902 - PUBLIC IMPROVEMENT		70,000.00	72,297.86	0.00	(2,297.86)	103.28
Dept 966 - OTHER FINANCING USES-TRANSFERS OUT						
248-966-995-100	TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00
Total Dept 966 - OTHER FINANCING USES-TRANSFERS OUT		0.00	0.00	0.00	0.00	0.00
TOTAL EXPENDITURES		524,234.00	428,210.35	11,735.17	96,023.65	81.68
Fund 248 - DOWNTOWN DEVELOPMENT AUTHORITY:						
TOTAL REVENUES		459,234.00	475,445.74	0.00	(16,211.74)	103.53
TOTAL EXPENDITURES		524,234.00	428,210.35	11,735.17	96,023.65	81.68
NET OF REVENUES & EXPENDITURES		(65,000.00)	47,235.39	(11,735.17)	(112,235.39)	72.67

Fund 248 DOWNTOWN DEVELOPMENT AUTHORITY

GL Number	Description	Balance
*** Assets ***		
248-000-001-000	CASH IN BANK	375,807.24
248-000-004-000	CASH - IMPREST PAYROLL	(79,334.71)
248-000-005-000	PETTY CASH	300.00
248-000-026-000	DELINQUENT PPT RECEIVABLE	(807.50)
Total Assets		295,965.03
*** Liabilities ***		
248-000-202-001	ACCOUNTS PAYABLE - MANUAL	39,097.10
Total Liabilities		39,097.10
*** Fund Balance ***		
248-000-390-000	FUND BALANCE	209,632.54
Total Fund Balance		209,632.54
Beginning Fund Balance		209,632.54
Net of Revenues VS Expenditures		47,235.39
Ending Fund Balance		256,867.93
Total Liabilities And Fund Balance		295,965.03



# DOWNTOWN BERKLEY 2025 EVENTS!



retro feel. metro appeal.

Record Store Day at Flipside Records\*  
Leia's Day Out + Free Comic Book Day  
Memorial Day Ceremony\*  
Farmers Markets: Singing In The Sun  
Berkley Art Bash\*  
Berkley Pride Block Party  
Farmers Markets: Dog Days of Summer  
Berkley Street Art Fest\*  
Ladies Night Out  
Farmers Markets: Back to School Fun  
Berkley CruiseFest\*  
Farmers Markets: Fall Fun

## BOO!KLEY 2025

Skeleton Decorating Sign-Up  
Skeletons Pick-Up & Drop-Off  
DIY Skeleton Decorating Party  
Historical Museum Cemetery Walk\*  
Berkley Chamber's Pub Crawl\*  
Farmers Markets: BOO!KLEY Edition  
Witches Night Out  
Ghost Chase  
Trick or Treat Stroll  
Monster Mash Block Party

## MerriMonth 2025

Small Business Saturday  
Merry & Bright Shopping Nights  
Holiday Lights Parade\*  
Santa Claus at the Gazebo\*  
Jolly Trolley Family Shopping Fun  
Santa Claus at the Library

April 12  
May 3  
May 26  
June 5, 12, 19, 26  
June 14  
June 22  
July 10, 17, 24, 31  
July 12  
August 7  
August 7, 14, 21, 28  
August 15  
Sept. 4, 11, 18, 25

## BOO!KLEY

August  
Sept. 4, 11, 18, 25  
October 5  
Fall 2025  
Fall 2025  
October 2, 9  
October 9  
October 17  
October 25  
October 25

## MerriMonth

November 29  
December 4, 11, 18  
December 2025  
December 2025  
December 2025  
December 2025

## VISIT [DOWNTOWNBERKLEY.COM](https://downtownberkley.com) FOR INFO!

\* Listed events with asterisks are amazing, happening in our downtown, and supported by our DDA, but are organized by other organizations or volunteers. Thank you to our many downtown partners! More events may join the roster as the year progresses, of course, and we'd love your help bringing them to life! We're grateful to the community volunteers whose support makes these activities possible.

# MEMORANDUM

To: Mayor Dean and City Council  
From: Carl Johnson, Finance Director  
  
Date: *May 19, 2025*  
Subject: Public Hearing

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Madam Mayor and Members of City Council,

## **Background**

The State of Michigan through PA 43 of 1963 and PA 5 of 1982 require a public hearing be held to specifically receive public input on the proposed budget and proposed millage rates to be levied in the budget.

## **Summary**

- The City Manager prepared a proposed budget which was made available to the Mayor, City Council and the public on April 21, 2025 which included proposed millage rates
- April 21, 2024 the Mayor and City Council set a public hearing date of May 19, 2025 to discuss the proposed budget and related millage rates
- April 28 and April 29, 2024 budget workshops were conducted with the Mayor and City Council to discuss in detail the proposed budget
- The changes recommended by the Mayor and City Council at the budget workshop have been incorporated into the final recommended budget
- The overall millage for city operating millages dropped from 15.6443 to 15.4622 specifically due to the “Headlee” millage reduction factor of .9861
- The overall millage for the DDA operating millage dropped from 1.8014 to 1.7763 specifically due to the “Headlee” millage reduction factor of .9861

## **Recommendation**

A public hearing should be held specifically to receive public input on the final proposed budget and applicable millage rates.

**A RESOLUTION**  
**OF THE CITY COUNCIL OF THE CITY OF BERKLEY, MICHIGAN**  
**APPROVING THE 2025/2026 THROUGH 2030/2031**  
**CAPITAL IMPROVMENTS PLAN OF THE CITY OF BERKLEY, MICHIGAN**

**WHEREAS:** Michigan Compiled Law (MCL) Section 125.3865 requires that a Planning Commission annually prepare a capital improvements program for the ensuing six (6) years, which program shall show those public structures and improvements, in general order of priority, which in the Commission's judgment will be needed or desirable and can be undertaken within a six (6) year period; and

**WHEREAS:** City of Berkley staff has developed a six (6) year program based upon the requirements of the City of Berkley highlighting those public structures and improvements in general order of priority including time tables and costs; and

**WHEREAS:** The proposed Capital Improvement Plan amounts to a total of \$46,276,543 for fiscal year 2025/2026 through fiscal year 2030/2031 with \$6,200,700 of capital improvements being appropriated in 2025/2026 across all City operating funds and component units.

**WHEREAS:** The Planning Commission recommended the proposed Capital Improvements Plan to the City Council at their April 22, 2025, Planning Commission meeting.

**NOW THEREFORE BE IT RESOLVED:**

**SECTION 1:** The Berkley City Council hereby approves the 2025/2026 through 2030/2031 Capital Improvements Plan in the amount of \$46,276,543

Introduced and Passed at a regular City Council Meeting on Monday, May 19, 2025.

\_\_\_\_\_  
Bridget Dean, Mayor

Attest:

\_\_\_\_\_  
Victoria Mitchell, City Clerk



# MEMORANDUM

To: Mayor Dean and City Council  
From: Carl Johnson, Finance Director  
  
Date: *May 19, 2025*  
Subject: Six-Year Capital Improvement Program (CIP)

---

Madam Mayor and Members of City Council,

## **Background**

The Planning and Enabling Act of the State of Michigan requires the City to prepare and approve a six-year CIP plan as part of the annual budget.

## **Summary**

- The six-year CIP plan included in the June 30, 2025 budget was updated for the fiscal year June 30, 2026 budget and was incorporated into the proposed budget dated April 21, 2025 (attached)
- The items included in the updated CIP plan were discussed at the budget study sessions with the mayor and city council on April 28 and 29, 2025
- The CIP plan was submitted to the planning commission and discussed at their meeting on April 22, 2025
- The items in the CIP plan for the fiscal year 2025/2026 are all incorporated into the proposed budget
- The City has discussed at all the above meetings that based on the current financial projections many of the items proposed in the CIP plan listed in future years may not be possible to complete but are needed

## **Recommendation**

Approval of the six-year CIP for the fiscal years 2025/2026 through 2030/2031 totaling \$46,276,543.



City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
1	790-000 LIBRARY	101-267-976-271	Library - Study Room Buildout (Qty: 2)	101 - General Fund	\$ 41,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 41,200
2	751-000 PARKS & REC ADMINISTRATION	208-267-976-208	Comm1 - Concession Stand remodel (including bathrooms, heating & cooling) <i>(pending final decision - repurpose of parking lot grant of \$150k)</i>	208 - Recreation Revolving Fund	\$ 111,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 111,200
3	751-000 PARKS & REC ADMINISTRATION	208-267-976-208	Community Center Restrooms <i>(pending final decision - repurpose of parking lot grant of \$150k)</i>	208 - Recreation Revolving Fund	\$ 55,900	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 55,900
4	267-000 FACILITIES	101-267-976-101	Access Control Cameras	101 - General Fund	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000
5	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Polaris Emergency Response Vehicle	101 - General Fund	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
6	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000
7	536-000 WATER & SEWER SERVICE	592-536-982-000	Concrete Repair	592 - Water Sewer Fund	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,200,000
8	536-000 WATER & SEWER SERVICE	592-536-975-000	Lead Service Replacement Program (was Lead Service Line Replacements)	592 - Water Sewer Fund	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 6,000,000
9	536-000 WATER & SEWER SERVICE	592-902-971-150	Sewer Lining Program (was "Annual Sewer Lining Program")	592 - Water Sewer Fund	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 3,600,000
10	464-000 STREET MAINT OPERATIONS	202-464-975-100	Bacon Ave (12 Mile to Catalpa) - Water Main and Paving Project - Phase 1	202 - Major Street Fund	\$ 1,968,000	\$ 103,000	\$ -	\$ -	\$ -	\$ -	\$ 2,071,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ 1,363,900	\$ 2,439,100	\$ -	\$ -	\$ -	\$ -	\$ 3,803,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ 789,800	\$ -	\$ -	\$ -	\$ -	\$ 789,800
11	536-000 WATER & SEWER SERVICE	592-536-986-000	My Neptune 360 Portal Software	592 - Water Sewer Fund	\$ 16,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16,000
12	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Ball Field Mowing Equipment	101 - General Fund	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,000
13	528-000 SOLID WASTE SERVICES	226-528-982-000	Equipment - Brush Chipper	226 - Solid Waste	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
14	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Building Official/Pool Vehicle	101 - General Fund	\$ 32,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 32,000
15	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Neptune R900 v4e Gateway	592 - Water Sewer Fund	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
16	441-000 PUBLIC WORKS	592-536-985-000	Vehicle - 3/4 Ton Pickup and Equipment Replacement #3	592 - Water Sewer Fund	\$ 69,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 69,000
17	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Arrowboard	101 - General Fund	\$ 6,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,500
18	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Landscape Trailer	101 - General Fund	\$ 7,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,000
19	536-000 WATER & SEWER SERVICE	592-536-982-592	Water Meter Replacements	592 - Water Sewer Fund	\$ 295,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 1,970,000
20	464-000 STREET MAINT OPERATIONS	202-464-982-000	Equipment - 4 Ton Asphalt Trailer Replacement	202 - Major Street Fund	\$ -	\$ 52,000	\$ -	\$ -	\$ -	\$ -	\$ 52,000
21	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Interdepartmental Pool Vehicle (replacement)	101 - General Fund	\$ -	\$ 33,000	\$ -	\$ -	\$ -	\$ -	\$ 33,000
22	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Mini Excavator and Related Attachments (replacement)	592 - Water Sewer Fund	\$ -	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ 200,000
23	443-000 PUBLIC WORKS GARAGE	101-441-982-000	Equipment - Mobile Column Lift (Qty - 2)	101 - General Fund	\$ -	\$ 30,000	\$ -	\$ -	\$ -	\$ -	\$ 30,000
24	536-000 WATER & SEWER SERVICE	592-536-985-000	Vehicle - 3/4 Ton Pickup and Equipment Replacement #11	592 - Water Sewer Fund	\$ -	\$ 71,000	\$ -	\$ -	\$ -	\$ -	\$ 71,000



City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
25	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - 3/4 Ton Pickup and Equipment Replacement #2	101 - General Fund	\$ -	\$ 71,000	\$ -	\$ -	\$ -	\$ -	\$ 71,000
26	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Concrete Cutting Road Saw and Trailer (replacement)	592 - Water Sewer Fund	\$ -	\$ 90,000	\$ -	\$ -	\$ -	\$ -	\$ 90,000
27	536-000 WATER & SEWER SERVICE	592-536-985-000	Vehicle - Utilimaster Walk In Van (replacement)	592 - Water Sewer Fund	\$ -	\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ 300,000
28	441-000 PUBLIC WORKS	101-441-982-000	Equipment - John Deere UTV (replacement)	101 - General Fund	\$ -	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000
29	528-000 SOLID WASTE SERVICES	202-464-982-000	Equipment - Large Brush Chipper (replacement)	202 - Major Street Fund	\$ -	\$ 65,000	\$ -	\$ -	\$ -	\$ -	\$ 65,000
30	528-000 SOLID WASTE SERVICES	226-528-982-000	Equipment - Leaf Vacuum Trailer/Body (replacement)	226 - Solid Waste	\$ -	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000
31	751-000 PARKS & REC ADMINISTRATION	208-751-971-150	Bacon Park - Drainage	208 - Recreation Revolving Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
32	751-000 PARKS & REC ADMINISTRATION	208-751-971-150	Community Tennis Courts - Tennis Court Replacement & Gate Addition	208 - Recreation Revolving Fund	\$ -	\$ 40,000	\$ 60,000	\$ -	\$ -	\$ -	\$ 100,000
33	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
34	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
35	901-000 CAPITAL PROJECTS	445-901-985-000	Vehicle - Fire Engine Replacement	445 - Public Improvements Fund	\$ -	\$ 300,000	\$ 800,000	\$ -	\$ -	\$ -	\$ 1,100,000
36	267-000 FACILITIES	101-267-976-271	Library - Carpet	101 - General Fund	\$ -	\$ 140,000	\$ -	\$ -	\$ -	\$ -	\$ 140,000
37	901-000 CAPITAL PROJECTS	809-901-975-001	Sidewalk Replacements	809 - Sidewalks	\$ -	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 2,000,000
38	464-000 STREET MAINT OPERATIONS	202-464-975-100	Harvard Rd (Coolidge to Cass) * - Water Main and Paving Project - Phase 2, Division 1 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ 140,000	\$ -	\$ -	\$ -	\$ 140,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ 1,611,000	\$ 750,000	\$ -	\$ -	\$ 2,361,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ 1,249,000	\$ -	\$ -	\$ -	\$ 1,249,000
39	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Rubber Tire Backhoe and Attachments (replacement)	592 - Water Sewer Fund	\$ -		\$ 185,000	\$ -	\$ -	\$ -	\$ 185,000
40	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - F-550 Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ 175,000	\$ -	\$ -	\$ -	\$ 175,000
41	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Rubber Tire Loader (replacement)	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 225,000	\$ -	\$ -	\$ 225,000
42	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Zero Turn Mower (replacement)	101 - General Fund	\$ -	\$ -	\$ 22,000	\$ -	\$ -	\$ -	\$ 22,000
43	345-000 PUBLIC SAFETY OPERATIONS	101-267-976-345	Public Safety - Carports	101 - General Fund	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
44	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ 88,000	\$ -	\$ -	\$ -	\$ 88,000
45	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ 88,000	\$ -	\$ -	\$ -	\$ 88,000
46	464-000 STREET MAINT OPERATIONS	202-464-975-100	Harvard Rd (Coolidge to Cass) * - Water Main and Paving Project- Phase 2, Division 2 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ 150,000	\$ 160,000	\$ -	\$ 310,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ 910,000	\$ 1,340,000	\$ -	\$ 2,250,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 1,190,000	\$ -	\$ -	\$ 1,190,000
47	751-000 PARKS & REC		Oxford Park - Drainage	101 - General Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000





City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
48	ADMINISTRATION	208-751-971-150	Oxford Park - Drainage	208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
49	751-000 PARKS & REC ADMINISTRATION		Angell Park - Tennis Court Replacement & Gate Addition	101 - General Fund	\$ -	\$ -	\$ -	\$ 37,500	\$ -	\$ -	\$ 37,500
50				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 37,500	\$ -	\$ -	\$ 37,500
51	751-000 PARKS & REC ADMINISTRATION		Lazenby Field - Netting	101 - General Fund	\$ -	\$ -	\$ -	\$ 5,000	\$ -	\$ -	\$ 5,000
52				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 10,000	\$ -	\$ -	\$ 10,000
53	751-000 PARKS & REC ADMINISTRATION		Community Fields - Fence	101 - General Fund	\$ -	\$ -	\$ -	\$ 77,250	\$ -	\$ -	\$ 77,250
54	536-000 WATER & SEWER SERVICE		Underground Fuel Tank Replacement - DPW	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
55	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Tandem Axle Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ -		\$ 295,000	\$ -	\$ 295,000
56	441-000 PUBLIC WORKS	592-536-982-592	Equipment - Telehandler (Replacement - 2002)	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 200,000	\$ -	\$ -	\$ 200,000
57	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - F-550 Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ -	\$ 190,000	\$ -	\$ -	\$ 190,000
58	441-000 PUBLIC WORKS	592-536-985-000	Vehicle - Transit Meter Van #1	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
59	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Tandem Hook Truck (replacement - 2019)	101 - General Fund	\$ -	\$ -	\$ -	\$ 280,000	\$ -	\$ -	\$ 280,000
60	441-000 PUBLIC WORKS	101-267-976-441	Generator - DPW	101 - General Fund	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ 100,000
61	345-000 PUBLIC SAFETY OPERATIONS	101-267-976-345	Public Safety - Lockerooms	101 - General Fund	\$ -	\$ -		\$ 180,000	\$ -	\$ -	\$ 180,000
62	267-000 FACILITIES	101-267-976-271	Library Entrance Doors	101 - General Fund	\$ -	\$ -	\$ -	\$ 65,000	\$ -	\$ -	\$ 65,000
63	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ 99,704	\$ -	\$ -	\$ 99,704
64	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ 99,704	\$ -	\$ -	\$ 99,704
65	430-000 ANIMAL CONTROL	101-430-985-000	Vehicle - ACO FORD F150 Super Crew Pickup	101 - General Fund	\$ -	\$ -	\$ -	\$ 103,455	\$ -	\$ -	\$ 103,455
66	464-000 STREET MAINT OPERATIONS	202-464-975-100	Wakefield (12 Mile to Webster) * - WaterMain and Paving Project- Phase 3, Division 1 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000	\$ 2,250,000	\$ 3,750,000
67	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 106,480	\$ -	\$ 106,480
68	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 106,480	\$ -	\$ 106,480
69	464-000 STREET MAINT OPERATIONS	202-464-975-100	Wakefield (12 Mile to Webster) * - WaterMain and Paving Project- Phase 3, Division 2 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 750,000	\$ 750,000
70	MULTIPLE DEPARTMENTS		Light Poles at ALL Parks	208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000	\$ 1,000,000



City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
71	MULTIPLE DEPARTMENTS		Oxford Park - Pavilion/Concrete Pad and Shade	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 82,500	\$ 82,500
72				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 82,500	\$ 82,500
73	845-000 RECREATION CLASSES		Oxford Park - Walking Trails	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
74				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
75	751-000 PARKS & REC ADMINISTRATION		Community Center - Parking Lot <i>Offset by grant \$150k (if not repurposed to Comm Center bathrooms)</i>	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450,000	\$ 450,000
76	MULTIPLE DEPARTMENTS		Dorthea Public Plaza <i>(to be offset by grant)</i>	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,040,172	\$ 1,040,172
77	464-000 STREET MAINT OPERATIONS	101-267-976-441	Salt Dome Replacement	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000	\$ 1,000,000
78	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -		\$ 117,125	\$ 117,125
79	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 117,125	\$ 117,125
80	267-000 FACILITIES	101-267-976-101	City Hall Façade Upgrades	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
81	267-000 FACILITIES	101-267-931-101	City Hall HVAC improvements	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 846,548	\$ 846,548
82	MULTIPLE DEPARTMENTS		Cummings Parking Lot	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 894,900	\$ 894,900
83	751-000 PARKS & REC ADMINISTRATION		Kiwanis Tot Lot - Play Equipment and Soft Surfacing	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
84				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
					\$ 6,200,700	\$ 7,618,900	\$ 7,028,000	\$ 7,970,113	\$ 6,042,960	\$ 11,415,870	\$ 46,276,543

**A RESOLUTION**  
**OF THE CITY COUNCIL OF THE CITY OF BERKLEY**  
**ESTABLISHING A RESIDENTIAL AND COMMERCIAL SERVICE FEES FOR**  
**THE COLLECTION AND DISPOSAL OF SOLID WASTE**  
**EFFECTIVE JULY 1, 2025**

- WHEREAS,** The City of Berkley provides a broad range of residential and commercial services in the area of solid waste collection, recycle and disposal; and
- WHEREAS,** The Southeastern Oakland County Resource Recovery Authority (SOCRRA) is establishing a single stream recycling program; and
- WHEREAS:** The City of Berkley contracts with a third-party vendor in the area of residential and commercial solid waste collection, recycle and disposal via membership in SOCRRA, and
- WHEREAS,** The cost to the City of providing solid waste services has diminished its ability to keep pace with expenses in other areas of city services, and threatens the ability of the city to continue these services which contribute to the quality of life of persons living here, and
- WHEREAS,** This resolution updates fees adopted by resolution no. R-15-24 as approved by the Berkley City Council on May 20, 2024.

**NOW, THEREFORE, THE CITY OF BERKLEY RESOLVES:**

- SECTION 1:** An annual residential solid waste collection and disposal fee of \$68.84 per year, per residential dwelling unit in the City is hereby established.
- SECTION 2:** The fee herein established shall be collected in quarterly installments of \$17.21 which the City Manager be and hereby is, authorized and directed to cause to appear on the water billing of each residence as each is issued. The same penalty shall apply to unpaid balances of the service fee as apply to unpaid water bills.
- SECTION 3:** The fee shall be collected from all residential dwelling units in the city which receive refuse collection and disposal services through the city and its appointed contractors with the exception of those multiple dwelling unit locations which currently are, or in the future may be billed as commercial accounts.
- SECTION 4:** An annual commercial solid waste collection and disposal fee is hereby established.
- SECTION 5:** All units labeled a commercial or industrial business or multiple dwelling units in the City of Berkley will be billed for a commercial service from the City. The City shall charge the following rates per month:

Level of Service	Collection Interval	Monthly Fee
Hand Stop Only	Once Weekly	\$20.60
Up to 2cy Dumpster	Once Weekly	\$41.05
Up to 2cy Dumpster	Twice Weekly	\$82.10

- SECTION 6:** The fee herein established shall be collected in quarterly installments which the City Manager be and hereby is, authorized and directed to cause to appear on the water billing of each commercial or industrial parcel as each is issued. The same penalty shall apply to unpaid balances of the service fee as apply to unpaid water bills.



**SECTION 7:** The annual residential and commercial solid waste collection and disposal service fee shall take effect July 1, 2025 and shall end June 30, 2026 unless readopted, extended or revised by resolution of the Council.

**SECTION 8:** If total revenues from fees significantly exceed revenue requirements of the Solid Waste Fund it shall be applied to a future year total fee requirement and the cost to residents and commercial customers reduced accordingly.

Introduced and Passed at the City Council Meeting held on Monday, May 19, 2025.

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Bridget Dean, Mayor

Attest:

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Victoria Mitchell, City Clerk



# MEMORANDUM

To: Mayor Dean and City Council  
From: Carl Johnson, Finance Director  
Date: *May 19, 2025*  
Subject: Residential and Commercial Service Fee for Solid Waste Collections and Disposal

---

Madam Mayor and Members of City Council,

## Background

The current service fee established by City Council for residential and commercial collection and disposal of solid waste in December 2023 is set to expire on June 30, 2024. The service fee requires a resolution to be readopted, extended or revised.

## Summary

- The fiscal year 2024/25 adopted recommended no change in either the residential and commercial solid waste service fees through June 30, 2025
- The proposed budget estimates an increase in overall third-party disposal costs of 3%
- The proposed budget for fiscal year 2025/26 **does not propose any increase in the current solid waste service fees**
- The current service fees continue to be needed over and above the citywide property tax millage to cover the projected annual costs of the Solid Waste Fund
- The proposed service fee is set only for the period July 1, 2025 through June 30, 2026 and will require a resolution from council to continue and can also be amended at anytime using the same method

## Recommendation

Approval of the attached resolution setting the residential and commercial service fees for solid waste collection and disposal at the same level currently in place for the period July 1, 2025 through June 30, 2026.

**A RESOLUTION**  
**OF THE COUNCIL OF THE CITY OF BERKLEY, MICHIGAN**  
**SETTING THE CHARGES FOR WATER AND SEWER SERVICES**  
**EFFECTIVE JULY 1, 2025**

- WHEREAS,** City Council has determined that, in order to provide safe, adequate water to the users of the system, and to assure safe transportation and treatment of sewage discharged into the system by all users of the system, the system must receive sufficient total annual revenue to ensure the proper operation and maintenance of the system, the development and perpetuation of the system, and the preservation of the financial integrity of the system. The city council has also determined that the system shall be self-sustaining, supported solely by the revenues of the system and not dependent upon the property tax payers of the city. To meet those ends, City Council shall fix the rates and charges to be imposed on all users of each component of the system in accordance with the principles and standards set forth in the Berkley City Code; and
- WHEREAS,** the purpose of water and sewer rates is to produce sufficient revenues each year to pay the costs of water and sewer service utilized by the rate payers of the city. The city council has found that annual revenues and expenditures of the system can fluctuate substantially from year to year. City council has determined that, in order to provide adequate, but not excessive, annual adjustments in revenue levels in a timely manner, the city shall develop the estimated costs of service and shall base rates each year on those estimated costs; and
- WHEREAS,** City Council has received a cost of service study commissioned for the purpose to establish or confirm the current and future cost of providing water, sanitary sewer, and storm water disposal based upon guidelines consistent with the tests for distinguishing a fee from a tax prescribed by the decision in Bolt v City of Lansing; and
- WHEREAS,** City Council wishes to revise current water rates both to continue to provide sufficient revenue for the water fund and to meet the guidelines prescribed in the Bolt v City of Lansing, decision in a manner consistent with the recommendations of the cost of service study; and
- WHEREAS,** Charges established pursuant to Sections 126-18, 19, 68, and 70 of the Berkley City Code have been addressed in other resolutions adopted by City Council.

**NOW, THEREFORE, THE CITY OF BERKLEY RESOLVES:**

**Section 1.00:** That pursuant to the Berkley City Code, the City Council does hereby determine that the following rate schedule for water and sewer service shall be in effect for all bills due and payable on or after July 1, 2025.

1.10: CONSUMPTION CHARGE:

Per 100 Cubic Feet		
Water Service	Sewer Service	<b>TOTAL</b>
\$5.83	\$6.52	<b>\$12.35</b>

1.20: READY TO SERVE FIXED CHARGE:

Per Meter, Per Quarter			
Meter Size	Water Service	Sewer Service	<b>TOTAL</b>
0.75"	\$13.74	\$13.19	<b>\$26.93</b>
1.00"	\$22.94	\$22.02	<b>\$44.96</b>
1.50"	\$45.77	\$43.98	<b>\$89.75</b>
2.00"	\$73.24	\$70.36	<b>\$143.60</b>
3.00"	\$160.20	\$153.92	<b>\$314.12</b>
4.00"	\$266.63	\$256.18	<b>\$522.81</b>



1.30: STORM WATER SERVICE FIXED CHARGE:

Per Equivalent Residential Unit, Per Quarter
<b>\$82.95</b>

**Section 2.00:** As required by the Great Lakes Water Authority, a high strength surcharge shall be levied against industrial and commercial customers of the Berkley sewer system who contribute sewage to the system with concentrations of pollutants in excess of the levels which are described as follows:

Pollutant Source	Maximum Allowable Pollutant Concentration (mg/l.)	Surcharge Per Pound of Excess Pollutant*
Biochemical Oxygen Demand	275	<b>\$0.362</b>
Total Suspended Solids	350	<b>\$0.496</b>
Phosphorous	12	<b>\$6.641</b>
Fats, Oils, and Grease	100	<b>\$0.115</b>

2.10: It is assumed that normal domestic customers do not contribute sewage with concentrations of pollutants exceeding the levels specified in Section 2.0 above, therefore, the high strength surcharge will not apply to domestic customers.

2.11: Further, the high strength surcharge will not apply to restaurants pursuant to the order of the U.S. District Court dated July 10, 1981, (C.A. No. 77-71100).

2.13: Amounts due for the high strength surcharge shall be calculated either by the Great Lakes Water Authority or by the Oakland County Drain Commissioner's staff. Customers who believe the charges have been improperly assessed shall bring their objections to the agency performing the calculations.

2.14: When the City is presented with an invoice or similar document by the Oakland County Water Resources Commissioner or the Great Lakes Water Authority for a high strength surcharge for a customer of the Berkley sewage system, the City shall add the amount of the high strength surcharge to that customer's next regular bill for water and sewer services, and it shall be collected in the same manner as the regular charges for water and sewer services.

2.20: As further required by the Great Lakes Water Authority/Oakland County Water Resources Commissioner, a non-residential flow surcharge which shall be added as a flat rate charge to each regular quarterly invoice for water and sewer charges issued by the City to customers that are liable for the charge shall be charged according to the schedule below.

Meter Size In Inches	Flat Rate Non-Residential Flow Surcharge Per Regular Water Bill
0.75	<b>\$16.59</b>
1.00	<b>\$27.35</b>
1.50	<b>\$60.16</b>
2.00	<b>\$87.51</b>
3.00	<b>\$158.61</b>
4.00	<b>\$218.78</b>

**Section 3.00:** The rates described herein shall be effective with all bills rendered by the City of Berkley which are due and payable on or after July 1, 2025. **Please note that occasionally due to the timing of rate approvals by other bodies, if any of the previous identified rates should need to change prior to 7/1/2025, the Berkley City Council will adopt a new resolution with the corrected rates.**

**Section 4.00:** Whenever an overdue amount is transferred to the City tax roll for collection, an overdue administration fee of \$20.00 shall be added to the amount due. The fee shall be waived for property owners who have received a reduction in taxable property value by the Berkley Board of Review for reasons of economic hardship.

Introduced and Passed at a City Council Meeting held on Monday, May 19, 2025.

---

Bridget Dean, Mayor

Attest:

---

Victoria Mitchell, City Clerk

# MEMORANDUM

To: Mayor Dean and City Council  
From: Carl Johnson, Finance Director  
  
Date: *May 19, 2025*  
Subject: Water and Sewer Service Rates

---

Madam Mayor and Members of City Council,

## Background

The water and sewer rates are set annually by the Mayor and City Council. As part of the multi-year plan discussed in prior years, the variable rates will be increased to pass along cost increases from the Southeast Oakland County Water Authority for water and Oakland County for sewage and stormwater and to cover some of the costs related to the unfunded mandate of lead water line replacement.

## Summary

- The City on an annual bases prepares the annual water and sewer budget based on cash-flow and determines the annual costs along with the revenue needed to cover the projected costs
- The budget includes significant capital costs related to unfunded mandates by the State of Michigan to replace lead water lines in the amount of \$2-3 million annually
- The budget assumes a 6-8% increase in cost increases for water purchases and sewage/stormwater disposal and processing
- The proposed rates are unchanged for all fees except the consumption charges which were increased 10% therefor the average used will see an overall increase less that the 10%
- The proposed rates are the minimum amounts needed to cover operating costs, debt and a small portion of the capital requirements in the Water and Sewer Fund for the fiscal year 2025/2026
- The Water and Sewer Fund had as cash balance of \$73,544 at June 30, 2024 and an estimated balance at June 30, 2025 with \$675,000. A fund of this type should have a minimum of \$2-3 million in cash reserves for working capital purposes and a catastrophic capital reserve fund.

## Recommendation

Approval of the attached resolution setting the water and sewer service fees beginning July 1, 2025 in conjunction with the amounts assumed in the proposed June 30, 2025/2026 Water and Sewer Fund budget.



May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember  
\_\_\_\_\_ to receive updates to the City of Berkley Fee Schedule.

Ayes:

Nays:

Absent:

Motion:

# MEMORANDUM

To: Mayor Dean and City Council  
From: Rachel Patterson, Deputy City Clerk  
Date: *April 16, 2025*  
Subject: Fee Schedule Changes

---

Madam Mayor and Members of City Council,

## **Background**

Adjustments to the fee schedule proposed by various city departments.

## **City Clerk's Office**

- Deleted \$200 Clean Up Bond Under "Application" for the category of Community Special Event.
  - This fee is no longer required by the Community Development Department.
- Changed the 90-day Solicitation Fee, Individual Ice Cream Peddler License, and Cruise Fest Individual License from \$25 to \$50. The fee is now in line with surrounding communities.
  - The Clerk's Office understands this is a large increase, so we will reach out to our recurring vendors. This fee will more accurately cover application processing fees incurred by the Clerk's Office and the Public Safety Department. It also creates a more realistic fee structure, complementing Berkley's commitment to ensuring reputable vendors are sending peddlers out into the neighborhoods.
- Added document recording fee of \$30.
  - This is the fee to record deeds and other documents with Oakland County.

## **Community Development**

- Corrected typographical errors.
- Fees for whole house generators were mistakenly removed when the fee schedule was redone. Those have been added back in.
- Added fees for temporary sign permits per the updated zoning ordinance.



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## CLERKS OFFICE FEES

### Animal Licenses

#### SPAYED/NEUTERED

One Year	\$8.00
Two Year	\$16.00
Three Year	\$24.00

#### NOT SPAYED/NEUTERED

One Year	\$16.00
Two Year	\$24.00
Three Year	\$32.00

#### Other

Late Penalty After Deadline	\$10.00
Duplicate/Transfer of Tags	\$1.00

### Bicycle License

Bicycle	\$1.00
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### City Code

#### City Code Books

City Charter	Cost of print
City Code	Cost of print
Zoning Ordinance	Cost of print

### Community Special Event

#### Application

Application Fee	\$200.00
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#### Cost Recovery

Incidental Cost (Postage, Notifications, Copying, ETC.)	Actual Cost
City Services & Equipment Use Fees	Actual Cost
City Staff (Based on RT/OT Hourly Rates)	Actual Cost

### Film Permit

Film Permit	\$150.00
Film Permit (Deposit)	\$1,000.00



## CLERKS OFFICE FEES CONTINUED

### Handbills

One day only	\$10.00
One year	\$75.00

### Liquor Licenses

Quota Licenses (Application)	\$300.00
Transfer Licenses	\$200.00
Development District Licenses	\$300.00
Amendments to existing Licenses	\$100.00
Annual Inspection (Per Section 14-37 Berkley Code)	\$100.00

### Peddlers

#### Solicitation (Valid 90 days)

Individual license	\$50.00
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#### Ice Cream Peddler (valid 90 days – Ice cream is no later than 10/15 of current year)

Individual License	\$50.00
Vehicle Plate	\$40.00

#### Cruise fest/Dream Cruise Weekend (Valid Fri. and Sat. in August only)

Individual License	\$50.00
License Fee	\$200.00

### Snow Removal

Snow Removal Operator – Annual Fee	\$25.00
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**\*See file for insurance and inspection requirements\***

### Valet Parking

#### Permit Types

Initial Permit	\$200.00
Renewal Permit	\$100.00
Special Permit	\$50.00



## **CLERKS OFFICE FEES CONTINUED**

### **Voter Registration**

#### **Registered and Absent Voter Lists**

Email requests	\$35.00
AV Updates – Flat Fee	\$10.00
First page of printout	\$5.00
Each additional page of printout	\$0.20
Labels (copied on plain paper – per page fee)	\$0.30

### **Miscellaneous**

Document recording	\$30.00
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## COMMUNITY DEVELOPMENT FEES

<b>Construction Permits</b>	
<b>Registration</b>	
Residential Builder	\$35.00
Residential Maintenance and Alteration	\$35.00
<b>Building Permit Fee</b>	
<b>Based on Construction Value</b>	
\$ 1.00 – \$ 1,000.00	\$50.00
Each Additional \$ 1,000.00	\$20.00
First Inspection	\$50.00
Each Additional Inspection	\$45.00
Re-Inspection Fee	\$35.00
Reinstatement	\$50.00
<b>Cash Builders Bond</b>	
\$ 100,000 – up	\$800.00
<b>Concrete Certificates</b>	
<b>When no additional permit is obtained</b>	
Registration of Cement Contractor	\$35.00
Sidewalk	\$65.00
Sidewalk/Driveway Approach Bond	\$200.00
Driveway Approach	\$65.00
Pavement Break Permit (saw cut only)	\$40.00
Refundable Bond (required)	\$1,500.00
Curb Cut – per lineal foot	\$8.00
First Inspection	\$50.00
Each Additional Inspection	\$45.00
Initial Concrete Certificate and Inspection Fee NOT TO EXCEED	\$200.00
<b>Bonds not required</b>	
Driveway Permit Certificate (new or replaced)/Service Walk (Not in right of way)	\$70.00
Fence Permit	\$60.00
<b>Liability Insurance Requirements for all contractors</b>	
One Person	\$100,000.00
Each Occurrence	\$300,000.00
Property damage, each occurrence	\$10,000.00



## **COMMUNITY DEVELOPMENT FEES CONTINUED**

### **Construction Permits Continued**

#### **Swimming Pools**

Swimming Pool Contractor Registration	\$35.00
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Above Ground Pool	\$30.00
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One Inspection	\$50.00
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Electrical Permit (one inspection)	\$45.00
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Total	\$125.00
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Inground Pool	\$40.00
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Two Inspections	\$95.00
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Electrical Permit (two inspections)	\$80.00
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Total	\$215.00
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#### **Wrecking**

Registration of Wrecking Contractor	\$35.00
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Accessory Structure	\$40.00
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Single Family Detached Dwelling	\$100.00
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Multiple Family and Non – Residential Construction	\$150.00
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#### **Concrete Cost Due to Sewer Retirement**

Sidewalk	\$500.00
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Half Road	\$2,500
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Full Road	\$5,000
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#### **Cash Bond**

Cash Bond	\$1,000.00
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Two Inspections Required	\$95.00
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#### **Shed**

Shed – 36 sq. ft. or larger	\$20.00
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Two Inspections Required	\$95.00
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Total	\$115.00
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#### **Building Moving**

Registration of Building Moving Contractor	\$35.00
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Building Moving Permit	\$200.00
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Inspection (in city before moving)	\$100.00
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Inspection (out of city before moving)	\$100.00
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Building Moving Bond (site to site)	\$5,000
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Buidling Finishing Bond	\$1,500.00
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## COMMUNITY DEVELOPMENT FEES CONTINUED

Plan Examination Fees	
Initial Plan Reviews	
Building Structures within value of: (plus 20% for third party reviews)	
\$ 0 - \$ 1,000.00	\$80.00
\$ 1,001.00 - \$ 50,000.00	\$100.00
\$ 50,001.00 - \$ 175,000.00	\$250.00
\$ 175,001.00 and over	0.0015 x Construction Value
Other	
Conceptual Review by Third Party Consultant	Consulting Cost + 20% (Minimum \$50.00)
Revised Plans	\$50.00
Deck/Porch	\$100.00
Fire Marshal Review Fees	
Plan Review Fee (per hour)	\$35.00
Fire Alarm Plan Review (Sprinkler, including inspection)	\$75.00
Fire Alarm Pan Review (Alarm, including inspection)	\$75.00
Hood Suppression System Plan Review (all submission)	\$75.00
Vacant Structures	
Single Family	
Registration and inspection	\$200.00
Multiple Family (Biennial) – First Unit	
Registration and inspection	\$200.00
Each additional Multiple Family unit	\$30.00
Non-Residential Building (Biennial)	
Registration and Inspection	\$200.00
Second Re-Inspection (billed only when required)	\$30.00





## COMMUNITY DEVELOPMENT FEES CONTINUED

### Electrical Permits

#### Permits

##### Registration

Electrical Contractor Registration	\$25.00
Fire Alarm Contractors Registration	\$25.00
Sign Specialty Contractors Registration	\$25.00
Minimum Fee	\$45.00
Re-Inspection Fee	\$30.00

##### Circuits – New or Extended

First Circuit	\$30.00
Each Additional Circuit	\$12.00

##### Service (Disconnect/Subpanel)

Temporary	\$50.00
100 amp or less	\$45.00
125 amp to 200 amp	\$45.00
225 amp to 400 amp	\$50.00
Over 400 amp	\$110.00

General Repairs	\$40.00
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##### Fixtures

First 25 sockets	\$30.00
Additional 25 sockets at the same address	\$15.00

##### Appliances (Furnace, Dryer, Water Heater, Range, Attic Fan, Air Conditioner)

First Appliance	\$30.00
Additional unit at same address	\$15.00

##### Generators

New or Extended Circuit	\$55.00
Generators (whole house)	\$80.00



## COMMUNITY DEVELOPMENT FEES CONTINUED

### Electrical Permits Continued

Permits	
Electrical Heat	
First Room	\$30.00
Additional Room	\$15.00
Electric Car Charging Circuits	
First Circuit	\$65.00
Each Additional	\$20.00
Low Voltage	
1-20 devices	\$45.00
21-100 devices	\$75.00
101-200 devices	\$105.00
200+ devices	\$135.00
Welders, Heating, Power Units and Rooftop Unit	
Power Plug Outlet 240 V	\$45.00
Solar Panels	\$100.00
Wind Turbines	
First Turbine	\$75.00
Each Additional	\$15.00
Feeder Main, Buss Ducts, Floor Raceway	
First 100 feet	\$30.00
Additional 50 Feet	\$20.00
Public Safety Alarms	
First alarm system panel	\$40.00
Each additional panel	\$15.00
Each horn, strobe, etc.	\$10.00
Special Inspections	
Special Event or Referral Inspection	\$80.00
Liability Insurance Requirements For all Contractors	
One Person	\$100,000.00
Each Occurrence	\$300,000.00
Property damage, each occurrence	\$10,000.00



## COMMUNITY DEVELOPMENT FEES CONTINUED

Heating Permits	
Registration	
Registration	\$15.00
Minimum Fee	\$45.00
Re-Inspection Fee	\$30.00
Furnace	
Oil or Gas Fired/ Air Handler	
100,00 BTU and under	\$55.00
Over 100,00 BTU	\$70.00
Each additional unit at same address	\$50.00
Rooftop unit (per unit) additional to BTU's	\$30.00
Other	
Chimney Liner	\$25.00
Condensation Pumps	\$35.00
Conversion of Furnace	\$30.00
Damper	\$25.00
Duct Work – alteration of existing system	\$35.00
Duct Work – new construction	\$75.00
Electronic Air Cleaner	\$30.00
Exhaust Fans or Stove Hoods	\$35.00
Fireplace	\$65.00
Gas Line Per Opening	\$20.00
Gas Line	\$35.00
Gas Pressure Test	\$25.00
Humidifier	\$20.00
Hydronic Heat	\$40.00
Incinerator	\$25.00
Pool Heater	\$30.00
Space Heating	\$25.00
Thermal Expansion Tanks	\$20.00
Welded Exhaust Vents (commercial)	\$50.00
Water Heater	\$40.00
Recovering Ventilator (ERV/HRV)	\$50.00





## COMMUNITY DEVELOPMENT FEES CONTINUED

### Heating Permits Continued

Other	
Fire Suppression (per head)	\$30.00 + \$1.00 per head
Heat Pumps	
First One	\$60.00
Each additional unit at same address	\$20.00
Hood Suppression (per unit)	
First One	\$100.00
Each additional unit at same address	\$20.00
Liability Insurance Requirements For all Contractors	
One Person	\$1,000,000.00
Each Occurrence	\$2,000,000.00
Property damage, each occurrence	\$10,000.00
Special Inspections	
Referral Inspections	\$80.00

### Plumbing Permits

Registration	
Contractor	\$25.00
Minimum Fee	\$45.00
Re-Inspection	\$30.00
Permit Fees	
Backflow Preventer	\$30.00
Backwater Valve	\$25.00
Bath Tub	\$15.00
Catch Basin	\$50.00
Crock to Iron	\$30.00
Cross Connection Initial Inspection	\$35.00
Cross Connection Re-Inspection	\$25.00
Dishwasher Machine	\$15.00
Distribution	\$60.00
Domestic Laundry Machine	\$15.00
Floor Drain	\$15.00
Fountain (drinking)	\$15.00



## COMMUNITY DEVELOPMENT FEES CONTINUED

### Plumbing Permits Continued

Permit Fees	
Garbage Disposal	\$15.00
Grease Trap	\$30.00
Hose Bibbs	\$15.00
Ice Maker	\$20.00
Indirect Waste Sink	\$15.00
Humidifier	\$15.00
Inside Drain	\$50.00
Laundry Tray	\$15.00
Lavatory	\$15.00
Manhole	\$30.00
Medical Gas (per outlet)	\$15.00
Pump or Water Lift	\$25.00
Shower Trap	\$15.00
Sink (any description)	\$20.00
Special Inspection (including FHA and VA)	\$70.00
Sprinkler Systems for Lawns	\$60.00
Stacks – new, alter, soil, etc.	\$20.00
Sump or Interceptor	\$50.00
Surgical Cuspidor – each	\$25.00
Urinal	\$15.00
Water Closet	\$15.00
Water Heater	\$40.00
Water Tank	\$25.00
Water Treatment Device – each	\$20.00
Storage Tanks	\$45.00
Liability Insurance Requirements for all Contractors	
One Person	\$1,000,000.00
Each Occurrence	\$2,000,000.00
Property damage, each occurrence	\$1,000,000.00
Special Inspections	
Referral Inspections	\$80.00



## COMMUNITY DEVELOPMENT FEES CONTINUED

### Refrigeration Permits

#### Registration

Registration	\$15.00
Minimum Fee	\$45.00
Re-Inspection Fee	\$30.00

#### Permit Fees

Under 5 tons	\$50.00
Over 5 tons	\$70.00
Over 1 hp but not more than 5 hp	\$50.00
6 hp but not more than 50 hp	\$70.00
51 hp and over	\$75.00
Rooftop unit (per unit) additional to tons or hp	\$30.00
Refrigerator Line Pressure Test (Remote Condenser)	\$25.00

Mini-Split Units (in addition to condenser fees)	\$ 20.00 per head
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#### Liability Insurance Requirements for all Contractors

One Person	\$1,000,000.00
Each Occurrence	\$2,000,000.00
Property damage, each occurrence	\$1,000,000.00





## COMMUNITY DEVELOPMENT FEES CONTINUED

### Rental Structures

#### Residential

Single Family Long-Term (Biennial)	\$180.00
Single Family Short-Term (Annual)	
Multiple Family – First Unit	\$180.00
Each Additional Multiple Family Unit	\$35.00
Second Re-Inspection (billed only when required)	\$30.00
Registration Fee	\$60.00
Late Fee	\$25.00 per month
NOT TO EXCEED	\$8,500.00

#### Commercial

Commercial Building Per Tenant (Biennial)	\$180.00
Registration Per Tenant (Biennial)	\$60.00
Second Re-Inspection (billed only when required)	\$30.00
NOT TO EXCEED	\$8,260.00

### Sign Permits \*If sign is illuminated Electrical Permit required in addition\*

#### Registration

Sign Specialty Contractors	\$35.00
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#### Sign – Permanent

Permit	\$50.00
Inspection	\$50.00
Total Permit Fee	\$100.00

#### Sign – Temporary

Permit	\$45
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#### Electrical for Illuminated Sign

First Sign	\$50.00
Additional Sign or Connection (each)	\$40.00

#### Liability Insurance Requirements for all Contractors

One Person	\$1,000,000.00
Each Occurrence	\$2,000,000.00
Property damage, each occurrence	\$1,000,000.00



## COMMUNITY DEVELOPMENT FEES CONTINUED

### Miscellaneous Community Development Fees

#### Site Plan Review\*\*\*

Building Board of Appeals	\$300.00
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#### Multiple Family

Engineering Review (Full Site)*	\$ 1,500.00 + \$1,500.00 escrow
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Engineering Review (Partial Site)*	\$1,000.00 + \$1,500.00 escrow
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Planning Review*	\$600.00 + \$660.00 escrow
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#### Commercial

Engineering Review (Full Site)*	\$ 1,300.00 + \$1,500.00 escrow
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Engineering Review (Partial Site)*	\$800.00 + \$1,500.00 escrow
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Planning Review*	\$600.00 + \$1,100.00 escrow
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Nuisance Per Se Hearing	\$300.00
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Planned Unit Development (PUD) - Application	\$2000.00 + site plan review fees
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Rezoning	\$750.00
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Site Plan Review (Administrative/Façade Change)	\$300.00
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Special Land Use	\$1,000.00
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Street/Alley Vacation	\$500.00
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Zoning Board of Appeals – Variance, Appeal, Interpretation Residential	\$400.00
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Zoning Board of Appeals – Variance, Appeal, Interpretation Commercial	\$600.00
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Mural	\$300.00
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Extension of Site Plan Approval	\$200.00
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Special Board, Commission, Council Meeting	\$500.00
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Text Amendment to Ordinance	\$500.00
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#### Business License

Registration (Owner Occupied) (Biennial)	\$60.00
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Inspection (Owner Occupied) (Biennial)	\$180.00
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Second Re-Inspection (billed only when required)	\$30.00
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New Business in Berkley	\$200.00
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Transfer	\$100.00
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## COMMUNITY DEVELOPMENT FEES CONTINUED

### Miscellaneous Community Development Fees Continued

#### Special Permits

Seasonal Sales Permit	\$80.00
Promotional Events Permit	\$80.00
Outdoor Service Area (New)	\$370.00
Outdoor Service Area (Renewal)	\$140.00
Parklet Permit (New)	\$450.00
Parklet Permit (Renewal)	\$200.00

#### Miscellaneous Fees

Combination/Split of Lots	\$300.00
Stop Work Posted	\$50.00
Snow and Ice Removal**	\$250.00 + 20%
Property Cleanup – Grass, Debris and Weeds**	\$250.00 + 20%
Fees not listed shall be charged as actual costs plus 20% administration fee	Cost + 20%

#### Other

Application and two inspections fee (Chicken, O-02-17)	\$80.00
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Upon request, all cancelled permits with no inspections will be refunded at 50% of the permit costs with a minimum refund of \$25.00.

\*Plan review fees must be paid before review can begin. Final review fees may be higher based on confirmation of the construction cost. Canceled plan reviews will not be refunded.

\*\*Additional costs may be incurred based on the lot size and scope of work.

\*\*\*Cancelled site plans and board and commission requests will be refunded at 90% if cancelled within one week of submission.





## **COMMUNITY DEVELOPMENT FEES CONTINUED**

### **Dream Cruise Fees**

#### **Woodward Avenue Business and Property Owners**

##### **Dream Cruise Weekend Permit (Friday and Saturday Only)**

Application Fee	\$200.00
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Late Fee (in addition to above total)	\$200.00
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#### **Eleven Mile, Greenfield, Twelve Mile and Coolidge Business and Property Owners**

##### **Dream Cruise Weekend Permit (Friday and Saturday Only)**

Application Fee	\$50.00
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Late Fee (in addition to above total)	\$200.00
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#### Non-Profit Organizations:

Property owner or business owner in question must obtain a permit from the City for the non-profit organization. Fees are the same. Non-profits are encouraged to use City sites.

Non-Profit Organizations selling "Official" Dream Cruise merchandise only, do not pay fees. Property owner or business owner in question are required to obtain a permit, at no cost, from the City.

The City Manager may, at his discretion, waive or reduce the fees charged to a non-profit organization based upon the non-profit organization's in-kind contribution to the City.

#### Vendors Using City Sites:

Application and fee required. Fees must be submitted to the Recreation Department.

The Recreation Department will submit one (1) application to the Community Development Department for the Woodward Dream Cruise event. The following fees will be required:



## **COMMUNITY DEVELOPMENT FEES CONTINUED**

### **Dream Cruise Fees Continued**

#### **Prepackaged food and non-food vendors**

Administration Fee	\$200.00
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A 10' x 10' tent and one (1) table and two (2) chairs	\$150.00
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Clean Up Fee (Non – refundable)	\$50.00
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Total	\$400.00
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#### **Food Vendors**

Administration Fee	\$200.00
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A 10' x 10' tent and one (1) and two (2) chairs	\$250.00
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Clean Up Fee (Non – refundable)	\$50.00
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Total	\$500.00
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## **FINANCE/TREASURY FEES**

### **Treasury**

#### **Non-Sufficient Funds**

Non-Sufficient Funds (bounced check, etc.)	\$25.00
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#### **Duplicate Tax Bills/Payments in Lieu of Bill**

Duplicate Tax Bill	\$3.00
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#### **Property Tax Statement Information**

Resident (homeowner)	No charge
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Non – Resident (not homeowner)	\$ 3.00 per parcel
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## **LIBRARY FINES AND FEES**

### **Overdue Charges**

Collection agency referral fee	\$12.00
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### **Lost Items**

Processing fee for lost items	\$2.00
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### **Charges**

#### **Photocopier (per page)**

Black/White	\$0.15
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Color	\$0.75
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#### **Printing (per page)**

Black/White	\$0.15
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Color	\$0.75
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#### **Proctoring**

Resident	\$10.00
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Non Resident	\$20.00
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#### **Other**

Fax (send and receive per page)	\$1.00
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Flash Drive	\$8.00
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### **Rental**

#### **Meeting Room Rental**

##### **Room Rental (3 hour minimum)**

Non-Profit	\$ 10.00 per hour
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For Profit	\$ 25.00 per hour
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#### **Other**

DVD/CD/Blu-Ray player (per use)	\$5.00
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Microphone system (per use)	\$10.00
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Projector (per use)	\$10.00
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## **MISCELLANEOUS FEES**

<b>Miscellaneous Fees</b>	
Miscellaneous Fees	
Certified Copies	\$3.00
Clearance Letters	\$10.00
Interim License Application	\$10.00
Photocopies – all others per page	\$0.10
Public Auction	\$100.00
Reprints of Photographs	\$5.00



## **PARKS AND RECREATION FEES**

### **Community Center**

#### **Multi – Purpose Room**

##### **Resident**

Weekday (Monday - Thursday)	\$60/hr
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Weekend (Friday - Sunday)	\$100/hr
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##### **Non - Resident**

Weekday (Monday - Thursday)	\$70/hr
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Weekend (Friday - Sunday)	\$130/hr
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#### **Large Meeting Room**

##### **Resident**

Weekday (Monday - Thursday)	\$30/hr
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Weekend (Friday - Sunday)	\$60/hr
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##### **Non - Resident**

Weekday (Monday - Thursday)	\$40/hr
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Weekend (Friday - Sunday)	\$70/hr
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#### **Senior Annex**

##### **Resident**

Weekday (Monday - Thursday)	\$30/hr
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Weekend (Friday - Sunday)	\$60/hr
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##### **Non - Resident**

Weekday (Monday - Thursday)	\$40/hr
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Weekend (Friday - Sunday)	\$70/hr
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***\*2 hour booking minimum on weekends\****

***\*Approved Community Groups/Non-Profit Organizations pay 50% of room fees\****



## PARKS AND RECREATION FEES CONTINUED

### Bacon Park Pavilion Rentals

#### Resident

Weekday (Monday - Thursday)	\$75.00
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Weekend (Friday - Sunday)	\$125.00
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#### Non - Resident

Weekday (Monday - Thursday)	\$100.00
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Weekend (Friday - Sunday)	\$150.00
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***\*All rentals include a \$20 nonrefundable deposit to hold the date.\****

### Marquee

\$25 per announcement due upon approval

### Summer Camp Fees 2025

#### Resident

Early Bird	\$1,800.00
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All 9 weeks	\$2,065.00
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Weekly Rate (5 Day Weeks)	\$240.00
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#### Non Resident

Early Bird	\$2,200.00
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All 9 Weeks	\$2,430.00
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Weekly Rate (5 Day Weeks)	\$280.00
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### Field Usage Fees

#### Permit

Berkley Dads' Club - Community 1	\$35,000.00
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Berkley School District - Community 1	\$35,000.00
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***\*Permit fees raised 3% each year - 5 year contract\****

#### Other

Stay and Play Social Club (Adult Kickball/Softball)	\$15/game
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## **PUBLIC SAFETY FEES**

### **False Alarm Fees**

First false alarm in calendar year	No Charge
Second false alarm in calendar year	\$25.00
Third false alarm in calendar year	\$50.00
Fourth and each succeeding false alarm in calendar year	\$100.00

### **Reports**

#### **Types of Reports**

Accident Reports – per report	\$15.00
Fire Reports – first page	\$5.00
Fire Reports – additional pages	\$1.00
Police Reports – incident reports – first two pages	\$5.00
Police Reports – incident reports – additional pages	\$1.00

### **Miscellaneous Fees**

Gun Purchase Permit or Registration	No charge
Preliminary Breath Test (PBT)	\$10.00
Precious metal and Gem	\$50.00

### **Parking Fees**

Annual Parking Permit	\$400
Annual Parking Permit Replacement	\$25

### **Impounded Vehicles**

Fee to Berkley Police	\$25.00
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***\*Any vehicle that is impounded will be taken to A&M Towing in Royal Oak. After fee is paid there is an additional fee at A&M Towing\****





## PUBLIC WORKS FEES

### Utility/Sewer and Storm Drain Permits

#### Registration

Excavation and Sewer Contractor \$35.00

Minimum Fee \$45.00

#### Permit Fees

Lines not exceeding 4 inches in diameter \$40.00

Lines not exceeding 6 inches in diameter \$40.00

Lines not exceeding 8 inches in diameter \$40.00

Lines not exceeding 10 inches in diameter \$40.00

Lines not exceeding 12 inches in diameter \$40.00

Lines not exceeding 14 inches in diameter \$45.00

Lines not exceeding 16 inches in diameter \$50.00

Lines not exceeding 18 inches in diameter \$55.00

Lines not exceeding 20 inches in diameter \$60.00

Lines over 20 inches in diameter \$65.00

Water/Sewer Excavating Bond (Private Property) \$500.00

#### Water Retirement

Water Service Retirement up to 2 inches (Pavement restoration fees may apply) \$2,000.00

#### Water Tap

Water Tap and Service to Valve (DPW Install up to 2 inch – New Construction) (3 inch and 4 inch installed by applicant)

1 inch service \$3,000.00

1 ½ inch service \$3,250.00

2 inch service \$3,500.00

3 inch service \$2,500.00

4 inch service \$3,000.00

#### Water Service

Private (Valve to Point in Use)

¾ inch service \$30.00

1 inch service \$40.00

1 ½ inch service \$50.00

2 inch service \$60.00

3 inch service \$90.00

4 inch service \$100.00



## **PUBLIC WORKS FEES CONTINUED**

### **Utility/Sewer and Storm Drain Permits Continued**

#### **Minimum Pavement Restoration Fee**

Walk	\$500.00
Half Road	\$2,500.00
Full Road	\$5,000.00
Right-of-Way Excavating Bond (between property line and street)	\$5,000.00

#### **Liability Insurance Requirements for all Contractors (City of Berkeley to be named additional insured)**

One Person	\$1,000,000.00
Each Occurrence	\$2,000,000.00
Property damage, each occurrence	\$1,000,000.00

### **Trash Collection**

96-gallon Trash Bin	\$80.00
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***\*Billed via Quarterly Water Bills\****

### **Temporary Hydrant Use**

Meter and backflow preventer rental and usage fees	\$4000 refundable deposit + usage. Minimum usage fee of \$750
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### **Miscellaneous Services**

After Hours Emergency Call in per instance (Residential Minimum Fee Billed via Quarterly Water Bill)	\$150.00
Fees not listed shall be charged as actual costs plus 20% administration fee	Cost + 20%

***\*visit DPW website for specific pickup schedule\****



## PUBLIC WORKS FEES CONTINUED

### Right of Way Permit Fees

#### Underground Construction

Construction Cost*	Plan Review		Approx. Cost	Inspection		Approx. Cost
\$0 to \$5,000	0.40%		(\$20 min.)	1.60%		(\$80 min)
\$5,000 to 50,000	\$20 + 0.20%	over \$5,000	(\$20-\$110)	\$80 + 1.40%	over \$5,000	(\$80-\$710)
\$50,001 to \$100,000	\$110 + 0.15%	over \$50,000	(\$110-\$185)	\$710 + 1.20%	over \$50,000	(\$710-\$1,310)
\$100,001 to \$500,000	\$185 + 0.05%	over \$100,000	(\$185-\$385)	\$1,310 + 1.00%	over \$100,000	(\$1,310-\$5,310)
\$500,001 to \$1,000,000	\$385 + 0.025%	over \$500,000	(\$385 - \$510)	\$5310 + 0.80%	over \$500,000	(\$5,310 - \$9,310)
over \$1,000,000	\$510 + 0.01%	over \$1,000,000	(\$510 + )	\$9,350 + 0.40%	over \$1,000,000	(\$9,310 + )

#### Overhead on Existing Poles

Construction Cost*	Plan Review		Approx. Cost	Inspection		Approx. Cost
\$0 to \$5,000	0.40%		(\$20 min.)	0.80%		(\$40 min.)
\$5,000 to 50,000	\$20 + 0.20%	over \$5,000	(\$20-\$29)	\$40 + 0.20%	over \$5,000	(\$40-\$130)
\$50,001 to \$100,000	\$29 + 0.01%	over \$50,000	(\$29-\$34)	\$130 + 0.10%	over \$50,000	(\$130-\$180)
\$100,001 to \$500,000	\$34 + 0.005%	over \$100,000	(\$34-\$54)	\$180 + 0.05%	over \$100,000	(\$180-\$380)
\$500,001 to \$1,000,000	\$54 + 0.003%	over \$500,000	(\$54-\$69)	\$380 + 0.025%	over \$500,000	(\$380-\$505)
over \$1,000,000	\$69 + 0.0015%	over \$1,000,000	(\$69+ )	\$505 + 0.01%	over \$1,000,000	(\$505+ )



## **RIGHT OF WAY PERMIT FEES**

### **PLAN REVIEW AND INSPECTION continued**

#### **ADDITIONAL PERMIT AND ANNUAL PERMIT REQUIREMENTS:**

A. ANNUAL PERMITS: Annual permit fees shall be based on scope and potential impact as determined by the Director of Public Works.

B. INSURANCE: A properly executed certificate of insurance, with liability insurance in the amounts determined by the City Manager, shall be provided by the applicant. City of Berkeley must be named as additionally insured

C. CASH DEPOSITS: A cash deposit, to defray all expenses to the City arising out of the granting of a permit and work done under the permit including the repair of roadway pavement, sidewalks and driveway approaches, shall be made in the amount determined by the Director of the Department of Public Works. For annual permits, a cash deposit shall be made yearly, in the amount of \$10,000.00 from which the actual expenses to the City will be deducted.

D. CASH DEPOSITS - UNLOADING EQUIPMENT: A cash deposit, to defray the cost of damage to hard-surfaced streets from the unloading of construction equipment, over one ton in weight, or without rubber tires, shall be made in the amount determined by the Director of the Department of Public Works.

E. PERMITS FOR SIDEWALKS AND DRIVEWAY APPROACHES: The construction, replacement or replacement or repair of sidewalks and driveway approaches requires a separate permit.

\*"Construction Cost" Shall exclude the cost of the actual plant or facility when placed inside of a conduit.



**A RESOLUTION**  
**OF THE CITY COUNCIL OF THE CITY OF BERKLEY, MICHIGAN**  
**ADOPTING THE FISCAL-YEAR 2025-2026 BUDGET AND ACKNOWLEDGING THE MULTI-**  
**YEAR BUDGET INCLUDING PROJECTIONS OF FUTURE FISCAL-YEARS 2026-2027 AND**  
**2027-2028**

**WHEREAS**, the City Manager has submitted a balance proposed budget for fiscal year 2025-2026 and

**WHEREAS**, the budget takes into consideration the City's multi-year budget and financial planning through fiscal year 2026-2027 and 2027-2028, and

**WHEREAS**, the budget takes into consideration property tax revenue from the proposed 2025 millage rates, and

**WHEREAS**, a public hearing was held on May 19, 2025 on the proposed 2025-2026 budget,

**NOW, THEREFORE, THE CITY OF BERKLEY RESOLVES**, that the fiscal year 2025-2026 attached budget is adopted and that the City Council acknowledges the Multi-Year Budget, including projections of future-years 2026-2027 and 2027-2028 as part of this resolution.

**Resolution of Adoption 2024 Millage Rates**

**WHEREAS**, the City's total millage was reduced by a Headlee reduction for the 2025 tax year to a total of 15.4622 mills, and

**WHEREAS**, that the City will continue to charge a 1% tax administrative fee on all property taxes levied in the 2025 tax year, and

**WHEREAS**, that these levies are being placed on a diversified tax base that has decreased slightly as anticipated in the financial plan, and

**WHEREAS**, a public hearing was held on May 19, 2025 on the 2025 millage rates and the 2025-2026 budget,

**NOW, THEREFORE, THE CITY OF BERKLEY RESOLVES**, that to finance the level of services established in the 2025-2026 fiscal year, and to meet specific debt obligations of the City that the following millages are authorized to be spread:

General Operating	5.2506
General Operating - Voted	<b>2.4962</b>
Public Safety Operating	1.5748
Sanitation Operating	1.5748
Community Promotion	<b>0.0579</b>
Public Safety Pension	<b>2.7000</b>
Capital Improvement	<b><u>1.8079</u></b>
Total Mills	<u>15.4622</u>
<b>DDA</b>	1.7763

Introduced and Passed at the City Council Meeting held on Monday, May 19, 2025.

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Bridget Dean, Mayor

Attest:

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Victoria Mitchell, City Clerk

# MEMORANDUM

To: Mayor Dean and City Council  
From: Carl Johnson, Finance Director  
  
Date: *May 19, 2025*  
Subject: Annual Budget June 30, 2026 and Acknowledgment of June 30, 2026 and 2027 Projections

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Madam Mayor and Members of City Council,

## **Background**

The State of Michigan requires the City to prepare and approve an annual budget for many funds of the City but also recommends a budget be prepared for all funds. The final budget for all funds for the fiscal year ending June 30, 2026, including Mayor and City Council recommended changes, has been prepared along with projections for fiscal year 2026/27 and 2027/28.

## **Summary**

- The City Manager prepared a proposed budget which was made available to the Mayor, City Council and the public on April 21, 2025 which included proposed millage rates
- April 21, 2025 the Mayor and City Council set a public hearing date of May 19, 2025 to discuss the proposed budget and related millage rates
- April 28 and 29, 2024 budget workshops were conducted with the Mayor and City Council to discuss in detail the proposed budget
- No changes were recommended by the Mayor and City Council at the budget workshops.
- The overall millage for city operating millages dropped from 15.6443 to 15.4622 specifically due to the "Headlee" millage reduction factor of .9861
- The overall millage for the DDA operating millage dropped from 1.8014 to 1.7763 specifically due to the "Headlee" millage reduction factor of .9861
- The six-year CIP plan included in the June 30, 2025 budget was updated for the fiscal year June 30, 2026 budget and was incorporated into the proposed budget dated April 21, 2025
- The items included in the updated CIP plan were discussed at the budget study session with the Mayor and City Council on April 28 and 29, 2025
- The CIP plan was submitted to the planning commission and discussed at their meeting on April 22, 2025
- A public hearing was held on May 19, 2025 to solicit public input on the proposed budget and related millage rates

**Recommendation**

Approval of the two resolutions included in the budget document; the first is the adoption of the millage rates (page 66) and the second the adoption of the budget including acknowledgement of the 2026-2027 and 2027-2028 projections (page 67).



# **CITY MANAGER RECOMMENDED BUDGET**

## **2025-2026**





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# CITIZEN'S GUIDE TO THE BUDGET

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The budget provides a financial plan to execute the Budget Program Strategies, which are funded through the General Fund, Special Revenue Funds, and other sources, and includes payment of debt.

The budget document consists of the following sections:

**Goals, Priorities, and Objectives** includes the City Manager's Budget Message that articulates priorities and issues for the upcoming year. It describes significant changes in priorities from the current year and explains the factors that led to those changes. This section also highlights the City's organization-wide, strategic framework with objectives that address long-term priorities.

**Financial Policies and Budget Process** provides the basis of accounting and budgeting, a summary of the financial and budget policies (including the definition for a balanced budget), and the process of preparing, reviewing, and adopting the budget, as well as the procedures for amending the budget.

**Fund Structure** includes a matrix of the fund structure, descriptions of all funds, and the relationship between the entity's functional units, major funds, and nonmajor funds in the aggregate.

**Budget Overview** provides an overview of the significant budgetary items and trends. It also includes a summary of changes presented between the proposed to adopted budget.

**Financial Schedules** provides the City's three-year operating budgets for all funds, including prior year actual, current year estimated ending balances, and proposed budget year, as well as the consolidated financial schedule.

**Fund Balance, Revenues, and Expenditures** presents projected changes in fund balances/net positions for all appropriated funds; describes major revenue sources, expenditures, and other financing sources and uses, as well as explains the underlying assumptions for any estimates and discusses any trends. It also discusses entity-wide long-term operating financial plans and their effect on the budget and budget process.

**Capital Improvement Program** provides a listing of capital improvement projects



# CITIZEN'S GUIDE TO THE BUDGET

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for the upcoming fiscal year, as well as for the next five years. This section also links to project summaries for each capital improvement project planned for FY 2025–2026, 2026–2027, and 2027–2028.

**Resolutions** contain the final resolution approved by the Mayor and City Council as part of the budget process, which includes adoption of the annual property tax millage rates, budget, and acknowledgement of the multi-year budget.





# GOALS, PRIORITIES, AND OBJECTIVES

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## City Manager's Budget Message

April 21, 2025

Madam Mayor, Members of City Council, and Residents of the Berkley Community,

I proudly present to you the draft budget for FY 2025/26, and proposed budgets for FY 2026/27 and FY 2027/28. As this draft will attest, we have worked diligently to make the most of the resources available to our local government. In total, the proposed budget invests more than \$37,000,000 into our community through its various funds. Although the City is faced with its challenges, the budget is balanced for the next three years and continues to sustain a 28% fund balance, striking a delicate balance between delivering excellent services to our residents, prioritizing strategic investments in our infrastructure, and keeping the City of Berkley in sound financial condition.

The Strategic Framework, which was passed by City Council in January 2025, provides a roadmap for the administration when prioritizing tax dollars and city resources. This proposed budget reflects our commitment to the objectives identified. I have highlighted below some of the priority areas of our Strategic Framework.

This budget signifies our commitment to **Organizational Effectiveness** through investment in staff engagement and events, an update to the Parks and Recreation 5-year plan, the addition of a human resources function, software additions, and a commitment to professional development.

Our dedication to **Economic Sustainability** is showcased through an investment in an economic development plan and our focus on becoming a [Certified Redevelopment Ready Community](#).

Our commitment to **Community Assets** is showcased through the prioritization of asset management, including an increased maintenance budget for City facilities, the continued strategic replacement of equipment utilizing a replacement schedule that considers



# GOALS, PRIORITIES, AND OBJECTIVES

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depreciation, maintenance costs and resale value, the long-term maintenance of our streets, and water and sewer infrastructure to the best of our ability within funding constraints and unfunded mandates. Most notably, the establishment of the Public Improvement Fund provides a mechanism to set aside reserves for significant capital projects. While we have been able to budget an investment of \$250,000 each year of the three-year budget, as well as \$315,000 in the current fiscal year toward the fund, it only accomplishes a fraction of what is needed to cover the breadth of the City's capital needs. In this three-year budget, the reserve invested in this fund is planned to be fully expended on the replacement of Public Safety's Fire Engine 4, which will reach the end of its useful life in FY 2027/28.

The budget reflects efforts to foster **Open Communication** through the continued investment in diverse communications channels.

Our dedication to **Fiscal Stewardship** is reflected through the continued investment in our pension liabilities, leveraging outside funding, and balancing our operational and capital needs with the preservation of a healthy fund balance.

While we work diligently toward achieving our objectives, we do so in the face of several challenges and obstacles. Like many other Michigan communities that are primarily built out, Berkley faces financial constraints as, overall, operating revenues historically do not keep pace with inflation, and tax revenue capture is restricted.

Michigan's property tax laws, including the 1978 Headlee Amendment and 1994 Proposal A, limit local government revenue growth. Under these laws, inflation is used to reduce the millage rates and limit taxable value growth. The Headlee Amendment rolls back tax rates when property values rise faster than inflation, while Proposal A caps annual taxable value increases and resets them upon ownership transfer. Although these measures were designed to control tax burdens on community members, they simultaneously create a cycle that suppresses revenue growth. During times of economic downturn, particularly when housing values are greatly affected, like that of the Great Recession, municipalities,



# GOALS, PRIORITIES, AND OBJECTIVES

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including Berkley, lost significant revenue as taxable values saw an unprecedented decline. During the subsequent economic upturn, these laws have made it incredibly difficult for municipalities to gain back that lost taxable value and have prevented local governments from fully reaping the benefits of the increased market value.

While we have seen a steady increase in taxable value over the years, it has come with accompanying millage rollbacks. In Berkley, the General Operating, Public Safety, Sanitation, and Infrastructure millages are subject to the Headlee Amendment and have “rolled back” at various rates. Today, the difference between the original, intended millage rates and those levied for this upcoming fiscal year is 5.2563 mills, or less than 70 percent of what was originally intended. You can see the effect on these individual rates below:

Millages Subject to Headlee Reductions	Original Intended Amount	FY 25-26 Projected Millage Rates	Total Reduction	% Reduction
Operating	10.0000	7.7468	2.2532	22.53%
Public Safety	3.0000	1.5748	1.4252	47.51%
Sanitation	3.0000	1.5748	1.4252	47.51%
Infrastructure	2.0000	1.8473	0.1527	7.64%
<b>Total</b>	<b>18.0000</b>	<b>12.7437</b>	<b>5.2563</b>	<b>29.20%</b>

In addition to limitations on revenue growth, the City is simultaneously faced with rising operational costs, capital costs, legacy costs for pensions, and healthcare costs for both active and retired employees. The cumulative effect of costs rising at a rate higher than we are gaining revenue means that it is becoming increasingly difficult to fund our long-term liabilities and aging infrastructure and facilities, keep our wages and benefits competitive, and provide the top-rate services our community deserves.

This budget reflects the addition of chipper service and yard waste collection, as well as strategic investments in our equipment while securing a healthy **Solid Waste Fund** balance.



# GOALS, PRIORITIES, AND OBJECTIVES

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As we are anticipating increased costs from our providers in the future, this reserve will help us to smooth out those increases for taxpayers.

This budget showcases the City's continued efforts to provide a wide variety of park amenities and recreation programs to the community. As the revenue from parks and recreation programs does not typically cover their costs, they require either a dedicated property tax millage or a subsidy from the General Fund to make up the shortfall. This recommended budget includes expenditures of approximately \$1.3 million, with a subsidy of \$720,000 or 55%. The FY 2025/26 budget also includes spending down a fund balance in the **Parks and Recreation Revolving Fund**, with capital expenditures planned to update the Community Center restrooms, as well as the Community Field 1 concession stand and bathroom upgrade. With this year's update to the Parks and Recreation Master Plan, the City will analyze the updated needs and requests of the community to continue to evolve and expand our offerings in the future, and will continue to pursue grants and outside funding to do so.

We continue to invest in the City's aging infrastructure to ensure safe, clean water. In addition to the increasing annual operating costs, the City has been burdened by State unfunded mandates, which include the replacement of lead lines for a large majority of households in the City, at an estimated cost is more than \$30 million. The City has built up a small cash reserve in the **Water and Sewer Fund**, but it is not nearly enough to cover what needs to be done, nor is it enough to cover any level of a catastrophic event. The City continues to work diligently to secure outside funding for the lead service line replacements, but has been forced to utilize a large part of the Infrastructure tax levy, along with significant annual rate increases, to pay for the replacement of these lines. In addition to the significant costs previously projected for this project, the high inflation rate and statewide mandates have driven the costs to 30-40% higher than originally projected in just the last year, with no end in sight. The City will continue to comply with the mandate while doing what we can to invest in our other infrastructure needs, and actively working to minimize the cost to Berkley residents.





# GOALS, PRIORITIES, AND OBJECTIVES

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We're committed to allocating resources toward renovating deteriorating infrastructure, minimizing costs by replacing the roads connected with water projects. The proposed budgets for both **Major and Local Road Funds** and the **Infrastructure Fund** over the next two years use almost all of the available fund balances, as residents would expect when they passed the Infrastructure millage several years ago. As with other capital needs, we continue to look for outside funding to assist in covering the large costs.

While the future will not be without its challenges, including tax limitations, rising costs, and the larger economic uncertainties, we have worked hard to deliver a budget that strikes a balance between the prudent allocation of resources in our operations and a vital focus on the investment in our infrastructure, facilities, people, and the community as whole. We are steadfast in our mission to **strive to enhance economic vitality, preserve neighborhoods, and foster progress to implement the City's vision and values.**

In closing, I would like to express my heartfelt appreciation to all of our passionate, dedicated staff. This budget would not be possible without their invaluable expertise, fortitude during times of uncertainty and transition, and unwavering commitment and passion for this community. I would also like to extend my gratitude to all of you for your support and compassion in welcoming me into this community, as well as the collaboration and dedication you bring to your roles as representatives of this community. I am excited to work together to embrace both the challenges and opportunities that face us as we work toward collective goals.

Thank you for your consideration of the draft FY 2025/26 budget,

Crystal VanVleck  
Berkley City Manager



# STRATEGIC FRAMEWORK

## Mission

Berkley will strive to enhance economic vitality, preserve neighborhoods, and foster progress to implement the City's vision and values.

## Vision

Berkley will be a thriving 21st Century municipality, rooted in strong neighborhoods and a walkable design, supported by a caring community that helps every resident, business, and visitor to flourish.

## Values

Caring, Innovative, Welcoming, Active

### PRIORITY AREA Organizational Effectiveness

#### OBJECTIVES

- Cultivate a strong organizational culture
- Optimize organization structure, staffing, policies/procedures, and level of service
- Foster stronger relationships with community and regional partners
- Identify and implement innovative operational solutions
- Develop community strategic planning process

### PRIORITY AREA Economic Sustainability

#### OBJECTIVES

- Identify, prioritize, and deploy economic development tools
- Identify development opportunities and focus areas
- Expand economic recruitment and retention efforts strengthening the City's economic portfolio
- Implement Master Plan updates and development process improvements
- Improve City/DDA strategic alignment

### PRIORITY AREA Community Assets

#### OBJECTIVES

- Complete comprehensive asset needs inventory and management plan
- Develop sustainable asset investment strategy that supports funding for the City's capital improvement plan
- Improve community resiliency
- Improve facility/staff security and safety

### PRIORITY AREA Open Communications

#### OBJECTIVES

- Identify community audiences and most effective City "voice(s)"
- Identify and implement priority communication strategies within human and financial resources
- Foster meaningful community engagement and genuine relationships

### PRIORITY AREA Fiscal Stewardship

#### OBJECTIVES

- Clearly define and articulate the City's long-term fiscal realities
- Identify additional funding strategies and partnerships
- Investigate new shared services opportunities
- Develop a strategy to address the City's unfunded liabilities in a fiscally balanced manner
- Update financial policies and procedures

The strategic framework serves as a roadmap for the City of Berkley, helping us to define our goals and hone our focus on how to achieve them. It's a living document that helps us make decisions about how to allocate our resources for the best benefit of the community as well as track and report our progress.

Throughout 2024 and 2025, City Council and department directors met in work sessions to clearly define each priority area and the objectives that will help us reach them. Based on feedback from the community, discussions in the work sessions, and information from staff, the strategic framework was created as a plan for the next two years.

We're excited to present this plan to our community and will continue to share our progress in quarterly updates throughout 2025 and 2026.

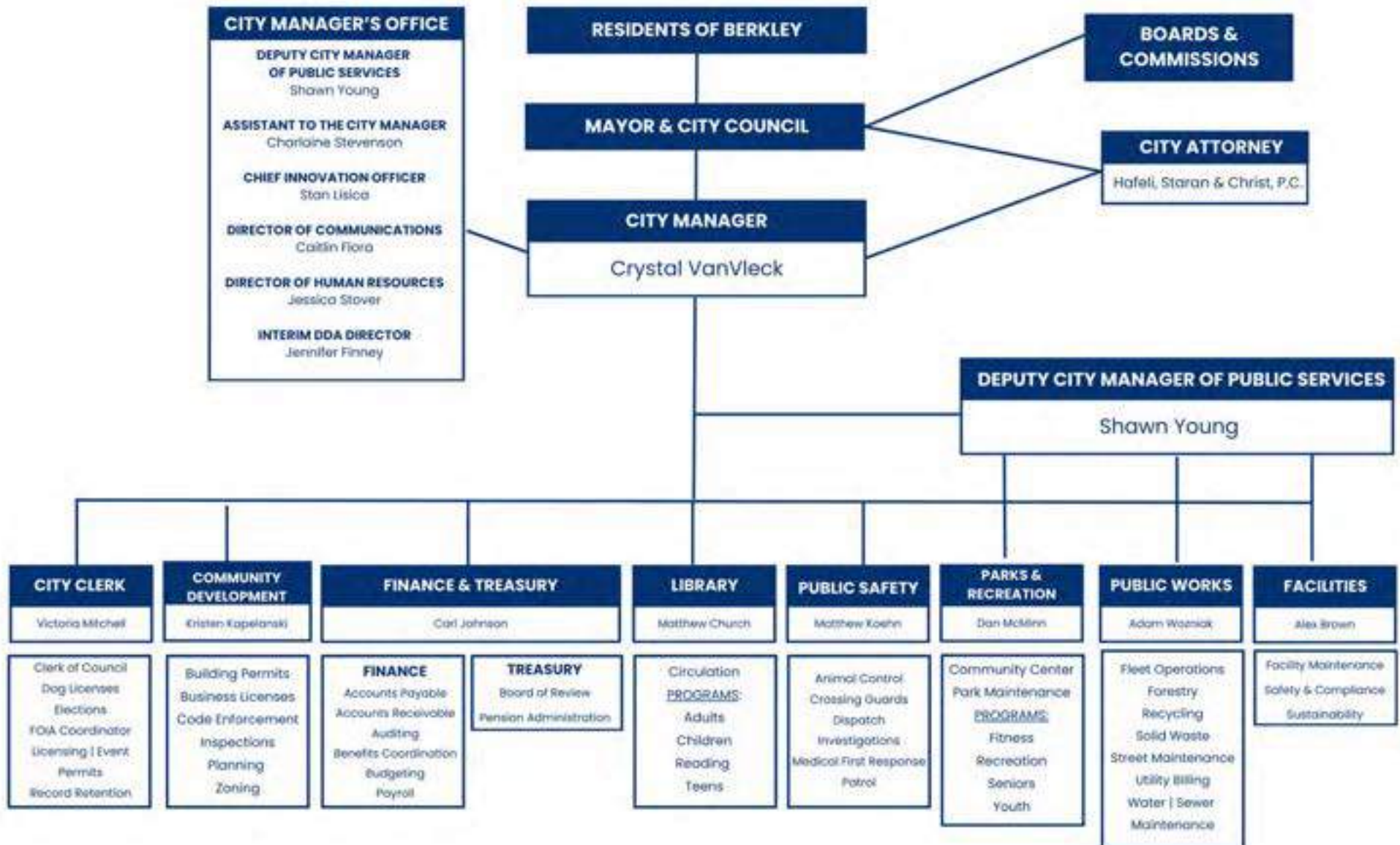






# CITY OF BERKLEY

## ORGANIZATIONAL CHART 2025-2026







# FINANCIAL POLICIES & BUDGET PROCESS

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## Budget & Accounting Policies

The budgeting and accounting policies of the City of Berkley conform to Generally Accepted Accounting Principles ([GAAP](#)) as applicable to governmental units. The following is a summary of the significant budget and accounting policies:

### Basis of Budgeting

All Governmental Funds, including the legally adopted General Fund, Special Revenue Funds, Debt Service, and Capital Projects funds, are budgeted for on a modified accrual basis. As an example, employee wages are budgeted to account for the number of days scheduled for each fiscal year. The basis of budgeting is the same as the basis of accounting.

### Basis of Accounting

The accrual basis of accounting is used by the Enterprise Funds. All Governmental Funds and Agency Funds use the modified-accrual basis of accounting. Modifications in such methods from the accrual basis are as follows:

Property tax revenue that is both measurable and available for use to finance operations is recorded as revenue when earned. Other revenue is recorded when received. Properties are assessed as of December 31 and become a lien at that point. The related property taxes are billed on July 1 of the following year. These taxes are due without a penalty during the period of July 1 through the first business day in September, with a penalty added after that date. After February 28, they are added to the County tax rolls. The County Tax Revolving Fund reimburses the City for the real property portion of these taxes and assumes collection responsibilities for both real and personal property taxes.

- Interest on bonded indebtedness and other long-term debts are not recorded as expenditures until the due date.
- Payments for inventory types of supplies are recorded as expenditures at the time of purchase.
- Normally, expenditures are not divided between years by the recording of prepaid expenses.
- The non-current portion of accumulated employee benefits is reflected in the government-wide financial statements.



# FINANCIAL POLICIES & BUDGET PROCESS

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## Fund Structure of Approved Budget

Annual budgets are legally adopted for the General Fund, Special Revenue, and Debt Service Funds as required by the State's [Uniform Budgeting and Accounting Act](#). In addition, although not required by law, budgets are prepared for the Capital Projects Funds, Enterprise Funds, and Fiduciary Funds. These budgets are prepared for financial management and project control purposes.

## Major Funds

The City of Berkley reports on three major governmental funds, which are the General, Major Streets, and Infrastructure Funds.

## Fund Accounting

The City's accounts are organized by funds and account groups, each of which is considered a separate accounting entity. Funds are established to segregate specific activities or objectives of a government in accordance with special regulations, restrictions, or limitations. The various funds are grouped into generic fund types in three broad fund categories as follows:

### Governmental Funds

**General Fund:** The General Fund contains the records of the ordinary activities of the City that are not accounted for in another fund. General Fund activities are financed by revenue from general property taxes, state-shared revenue, and other sources.

**Special Revenue Funds:** Special Revenue Funds are used to account for the proceeds of earmarked revenue from financing activities requiring separate accounting because of legal or regulatory provisions.

**Debt Service Fund:** Debt Service Funds are used to record the accumulation of resources and payment of principal and interest on general long-term obligations.

**Capital Projects Funds:** Capital Project Funds are used to account for the development of capital facilities or capital-related items other than those financed by the operations of the enterprise funds.

### Proprietary Funds

**Enterprise Funds:** The Water and Sewer Fund is used to account for the results of operations that provide a service to citizens financed by a user charge for the provision of that service.



# FINANCIAL POLICIES & BUDGET PROCESS

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## Trust and Agency Funds

**Fiduciary Funds:** Fiduciary Funds are used to account for assets held by the City in a trustee capacity or as an agent for individuals, organizations, other governments, or other funds. These include the Public Safety Retirement System, OPEB Fund, and the Tax Collection Fund. The OPEB Fund is an expendable trust fund and is accounted for in the same manner as governmental funds. The Tax Collection Fund and Agency Fund are custodial in nature and do not involve the measurement of results of operations.

## Fixed Assets and Long-Term Liabilities

Fixed assets used in governmental fund-type operations are accounted for in the government-wide financial statements rather than in the governmental funds. Depreciation is reported on a straight-line basis for such fixed assets. All fixed assets are recorded at cost or, if donated, at their estimated fair value on the date they were donated. Long-term liabilities expected to be financed from governmental funds are accounted for in the government-wide financial statements, not in the governmental funds.

Fixed assets and long-term liabilities relating to the Water and Sewer Fund are accounted for in those funds. Depreciation on such fixed assets is charged as an expense against the operations of the fund on a straight-line basis.

## Cash Equivalents

For purposes of the statement of cash flow, the Enterprise Funds consider all highly liquid investments with an original maturity of three months or less to be cash equivalents. In addition, the statements of cash flow include both restricted and unrestricted cash and cash equivalents.

## Inventories

Inventories in the Enterprise Funds are valued at cost, on a first-in, first out basis, which approximates market value.

## Deposits and Investments

The City believes that due to the dollar amounts of cash deposits and the limits of Federal Deposit Insurance Corporation, insuring all bank deposits is impractical. The City evaluates every financial institution it deposits City funds into, assessing the level of risk.



# FINANCIAL POLICIES & BUDGET PROCESS

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## Investments

The City is authorized by Michigan Public Act 20 of 1943 (as amended) to invest surplus monies in U.S. bonds and notes, certain commercial paper, U.S. government repurchase agreements, government agencies, Bankers' acceptances, and mutual funds and investment pools that are composed of authorized vehicles.

To the extent that cash from various funds has been pooled, related investment income is allocated to each fund based on relative participation in the pool, except that investment earnings by the Agency Funds are allocated to the General Fund.

## Financial Policies

The City of Berkley's financial policies, as compiled below, set forth the basic framework for the overall fiscal management of the City. Operating independently of changing economic circumstances and conditions, these policies help the decision-making process of the Mayor, City Council and City Manager. These policies provide guidelines for evaluating both current activities and proposals for future programs.

Most of the policies represent long-standing principles (i.e. traditions and practices) that have guided the City in the past and have helped maintain financial stability.

The City's financial policies serve the administration in the preparation of a balanced operating budget and management of the City's financial affairs.

## Operating Budget Policies

The City will attempt to maintain its present service level for all priority and essential services within the existing property tax millage limits.

- The City will maintain a budgetary control system to ensure adherence to the budget and will prepare periodic reports comparing actual revenues and expenditures with budgeted amounts.
- The City will emphasize efforts to reduce expenditures in major cost centers (i.e. energy, medical insurance premiums, street lighting, pension cost, and Worker's Compensation payments).
- The Water and Sewer Funds will be self-supporting.





# FINANCIAL POLICIES & BUDGET PROCESS

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- The City will protect against catastrophic losses through a combination of insurance and maintaining appropriate fund balance levels.

## Fund Balance/Reserve Policies

The Mayor and City Council follow the following fund balance/reserve policies:

- The General Fund has a minimum fund balance of 20%, a targeted fund balance of 25–35%, and a maximum fund balance of 40%. If the fund balance falls below the minimum, the City will fully replenish it to the minimum within two years.
- The Major and Local Street funds have a targeted fund balance of 50–75% without a minimum or maximum.
- The Solid Waste Fund has a targeted fund balance of 20–40%.
- The Water and Sewer Fund has a targeted working capital range of \$2 to \$3 million.

## Fund Balance/Reserve Policies (cont.)

- For all funds not specifically listed above, there is no minimum, maximum, or targeted balance.
- The City will establish reserves to comply with the terms and conditions of the debt instruments used to finance capital improvement projects.
- The City will review fund balance/reserves annually during the budget process.

## Revenue Policies

The City will estimate its annual revenue by a conservative, objective, and analytical process.

The City will review fees and charges annually. It will attempt to design and/or modify revenue systems to include provisions that automatically allow charges to grow at a rate that keeps pace with the cost of providing the service.

Non-recurring revenue will be used only to fund non-recurring expenditures.

## Capital Improvements Policies

The City will develop a multi-year plan for capital improvements



# FINANCIAL POLICIES & BUDGET PROCESS

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The City will maintain its physical assets at a level adequate to protect the City's capital investment and to reduce future maintenance and replacement costs. The budget will provide for the adequate maintenance and the orderly replacement of the capital plant and equipment from current revenues, where possible.

The City will use the following criteria to evaluate the relative merit of each capital project:

- Projects specifically included in an approved replacement schedule will receive priority consideration.
- Projects will be evaluated based on the impact on the operating budget; those that reduce the cost of operations or energy consumption will receive priority consideration.

## Debt Policies

The City of Berkley, as a home rule unit, presently has a statutory limit on the amount of general obligation debt outstanding. The limit on the outstanding indebtedness cannot exceed 10% of the equalized assessed valuation. Using 2024 values (the most recent available information), this limitation would allow for approximately \$102.4 million in debt.

## Investment Policies

The City's investment objectives in priority order are: Safety, Liquidity, and Yield.

Disbursement, collection, and deposit of all funds will be managed to ensure that all cash is invested promptly until needed.

The City will strive to maximize the return on the portfolio, with the primary objective of preserving capital by prudent investment practices.

For the City's complete investment policies, please contact the Finance Department.

## Accounting, Auditing and Financial Reporting Policies

An independent audit will be performed annually.

The City will produce annual financial reports following Generally Accepted Accounting Principles (GAAP) as outlined by the [Governmental Accounting Standards Board \(GASB\)](#).



# FINANCIAL POLICIES & BUDGET PROCESS

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The City will maintain strong internal audit controls.

## Purchasing Policies

The Purchasing Division is responsible for the administration of the procurement process for the supplies, materials, and equipment required for the operation and maintenance of the City's departments and facilities.

Purchases will be made in accordance with federal, state, and municipal requirements.

Purchases will be made in an impartial, economical, competitive, and efficient manner.

Purchases under \$3,000: Department's responsibility to obtain best price possible and to foster competition.

Purchases \$3000 – \$7,499: Department's responsibility to obtain competitive quotes in writing and then to obtain the best price possible.

Purchases over \$7,500: Formal sealed bids must be obtained, with certain exceptions laid out in Section 2-136 of our [purchasing policy on Municode](#). All bids and/or written quotations and requests for proposals are awarded by the Mayor and City Council.

## Grant Policies

The City Manager reviews and approves department requests to pursue grants.

Completed applications requiring a local match are presented for approval to the Mayor and City Council. The approval includes financing mechanisms and required matching funds.

Upon notice of grant award, the Mayor and City Council approve the budget and formal acceptance. The Finance Department works with the initiating department for proper reporting and program monitoring.



# FINANCIAL POLICIES & BUDGET PROCESS

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## Budget Policies & Procedures

### Role of the Budget

The budget provides the annual financial plan for the management of the City's affairs. The document compiles the financial data needed to support Berkley's comprehensive decision-making/policy development process. This Budget is based on the Mayor and City Council's goals, the Capital Improvements needs, the City's financial policies, past Mayor and City Council direction, and City Manager and departmental review of operations.

### Budget Strategy

The current financial plan is based upon Mayor and Council direction and current revenue constraints. These factors govern the stewardship of public funds and reflect the following principles:

- Basic services will be maintained at least at current levels and will be funded adequately.
- Program costs will reflect a true picture of the cost of operations. Depreciation will not be included in program costs, and some City-wide expenses will be separated from program expenditures for ease of administration.
- Program services will be provided in the most efficient method while meeting the needs of the public.
- Necessary infrastructure improvements will be undertaken to meet needs.
- Revenue will be estimated at realistic levels.
- Reserves will be programmed at appropriate levels to protect the City from future uncertainties.
- The budget will comply with provisions of the State Constitution, City Charter, Municipal Code, and sound fiscal policy.

### Balanced Operating Budget

A balanced budget is a basic budgetary constraint intended to ensure that the City does not spend beyond its means. The City must function within the limits of the financial resources available and, under normal circumstances, requires commitment to a balanced budget. The appropriated budget cannot exceed available resources, defined as revenues generated in the current period added to balances carried forward from prior years. Any deviation from a balanced operating budget requires disclosure when it occurs.





# FINANCIAL POLICIES & BUDGET PROCESS

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## Impact of Capital Budget on the Operating Budget

As new policies and programs are approved, both the operating and capital budgets are impacted. For example, an increase in service levels approved as part of the operating budget would have long-term effects on the Capital Improvements Program. Conversely, a restrictive change to the use of long-term debt would slow capital programs.

Regardless of the difference between the operating and capital budgets, the two are interdependent. Budgetary policy states that all foreseeable operating costs related to capital projects should be estimated and provided for as part of the review process associated with the Capital Improvements Program. In addition, departments are required to include costs associated with operating and maintaining capital projects that are requested for the upcoming year.

## Budgetary Internal Controls

The annual adopted budget provides a basis of control over financial operations. The objective of these budgetary controls is to ensure compliance with legal provisions embodied in the approved budget. Activities of the General Fund, Special Revenue, and Debt Service Funds are included in the annual approved budget. The level of budgetary control (the level at which expenditures cannot exceed the appropriated amount) is established by function for the General Fund and at the fund level for the Special Revenue and Debt Service Funds.

## Independent Audit

State statutes and the City Charter require an annual audit of all accounts of the City by certified public accountants selected by the Mayor and City Council. Andrews Hooper Pavlik PLC has fulfilled this requirement. The auditor's report is included in the City's [Annual Financial Report](#) with supplemental Information and is available to the public.

## Budget Process

The City's annual budget covers a twelve-month period beginning July 1 and ending June 30. The budget is an ongoing process that includes phases of development, adoption, implementation, and oversight throughout the year.



# FINANCIAL POLICIES & BUDGET PROCESS

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Several goals are associated with the preparation and development of the City's annual budget document. First, the budget is a policy document. The document should help foster comprehensive community problem-solving and policy-making. Second, the budget is a financial plan and management tool. The document should help staff in monitoring revenue and expenditures and in evaluating the effectiveness of City programs and services. Third, the budget serves as an important reference document. It should provide the Mayor and City Council, the public, and staff with extensive information on the nature and scope of municipal operations and services.

## Building the Recommended Budget

Under the direction of the City Manager, and with the assistance of the City Assessor and other Department Heads and staff, the Finance Director prepares an initial projection of revenue for the next fiscal year. This projection is based on reasonable assumptions of revenue generated by estimated property values and current user fees, and the best available information from the State of Michigan.

Spending priorities are based on the City's financial policies and mandated requirements, and focus on maintaining services, covering insurance and bond requirements, and balancing labor, supplies, and equipment.

## City Manager Review

The City Manager makes the final adjustments and works with the Finance Director and staff to prepare the draft of the Proposed Budget.

## Mayor and City Council Adoption

After receiving the Proposed Budget, a public hearing is conducted to ensure that all persons and organizations are provided an opportunity to be heard. The Mayor and City Council then make their revisions and adopt the budget for the next fiscal year at a regular or special meeting on or before the last meeting in May.

## Budget Amendment Process

After the budget is adopted, the primary responsibility for managing it falls to the individual departments. The Finance Department reviews the monthly budget reports concurrently with the



# FINANCIAL POLICIES & BUDGET PROCESS

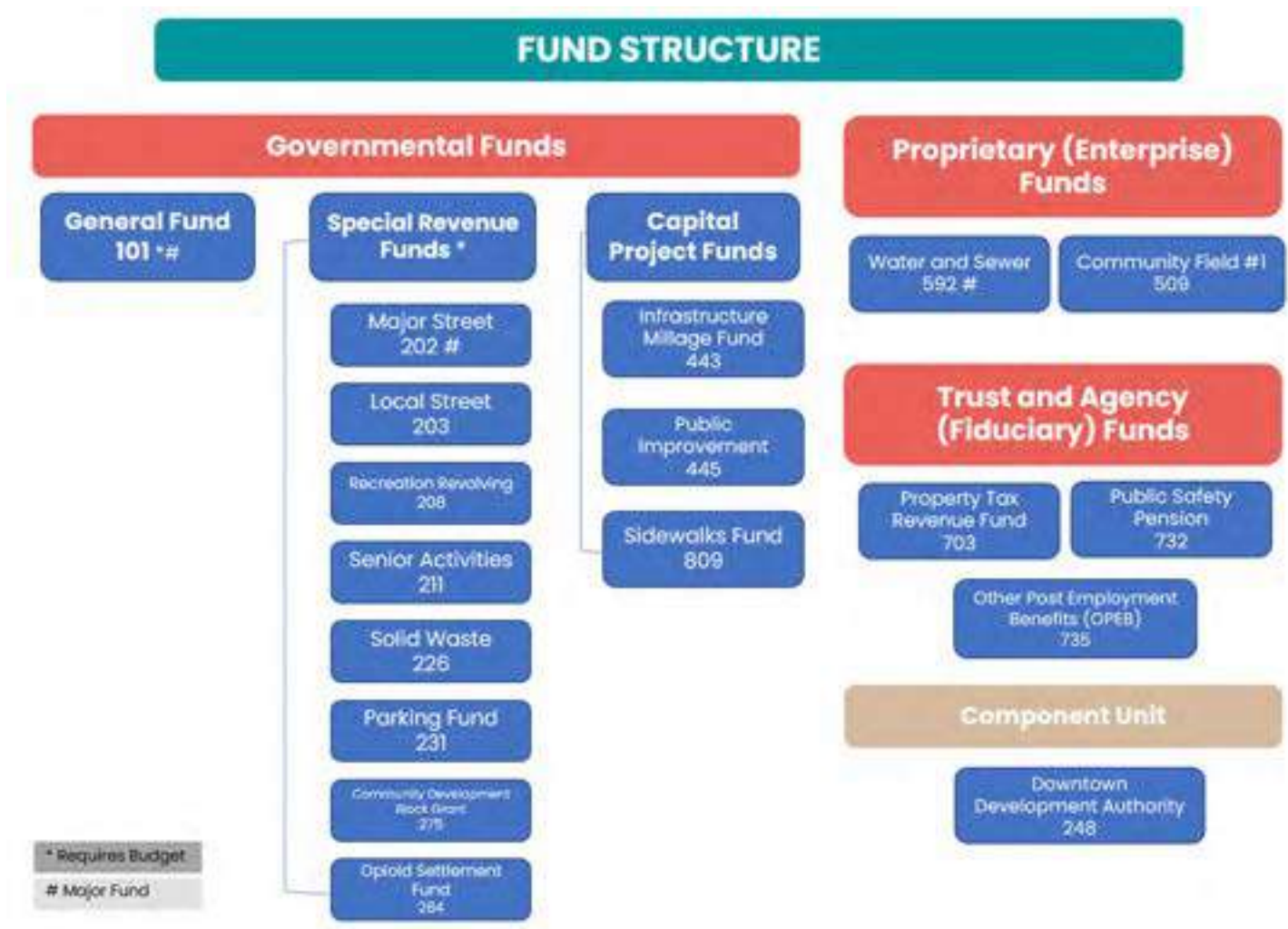
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departments. Management flexibility is given to each department to exceed a line item within a function if it can be compensated for within that same function.

If a function must be adjusted, a formal budget amendment must be requested. The Finance Department prepares a formal budget amendment that is presented to the Mayor and City Council along with a report on the status of the contingency balance for approval.



# FUND STRUCTURE



## Appropriated Funds

Annual budgets are legally adopted for the General Fund and Special Revenue Funds as required by the State's [Uniform Budgeting and Accounting Act](#). In addition, although not required by law, budgets are prepared for the City's Capital Projects, Enterprise, and Pension Funds. These budgets are prepared for financial management and project control purposes.

## Major Funds

The City of Berkley reports on TWO major governmental funds, which are the General Fund and Major Street Funds.





# FUND STRUCTURE

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## Fund Types

The accounts of the City are organized by funds and account groups, each of which is considered a separate accounting entity. Funds are established to segregate specific activities or objectives of a government in accordance with special regulations, restrictions, or limitations. The various funds are grouped into generic fund types in four broad fund categories as follows:

### Governmental Funds

**General Fund:** The General Fund contains the records of the ordinary activities of the City that are not accounted for in another fund. General Fund activities are financed by revenue from general property taxes, state-shared revenue, and other sources.

**Special Revenue Funds:** Special Revenue Funds are used to account for the proceeds of earmarked revenue from financing activities requiring separate accounting because of legal or regulatory provisions.

**Debt Service Funds:** Debt Service Funds are used to account for the annual payment of principal and interest concerning certain long-term debt other than debt payable from the operations of an enterprise fund.

**Capital Project Funds:** Capital Project Funds are used to account for the development of capital facilities other than those financed by the operations of the enterprise funds.

### Proprietary Funds

**Enterprise Funds:** Enterprise Funds are used to account for the results of operations that provide a service to citizens, financed by a user charge for the provision of that service. Besides normal operations, the Water and Sewer Fund provides for capital investment, which is funded by a one-time connection charge.

### Fiduciary Funds

Fiduciary Funds are used to account for assets held by the City in a trustee capacity or as an agent for individuals, organizations, other governments, or other funds.

### Component Units

A governmental component unit is a legally separate organization for which the elected officials of the primary government are financially accountable.



# FUND STRUCTURE

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## Fund Descriptions

### Governmental Funds

#### General Fund

The General Fund is used to account for all financial resources traditionally associated with City government, except those required to be accounted for in another fund. The General Fund includes police, fire, planning, engineering, building inspection, neighborhood services, public works, assessing, and internal services such as information technology, communications, and finance. The two primary sources of revenue for this fund are general property taxes and State Shared Revenue. In addition, the General Fund also receives revenue from licenses and permits, grants, fines and forfeitures, and interest on investments.

#### SPECIAL REVENUE FUNDS

**Major Street Fund:** The Major Street Fund's purpose is to account for expenditures associated with the construction and maintenance needs of the Major Street portion (as defined by [State Act 51](#)) of the City's street network. Financing is primarily provided by the City's share of State gas and weight taxes.

**Local Street Fund:** The Local Street Fund's purpose is to account for expenditures associated with the construction and maintenance needs of the City's Local Streets. Financing is provided by the City's share of State gas and weight taxes and transfers from other funds.

**Recreation Revolving Fund:** The Recreation Revolving Fund is used to account for all revenue and expenditures associated with Parks and Recreation's youth and adult programs. The fund also accounts for all Dream Cruise activity. User fees are the main revenue source for this fund.

**Senior Activities Fund:** The Senior Activities Fund is used to account for all senior recreation revenue and expenditures associated with senior programs planned in the Parks and Recreation Department. The fund also accounts for all SMART senior transportation activities. User fees and grants are the main revenue source for this fund.

**Solid Waste Fund:** The Solid Waste Fund records the activity related to the City trash collection program. Financing for the annual service is provided by a dedicated property tax millage.

**Parking Fund:** The Parking Fund records the fees collected for on-street parking. The revenue collected in this fund is used to maintain City-owned parking lots and any other parking-related costs.



# FUND STRUCTURE

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## Fund Descriptions

### Governmental Funds

**Community Development Block Grant (CDBG) Fund:** This fund records federal grant monies passed through to the City from Oakland County. These funds are used to support disability services, yard services, and the removal of architectural barriers.

**Opioid Settlement Fund:** This fund was established to track the funds received from the [nationwide settlement reached in July 2021](#) to resolve all opioid litigation brought by states and local political subdivisions against several major pharmaceutical distributors.

### CAPITAL PROJECT FUNDS

**Infrastructure Millage Fund:** This fund is used to account for capital activity and related tax revenue of the 2018 voter-approved millage of not to exceed 2 mills.

**Public Improvement Fund:** This fund was established to set aside reserves for significant capital projects that cannot be purchased in a single year, given the size of the project. The funds will be set aside in the Public Improvement Fund as appropriated during the annual budget process.

**Sidewalk Fund:** This fund is used to account for any special assessment sidewalk projects within the City. Special assessment revenue will be collected to offset the actual construction expenditures of sidewalk projects. Engineering costs for the sidewalks will be paid from the Major and Local Street Funds.

### Enterprise Funds

**Water and Sewer Fund:** The Water and Sewer Fund is used to account for the results of operations that provide a service to citizens financed by a user charge for the provision of that service.

**Community Field #1 Fund:** This fund is used to account for rental fees collected for use of Community Field #1. The rental fees will be utilized to maintain and improve the field.

### Trust and Agency Funds

**Property Tax Revenue Fund:** This fund is used to account for assets held by the City as an agent for individuals, private organizations, and/or other governments. The fund primarily holds tax remittances due to schools and other governmental units.



# FUND STRUCTURE

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## Fund Descriptions

**Public Safety Pension Fund:** The Public Safety Pension Fund accumulates resources for pension benefit payments to qualified public safety employees.

**Other Post-Employment Benefits (OPEB) Fund:** This fund accumulates resources for future retiree healthcare payments to retirees.

### Component Unit

**Downtown Development Authority:** The Downtown Development Authority Fund accounts for the activity to correct and prevent deterioration, encourage historical preservation, and promote economic growth within the downtown district. The fund is primarily funded by property tax revenue captures and a millage.





# BUDGET OVERVIEW

## Significant Budgetary Items & Trends

### Headlee Amendment

The Headlee amendment of the State Constitution can reduce the amount of operating millages allowed by City Charter. This amendment limits the growth in property tax revenue from existing property to the rate of inflation. It accomplishes this by reducing millages proportionally by the amount that market changes exceed the State's inflation rate multiplier. The table on this page shows the millages, revenues, remaining capacities, and the proportion of each fund's property tax revenue.

### CITY CHARTER RATES, HEADLEE MAXIMUM RATES AND 2025 TAX LEVY

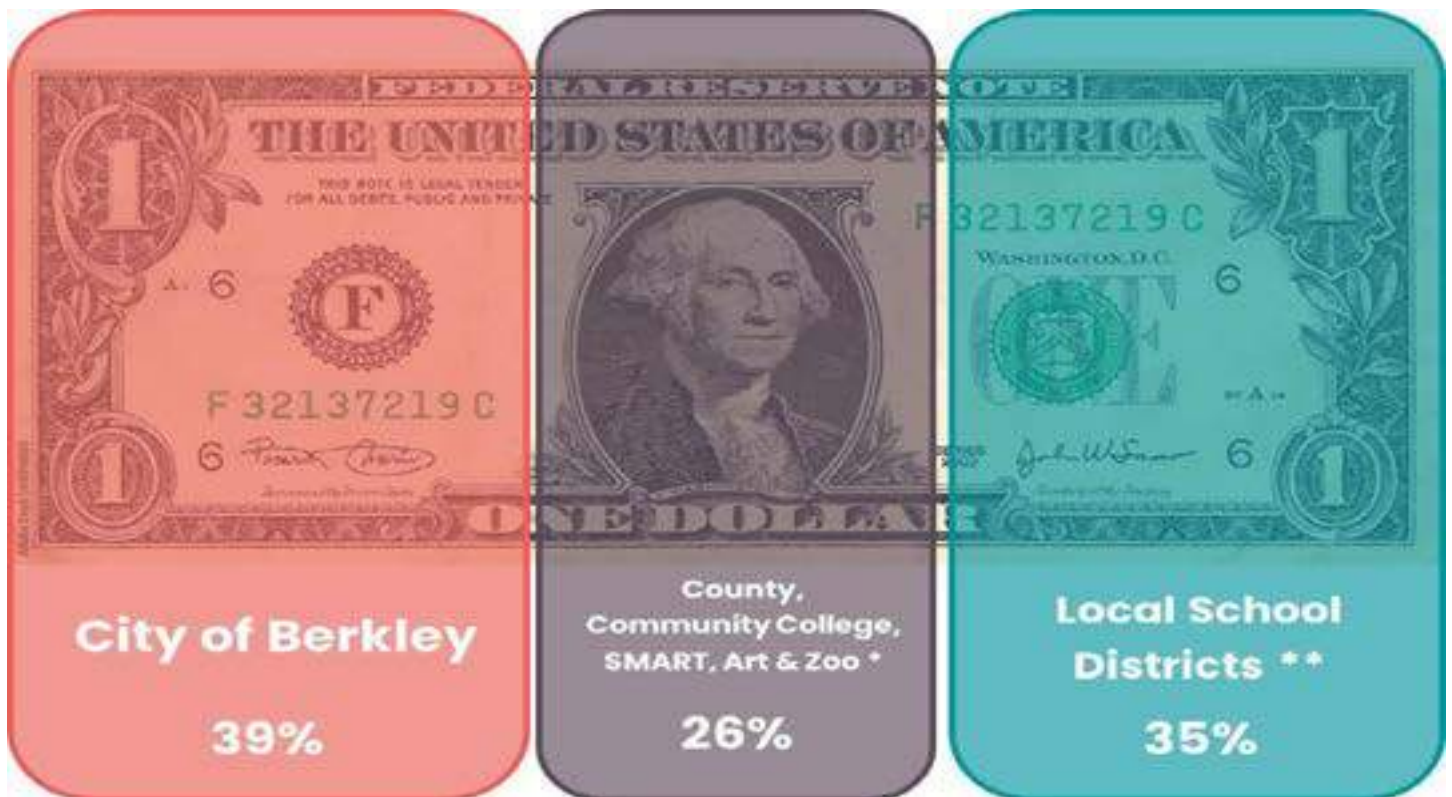
		ADJUSTED CHARTER MAXIMUM		
		HEADLEE		
SOURCE	CITY CHARTER	2024	2025	2025 LEVY
GENERAL FUND - Operating	10.0000	5.3247	5.2506	5.2506
GENERAL FUND - Operating (voted)	3.0000	2.5314	2.4962	2.4962
GENERAL FUND - PA 359 Advertising*	0.0000	2.1294	2.0998	0.0579
SANITATION	3.0000	1.5970	1.5748	1.5748
POLICE/FIRE	3.0000	1.5970	1.5748	1.5748
PUBLIC SAFETY PENSION	0.0000			2.7000
CAPITAL IMPROVEMENT	2.0000	1.8334	1.8079	1.8079
TOTAL	21.0000	15.0129	14.8041	15.4622

SOURCE	MILLAGE			REVENUE
	2024-25	2025-26	CHANGE	
GENERAL FUND - Operating	5.3247	5.2506	(0.0741)	\$ 4,413,300
GENERAL FUND - Operating (voted)	2.5314	2.4962	(0.0352)	\$ 2,093,400
GENERAL FUND - PA 359 Advertising*	0.0608	0.0579	(0.0029)	\$ 50,000
SANITATION	1.5970	1.5748	(0.0222)	\$ 1,320,000
POLICE/FIRE	1.5970	1.5748	(0.0222)	\$ 1,320,600
PUBLIC SAFETY PENSION	2.7000	2.7000	0.0000	\$ 2,200,000
CAPITAL IMPROVEMENT	1.8334	1.8079	(0.0255)	\$ 1,516,000
<b>TOTAL</b>	<b>15.6443</b>	<b>15.4622</b>	<b>(0.1821)</b>	<b>\$ 12,913,300</b>
* Per Public Act 359 of 1925, level up to 4 mils not to exceed \$50,000				



# BUDGET OVERVIEW

## Your Berkley Tax Dollars At Work



\*Property tax dollars allocated to the Detroit Institute of Arts, the Detroit Zoo, and SMART were all individual tax proposals approved at the County level.

\*\*There are two different school districts in the City of Berkley: Berkley School District and Royal Oak School District. An individual's property tax bill reflects which school district their property is located in.

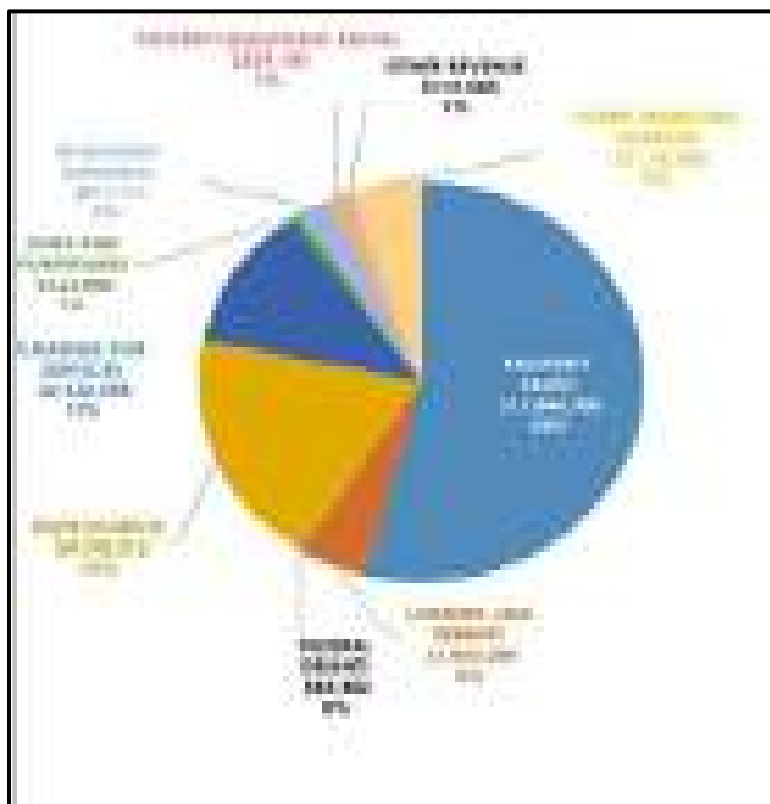


# BUDGET OVERVIEW

## Fiscal Year 2025-2026 Budgeted Revenues (by category)

The following represents Fiscal Year 2025-26 budgeted revenue (General Fund and Special Revenue Funds), as well as a four-year comparison of revenue by fund.

Fiscal Year 2025-26 Budgeted Revenue (by category)			
ESTIMATED REVENUES	GENERAL FUND	SPECIAL REVENUE FUNDS	TOTAL BUDGETED
PROPERTY TAXES	\$ 10,526,300	\$ 1,320,000	\$ 11,846,300
LICENSES AND PERMITS	1,066,200	-	\$ 1,066,200
FEDERAL GRANTS	1,500	54,000	\$ 55,500
STATE SOURCES	2,009,212	2,189,000	\$ 4,198,212
CHARGES FOR SERVICES	1,372,858	1,179,500	\$ 2,552,358
FINES AND FORFEITURES	166,000	-	\$ 166,000
INVESTMENT EARNINGS	309,451	161,660	\$ 471,111
PROPERTY/EQUIPMENT RENTAL	329,100	-	\$ 329,100
OTHER REVENUE	16,000	97,300	\$ 113,300
OTHER FINANCING SOURCES	308,700	810,000	\$ 1,118,700
<b>TOTAL ESTIMATED REVENUES</b>	<b>\$ 16,105,321</b>	<b>\$ 5,811,460</b>	<b>\$ 21,916,781</b>



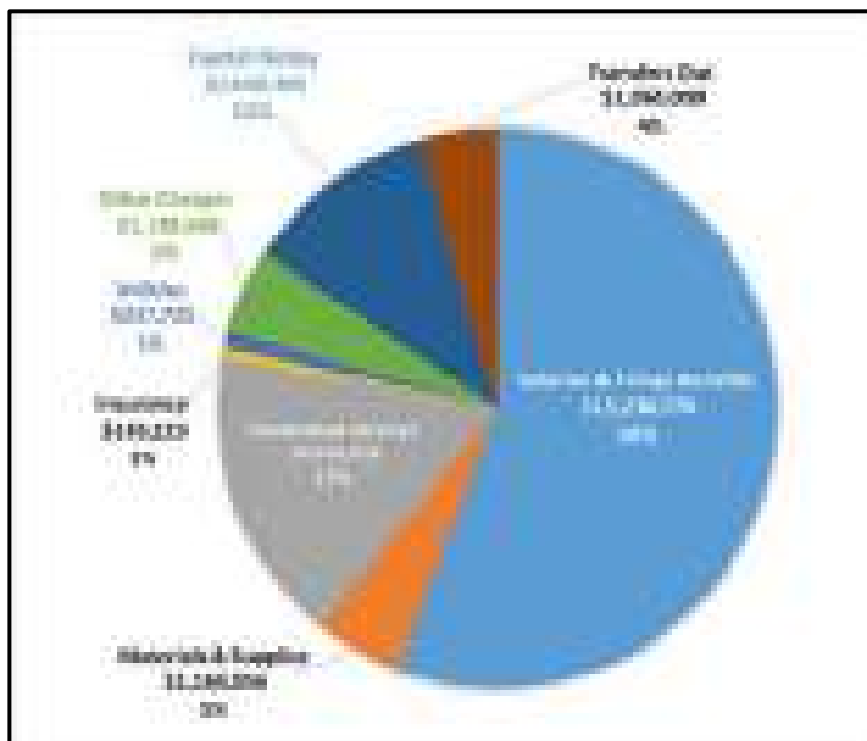


# BUDGET OVERVIEW

## Fiscal Year 2025-26 Budgeted Expenditures (by category)

The following represents Fiscal Year 2025-26 budgeted expenditures (General Fund and Special Revenue Funds), as well as a four-year comparison of expenditures by fund.

Fiscal Year 2025-26 Budgeted Expenditures (by category)			
EXPENDITURES	GENERAL FUND	SPECIAL REVENUE FUNDS	TOTAL BUDGETED
Salaries & Fringe Benefits	\$ 11,399,433	\$ 1,839,337	\$ 13,238,770
Materials & Supplies	863,406	304,650	\$ 1,168,056
Contractual Services	1,399,069	2,655,950	\$ 4,055,019
Insurance	136,000	9,223	\$ 145,223
Utilities	158,000	79,725	\$ 237,725
Other Charges	747,713	390,975	\$ 1,138,688
Capital Outlay	431,700	2,216,600	\$ 2,648,300
Transfers Out	970,000	90,000	\$ 1,060,000
<b>TOTAL EXPENDITURES</b>	<b>\$ 16,105,321</b>	<b>\$ 7,586,460</b>	<b>\$ 23,691,781</b>







# BUDGET OVERVIEW

## Summary of Street Funds

The following summarizes combined revenues and expenditures for the two Street Funds: Major Street Fund 202 and Local Street Fund 203.

SUMMARY OF STREET FUNDS - MAJOR STREET (202) AND LOCAL STREETS (203)						
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED	
	2023-24	2024-25	2025-26	2026-27	2027-28	
<b>ESTIMATED REVENUES</b>						
STATE SOURCES	\$ 1,899,671	\$ 2,000,800	\$ 2,031,000	\$ 2,090,000	\$ 2,150,000	
CHARGES FOR SERVICES	12,087	44,000	45,000	46,000	47,000	
LICENSES AND PERMITS	96,952	0	0	0	0	
INVESTMENT EARNINGS	101,314	74,421	99,650	87,124	85,683	
OTHER REVENUE	31,928	35,000	11,000	11,000	11,000	
<b>TOTAL ESTIMATED REVENUES</b>	<b>2,141,952</b>	<b>2,154,221</b>	<b>2,186,650</b>	<b>2,234,124</b>	<b>2,293,683</b>	
<b>APPROPRIATIONS</b>						
PUBLIC SERVICE	2,277,894	2,125,147	2,073,650	2,014,124	2,153,683	
CAPITAL OUTLAY	1,864,503	288,000	1,968,000	220,000	140,000	
<b>TOTAL APPROPRIATIONS</b>	<b>4,142,397</b>	<b>2,413,147</b>	<b>4,041,650</b>	<b>2,234,124</b>	<b>2,293,683</b>	
<b>OTHER FINANCING SOURCES (USES)</b>						
OPERATING TRANSFERS IN	200,000	0	90,000	410,000	520,000	
OPERATING TRANSFERS OUT	(200,000)	0	(90,000)	(410,000)	(520,000)	
<b>TOTAL OTHER SOURCES</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>(2,000,445)</b>	<b>(258,926)</b>	<b>(1,855,000)</b>	<b>0</b>	<b>0</b>	
<b>BEGINNING FUND BALANCE</b>	<b>4,114,371</b>	<b>2,113,926</b>	<b>1,855,000</b>	<b>0</b>	<b>0</b>	
<b>ENDING FUND BALANCE</b>	<b>\$ 2,113,926</b>	<b>\$ 1,855,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	



# BUDGET OVERVIEW

## Capital Improvement Program (CIP) Expenditures by Fund

The following is a table that summarizes the City's expenditures/expenses for all CIP projects by funding source.

FY 2025-26 CAPITAL IMPROVEMENTS BY FUND							
	Budget	Projected		Forecast			
By Fund	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
101 - General Fund	\$ 431,700	\$ 494,000	\$ 448,000	\$ 1,312,613	\$ 507,960	\$ 4,748,370	\$ 7,942,643
202 - Major Street Fund	\$ 1,968,000	\$ 220,000	\$ 140,000	\$ 150,000	\$ 160,000	\$ -	\$ 2,638,000
208 - Recreation Revolving Fund	\$ 167,100	\$ 120,000	\$ 60,000	\$ 122,500	\$ -	\$ 1,132,500	\$ 1,602,100
226 - Solid Waste	\$ 50,000	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 110,000
443 - Infrastructure Millage Fund	\$ 1,363,900	\$ 2,439,100	\$ 1,611,000	\$ 1,660,000	\$ 1,340,000	\$ -	\$ 8,414,000
445 - Public Improvements Fund	\$ -	\$ 300,000	\$ 800,000	\$ -	\$ -	\$ -	\$ 1,100,000
592 - Water Sewer Fund	\$ 2,220,000	\$ 3,585,800	\$ 3,569,000	\$ 4,325,000	\$ 3,635,000	\$ 5,135,000	\$ 22,469,800
809 - Sidewalks	\$ -	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 2,000,000
Grand Total	\$ 6,200,700	\$ 7,618,900	\$ 7,028,000	\$ 7,970,113	\$ 6,042,960	\$ 11,415,870	\$ 46,276,543





# FINANCIAL SCHEDULES

CONSOLIDATED FINANCIAL SCHEDULE							
	GOVERNMENTAL FUNDS						
	GENERAL FUND	SPECIAL REVENUE FUNDS	CAPITAL PROJECT FUNDS	ENTERPRISE FUNDS	FIDUCIARY FUNDS	TOTAL BUDGET	% of Total Revenues/ Expenditures
	BUDGET 2025-26	BUDGET 2025-26	BUDGET 2025-26	BUDGET 2025-26	BUDGET 2025-26	BUDGET 2025-26	BUDGET 2025-26
<b>ESTIMATED REVENUES</b>							
PROPERTY TAXES	\$ 10,526,300	\$ 1,320,000	\$ 1,516,000	\$ -	\$ -	\$ 13,362,300	35.8%
FEDERAL GRANTS	1,066,200	54,000	-	-	-	\$ 1,120,200	3.0%
STATE SOURCES	1,500	2,189,000	-	570,900	-	\$ 2,761,400	7.4%
CHARGES FOR SERVICES	2,009,212	1,179,500	-	9,854,773	-	\$ 13,043,485	34.9%
FINES AND FORFEITURES	1,372,858	-	-	-	-	\$ 1,372,858	3.7%
LICENSES AND PERMITS	166,000	-	-	-	-	\$ 166,000	0.4%
EMPLOYER CONTRIBUTIONS	-	-	-	-	1,500,000	\$ 1,500,000	4.0%
EMPLOYEE CONTRIBUTIONS	-	-	-	-	35,000	\$ 35,000	0.1%
INVESTMENT EARNINGS	309,451	161,660	43,000	10,038	1,568,000	\$ 2,092,149	5.6%
RENTAL INCOME	-	-	-	30,000	-	\$ 30,000	0.1%
OTHER REVENUE	653,800	97,300	-	32,000	-	\$ 783,100	2.1%
OTHER FINANCING SOURCES	-	810,000	250,000	-	-	\$ 1,060,000	2.8%
<b>TOTAL ESTIMATED REVENUES</b>	<b>\$ 16,105,321</b>	<b>\$ 5,811,460</b>	<b>\$ 1,809,000</b>	<b>\$ 10,497,711</b>	<b>\$ 3,103,000</b>	<b>\$ 37,326,492</b>	<b>100.0%</b>
<b>APPROPRIATIONS</b>							
SALARIES AND FRINGE BENEFITS	\$ 11,399,433	\$ 1,839,337	\$ -	\$ 1,635,345	\$ -	\$ 14,874,115	40.2%
MATERIALS AND SUPPLIES	863,406	304,650	-	282,700	-	\$ 1,450,756	3.9%
CONTRACTUAL SERVICES	1,399,069	2,655,950	-	5,319,573	-	\$ 9,374,592	25.3%
INSURANCE	136,000	9,223	-	7,500	-	\$ 152,723	0.4%
UTILITIES	158,000	79,725	-	18,350	-	\$ 256,075	0.7%
OTHER CHARGES	747,713	390,975	-	98,000	-	\$ 1,236,688	3.3%
CAPITAL OUTLAY	431,700	2,216,600	1,363,900	2,204,000	-	\$ 6,216,200	16.8%
BENEFIT PAYMENTS	-	-	-	-	2,100,000	\$ 2,100,000	5.7%
ADMINISTRATIVE EXPENSES	-	-	-	-	229,000	\$ 229,000	0.6%
DEBT SERVICE	-	-	-	89,243	-	\$ 89,243	0.2%
OTHER FINANCING USES	970,000	90,000	-	-	-	\$ 1,060,000	2.9%
<b>TOTAL APPROPRIATIONS</b>	<b>\$ 16,105,321</b>	<b>\$ 7,586,460</b>	<b>\$ 1,363,900</b>	<b>\$ 9,654,711</b>	<b>\$ 2,329,000</b>	<b>\$ 37,039,392</b>	<b>100%</b>
Estimated Beginning Unassigned Fund Balance - July 1, 2025						\$ 55,140,940	
Estimated Ending Unassigned Fund Balance - June 30, 2026						\$ 55,428,040	
Fund Balance as a percentage of total annual expenditures						150%	

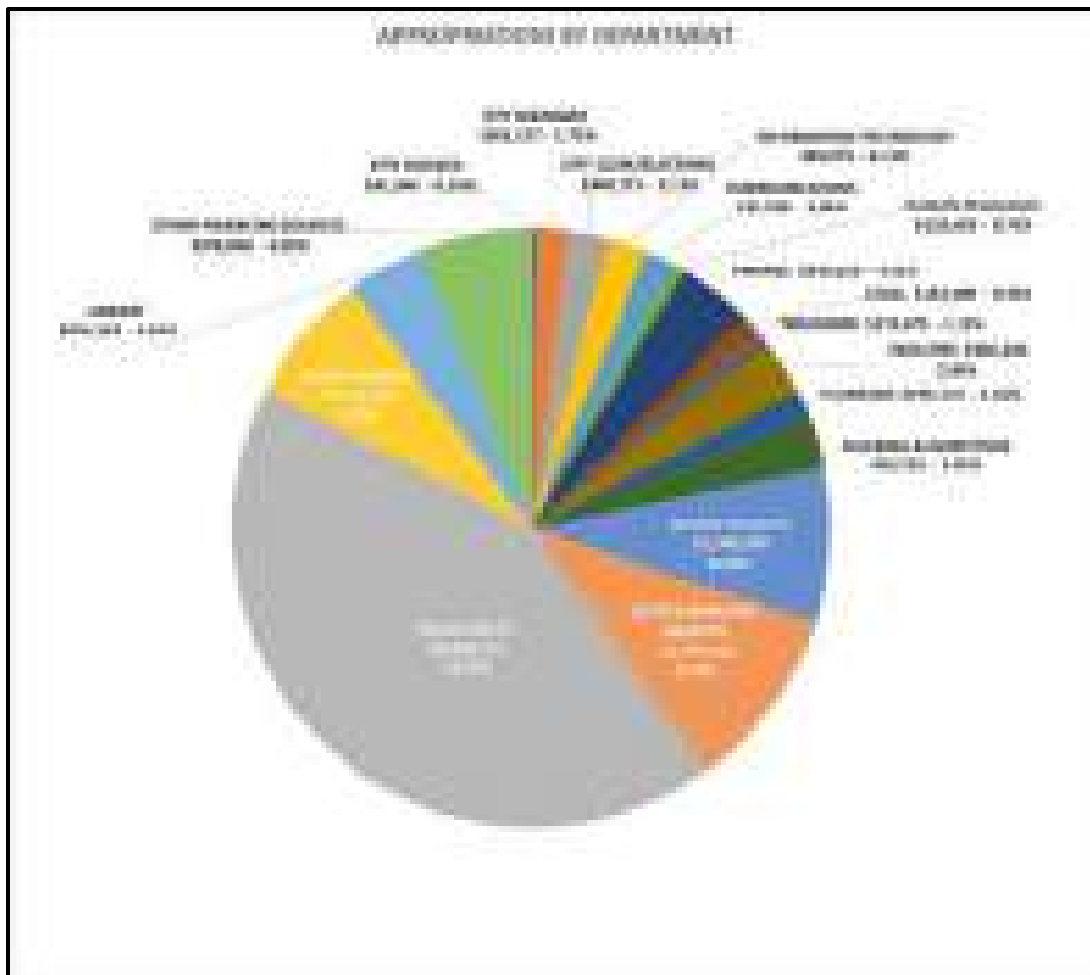


# FINANCIAL SCHEDULES

## Governmental Funds

### General Fund

The General Fund is used to account for all financial resources traditionally associated with City government, except those required to be accounted for in another fund. The General Fund includes police, fire, city manager, building inspection, senior and recreation services, public works, assessing, and internal services such as legal and finance, among others. The two primary sources of revenue for this fund are general property taxes and state shared revenue. In addition, the General Fund also receives revenue from licenses and permits, grants, fines and forfeitures, and interest on investments.







# FINANCIAL SCHEDULES

*Note: In order to streamline the budget, categories with this symbol (★) have been removed and their expenditures have been incorporated into a variety of other department funds.*

GENERAL FUND						
		ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
		2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>						
	PROPERTY TAXES	\$ 9,617,591	\$ 10,382,370	\$ 10,526,300	\$ 10,905,900	\$ 11,122,500
	FEDERAL GRANTS	675,828	1,900,500	1,500	1,500	1,500
	STATE SOURCES	1,981,880	2,063,991	2,009,212	2,068,728	2,129,970
	CHARGES FOR SERVICES	1,305,490	1,364,775	1,372,858	1,370,458	1,354,710
	FINES AND FORFEITURES	150,730	178,000	166,000	166,000	166,000
	LICENSES AND PERMITS	917,429	916,300	1,066,200	1,084,500	1,103,800
	INVESTMENT EARNINGS	281,666	224,389	309,451	301,523	292,042
	OTHER REVENUE	706,024	656,500	653,800	706,200	688,600
	<b>TOTAL ESTIMATED REVENUES</b>	<b>15,636,638</b>	<b>17,686,825</b>	<b>16,105,321</b>	<b>16,604,809</b>	<b>16,859,122</b>
<b>APPROPRIATIONS</b>						
	CITY COUNCIL	31,524	46,500	41,840	107,440	38,500
	MANAGER	426,081	423,900	282,317	286,412	294,855
	CITY CLERK/ELECTIONS	271,837	329,600	346,771	321,007	328,123
	INFORMATION TECHNOLOGY	271,263	299,700	348,275	430,555	458,001
	COMMUNICATIONS	210,780	205,500	234,786	239,546	242,110
	HUMAN RESOURCES	0	0	120,420	122,140	125,480
	FINANCE	477,613	531,500	646,310	661,320	676,830
	LEGAL	104,198	135,000	150,000	165,000	165,000
	TREASURER	171,899	183,455	179,675	184,053	188,553
★	CITYWIDE	599,828	1,879,506	0	0	0
	FACILITIES	0	530,900	466,200	350,875	269,100
	PLANNING	261,634	246,700	235,573	267,058	226,701
	RETIREE BENEFITS	1,110,923	1,329,176	1,341,000	1,410,000	1,482,000
	ACTIVE EMPLOYEE BENEFITS	1,234,242	1,469,024	1,597,100	1,619,100	1,671,200



# FINANCIAL SCHEDULES

GENERAL FUND						
		ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
		2023-24	2024-25	2025-26	2026-27	2027-28
APPROPRIATIONS (CONT.)						
PUBLIC SAFETY						
	ADMINISTRATION	217,300	248,900	262,785	264,089	271,530
	DISPATCH	549,624	566,172	523,145	535,437	545,188
	OPERATIONS	3,783,993	4,312,300	4,225,682	4,325,048	4,426,786
	RETIREE BENEFITS	1,655,382	1,884,130	1,754,000	1,864,000	1,974,000
	ANIMAL CONTROL	73,956	84,400	83,139	85,242	87,396
	<b>TOTAL PUBLIC SAFETY</b>	<b>6,280,255</b>	<b>7,095,902</b>	<b>6,848,751</b>	<b>7,073,816</b>	<b>7,304,900</b>
PUBLIC WORKS						
	OPERATIONS	606,623	698,872	591,018	665,336	679,520
	STREET OPERATIONS	373,835	335,560	345,400	327,500	331,300
	GARAGE	241,968	256,000	226,000	235,000	244,000
	<b>TOTAL PUBLIC WORKS</b>	<b>1,222,426</b>	<b>1,290,432</b>	<b>1,162,418</b>	<b>1,227,836</b>	<b>1,254,820</b>
RECREATION AND CULTURE						
	LIBRARY	666,837	683,600	674,153	678,659	685,197
	<b>TOTAL RECREATION AND CULTURE</b>	<b>666,837</b>	<b>683,600</b>	<b>674,153</b>	<b>678,659</b>	<b>685,197</b>
COMMUNITY & ECONOMIC DEVELOPMENT						
★	COMMUNITY PROMOTION	39,705	55,300	-	-	-
	BUILDING & INSPECTION	528,723	411,000	459,732	489,992	477,752
	<b>TOTAL COMMUNITY &amp; ECONOMIC DEVELOPMENT</b>	<b>568,428</b>	<b>466,300</b>	<b>459,732</b>	<b>489,992</b>	<b>477,752</b>
	<b>TOTAL APPROPRIATIONS</b>	<b>13,909,768</b>	<b>17,146,695</b>	<b>15,135,321</b>	<b>15,634,809</b>	<b>15,889,122</b>
OTHER FINANCING SOURCES (USES)						
	OPERATING TRANSFERS IN	290,258	0	0	0	0
	OPERATING TRANSFERS OUT	(984,074)	(1,103,000)	(970,000)	(970,000)	(970,000)
	<b>TOTAL OTHER SOURCES</b>	<b>(693,816)</b>	<b>(1,103,000)</b>	<b>(970,000)</b>	<b>(970,000)</b>	<b>(970,000)</b>
NET REVENUE, APPROPRIATIONS AND						
	<b>OTHER FINANCING SOURCES</b>	<b>1,033,054</b>	<b>(562,870)</b>	<b>0</b>	<b>0</b>	<b>0</b>
	<b>BEGINNING FUND BALANCE</b>	<b>4,068,030</b>	<b>5,101,084</b>	<b>4,538,214</b>	<b>4,538,214</b>	<b>4,538,214</b>
	<b>ENDING FUND BALANCE</b>	<b>\$ 5,101,084</b>	<b>\$ 4,538,214</b>	<b>\$ 4,538,214</b>	<b>\$ 4,538,214</b>	<b>\$ 4,538,214</b>



# FINANCIAL SCHEDULES

## SPECIAL REVENUE FUNDS

### Major Street Fund

The Major Street Fund's purpose is to account for expenditures associated with the construction and maintenance needs of the Major Street portion (as defined by State Act 51) of the City's street network. Of the 51.58 total centerline miles that make up the City of Berkley road network, the City has 15.63 centerline miles of major streets. Financing is primarily provided by the City's share of State gas and weight taxes.

MAJOR STREET FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
STATE SOURCES	\$ 1,384,803	\$ 1,474,000	\$ 1,492,000	\$ 1,536,000	\$ 1,580,000
CHARGES FOR SERVICES	12,087	44,000	45,000	46,000	47,000
INVESTMENT EARNINGS	74,453	54,194	70,100	60,837	61,767
OTHER REVENUE	25,849	0	0	0	0
<b>TOTAL ESTIMATED REVENUES</b>	<b>1,497,192</b>	<b>1,572,194</b>	<b>1,607,100</b>	<b>1,642,837</b>	<b>1,688,767</b>
<b>APPROPRIATIONS</b>					
PUBLIC SERVICE	1,177,443	1,217,003	1,084,100	1,012,837	1,028,767
CAPITAL OUTLAY	1,764,384	235,500	1,968,000	220,000	140,000
<b>TOTAL APPROPRIATIONS</b>	<b>2,941,827</b>	<b>1,452,503</b>	<b>3,052,100</b>	<b>1,232,837</b>	<b>1,168,767</b>
<b>OTHER FINANCING SOURCES (USES)</b>					
OPERATING TRANSFERS OUT	(200,000)	0	(90,000)	(410,000)	(520,000)
<b>TOTAL OTHER SOURCES</b>	<b>(200,000)</b>	<b>0</b>	<b>(90,000)</b>	<b>(410,000)</b>	<b>(520,000)</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>					
<b>OTHER FINANCING SOURCES</b>	<b>(1,644,635)</b>	<b>119,691</b>	<b>(1,535,000)</b>	<b>0</b>	<b>0</b>
<b>BEGINNING FUND BALANCE</b>	<b>3,059,944</b>	<b>1,415,309</b>	<b>1,535,000</b>	<b>0</b>	<b>0</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 1,415,309</b>	<b>\$ 1,535,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>



# FINANCIAL SCHEDULES

## Local Street Fund

The Local Street Fund's purpose is to account for expenditures associated with the construction and maintenance needs of the City's 35.95 centerline miles of Local Streets. Financing is provided by the City's share of State gas and weight taxes and transfers from other funds.

LOCAL STREET FUND					
	ACTUAL 2023-24	ESTIMATED 2024-25	BUDGET 2025-26	PROJECTED 2026-27	PROJECTED 2027-28
<b>ESTIMATED REVENUES</b>					
STATE SOURCES	\$ 514,868	\$ 526,800	\$ 539,000	\$ 554,000	\$ 570,000
LICENSES AND PERMITS	96,952	0	0	0	0
INVESTMENT EARNINGS	26,861	20,227	29,550	26,287	23,916
OTHER REVENUE	6,079	35,000	11,000	11,000	11,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>644,760</b>	<b>582,027</b>	<b>579,550</b>	<b>591,287</b>	<b>604,916</b>
<b>APPROPRIATIONS</b>					
PUBLIC SERVICE	1,100,451	908,144	989,550	1,001,287	1,124,916
CAPITAL OUTLAY	100,119	52,500	0	0	0
<b>TOTAL APPROPRIATIONS</b>	<b>1,200,570</b>	<b>960,644</b>	<b>989,550</b>	<b>1,001,287</b>	<b>1,124,916</b>
<b>OTHER FINANCING SOURCES (USES)</b>					
OPERATING TRANSFERS IN	200,000	0	90,000	410,000	520,000
<b>TOTAL OTHER SOURCES</b>	<b>200,000</b>	<b>0</b>	<b>90,000</b>	<b>410,000</b>	<b>520,000</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>(355,810)</b>	<b>(378,617)</b>	<b>(320,000)</b>	<b>0</b>	<b>0</b>
<b>BEGINNING FUND BALANCE</b>	<b>1,054,427</b>	<b>698,617</b>	<b>320,000</b>	<b>0</b>	<b>0</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 698,617</b>	<b>\$ 320,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>





# FINANCIAL SCHEDULES

## Recreation Revolving Fund

The Recreation Revolving Fund is used to account for all revenue and expenditures associated with Parks and Recreation youth and adult programs. The fund also accounts for all Dream Cruise activity. User fees are the main revenue source for this fund.

RECREATION REVOLVING FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
CHARGES FOR SERVICES	\$ 438,081	\$ 525,500	\$ 473,500	\$ 484,500	\$ 495,500
STATE SOURCES	94,000	0	150,000	0	0
INVESTMENT EARNINGS	2,386	1,343	10,301	4,154	4,211
OTHER REVENUE	4,684	7,300	7,300	7,300	7,300
<b>TOTAL ESTIMATED REVENUES</b>	<b>540,131</b>	<b>534,143</b>	<b>641,101</b>	<b>496,954</b>	<b>507,011</b>
<b>APPROPRIATIONS</b>					
RECREATION AND CULTURE	1,055,362	1,203,593	1,194,001	1,195,954	1,232,011
CAPITAL OUTLAY	278,318	248,550	167,100	120,000	60,000
<b>TOTAL APPROPRIATIONS</b>	<b>1,333,680</b>	<b>1,452,143</b>	<b>1,361,101</b>	<b>1,315,954</b>	<b>1,292,011</b>
<b>OTHER FINANCING SOURCES (USES)</b>					
OPERATING TRANSFERS IN	900,000	788,000	720,000	720,000	720,000
<b>TOTAL OTHER SOURCES</b>	<b>900,000</b>	<b>788,000</b>	<b>720,000</b>	<b>720,000</b>	<b>720,000</b>
<b>NET REVENUE, APPROPRIATIONS AND</b>					
<b>OTHER FINANCING SOURCES</b>	<b>106,451</b>	<b>(130,000)</b>	<b>0</b>	<b>(100,000)</b>	<b>(65,000)</b>
<b>BEGINNING FUND BALANCE</b>	<b>188,759</b>	<b>295,210</b>	<b>165,210</b>	<b>165,210</b>	<b>65,210</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 295,210</b>	<b>\$ 165,210</b>	<b>\$ 165,210</b>	<b>\$ 65,210</b>	<b>\$ 210</b>



# FINANCIAL SCHEDULES

## Senior Activities Fund

The Senior Activities Fund is used to account for all senior recreation revenue and expenditures associated with senior programs planned in the Parks and Recreation Department. The fund also accounts for all SMART senior transportation activities. User fees and grants are the main revenue source for this fund.

SENIOR ACTIVITIES FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
FEDERAL GRANTS	\$ 22,007	\$ 19,000	\$ 19,000	\$ 19,000	\$ 19,000
CHARGES FOR SERVICES	63,708	65,000	65,000	65,000	65,000
INVESTMENT EARNINGS	1,405	829	982	982	982
<b>TOTAL ESTIMATED REVENUES</b>	<b>87,120</b>	<b>84,829</b>	<b>84,982</b>	<b>84,982</b>	<b>84,982</b>
<b>APPROPRIATIONS</b>					
HEALTH AND WELFARE	60,054	64,829	64,982	64,982	64,982
<b>TOTAL APPROPRIATIONS</b>	<b>60,054</b>	<b>64,829</b>	<b>64,982</b>	<b>64,982</b>	<b>64,982</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>27,066</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>BEGINNING FUND BALANCE</b>	<b>28,942</b>	<b>56,008</b>	<b>56,008</b>	<b>56,008</b>	<b>56,008</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 56,008</b>	<b>\$ 56,008</b>	<b>\$ 56,008</b>	<b>\$ 56,008</b>	<b>\$ 56,008</b>



# FINANCIAL SCHEDULES

## Solid Waste Fund

The Solid Waste Fund records the activity related to the City trash collection program. Financing for the annual service is provided by a dedicated property tax millage.

SOLID WASTE FUND						
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED	
	2023-24	2024-25	2025-26	2026-27	2027-28	
<b>ESTIMATED REVENUES</b>						
PROPERTY TAXES	\$ 1,283,238	\$ 1,306,764	\$ 1,320,000	\$ 1,360,000	\$ 1,401,000	
STATE SOURCES	7,826	6,000	8,000	9,000	10,000	
CHARGES FOR SERVICES	830,177	689,236	625,000	625,000	625,000	
INVESTMENT EARNINGS	24,416	15,292	50,727	46,329	45,185	
OTHER REVENUE	16,134	10,000	15,000	15,000	15,000	
<b>TOTAL ESTIMATED REVENUES</b>	<b>2,161,791</b>	<b>2,027,292</b>	<b>2,018,727</b>	<b>2,055,329</b>	<b>2,096,185</b>	
<b>APPROPRIATIONS</b>						
PUBLIC SERVICE	1,639,202	1,808,392	1,923,727	2,015,329	2,119,185	
CAPITAL OUTLAY	0	192,000	50,000	60,000	0	
<b>TOTAL APPROPRIATIONS</b>	<b>1,639,202</b>	<b>2,000,392</b>	<b>1,973,727</b>	<b>2,075,329</b>	<b>2,119,185</b>	
<b>NET REVENUE, APPROPRIATIONS AND</b>						
OTHER FINANCING SOURCES	522,589	26,900	45,000	(20,000)	(23,000)	
<b>BEGINNING FUND BALANCE</b>	364,270	886,859	913,759	958,759	938,759	
<b>ENDING FUND BALANCE</b>	<b>\$ 886,859</b>	<b>\$ 913,759</b>	<b>\$ 958,759</b>	<b>\$ 938,759</b>	<b>\$ 915,759</b>	



# FINANCIAL SCHEDULES

## Parking Fund

The Parking Fund records the fees collected for on-street parking. The revenue collected in this fund is used to maintain City-owned parking lots and any other parking-related costs.

PARKING FUND						
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED	
	2023-24	2024-25	2025-26	2026-27	2027-28	
<b>ESTIMATED REVENUES</b>						
CHARGES FOR SERVICES	\$ -	\$ -	\$ 10,000	\$ 10,000	\$ 10,000	
<b>TOTAL ESTIMATED REVENUES</b>	0	0	10,000	10,000	10,000	
<b>NET REVENUE, APPROPRIATIONS AND</b>						
OTHER FINANCING SOURCES	0	0	10,000	10,000	10,000	
<b>BEGINNING FUND BALANCE</b>	0	0	0	10,000	20,000	
<b>ENDING FUND BALANCE</b>	\$ -	\$ -	\$10,000	\$ 20,000	\$ 30,000	





# FINANCIAL SCHEDULES

## Community Development Block Grant (CDBG) Fund

This fund records federal grant monies passed through to the City from Oakland County to assist economically disadvantaged areas within the community and those citizens who are also economically disadvantaged.

COMMUNITY DEVELOPMENT BLOCK GRANT FUND					
	ACTUAL 2023-24	ESTIMATED 2024-25	BUDGET 2025-26	PROJECTED 2026-27	PROJECTED 2027-28
<b>ESTIMATED REVENUES</b>					
FEDERAL GRANTS	\$ 11,053	\$ 35,000	\$ 35,000	\$ 35,000	\$ 35,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>11,053</b>	<b>35,000</b>	<b>35,000</b>	<b>35,000</b>	<b>35,000</b>
<b>APPROPRIATIONS</b>					
COMMUNITY & ECONOMIC DEVELOPMENT	4,535	35,000	35,000	35,000	35,000
<b>TOTAL APPROPRIATIONS</b>	<b>4,535</b>	<b>35,000</b>	<b>35,000</b>	<b>35,000</b>	<b>35,000</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>6,518</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>BEGINNING FUND BALANCE</b>	<b>10,442</b>	<b>16,960</b>	<b>16,960</b>	<b>16,960</b>	<b>16,960</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 16,960</b>	<b>\$ 16,960</b>	<b>\$ 16,960</b>	<b>\$ 16,960</b>	<b>\$ 16,960</b>



# FINANCIAL SCHEDULES

## Opioid Settlement Fund

This fund was established to track the funds received from the nationwide settlement reached in July 2021 to resolve all opioid litigation brought by states and local political subdivisions against several major pharmaceutical distributors.

OPIOID SETTLEMENT FUND						
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED	
	2023-24	2024-25	2025-26	2026-27	2027-28	
<b>ESTIMATED REVENUES</b>						
OTHER REVENUE	\$ -	\$ -	\$ 25,000	\$ 25,000	\$ 25,000	
<b>TOTAL ESTIMATED REVENUES</b>	<b>0</b>	<b>0</b>	<b>25,000</b>	<b>25,000</b>	<b>25,000</b>	
<b>NET REVENUE, APPROPRIATIONS AND</b>						
OTHER FINANCING SOURCES	0	0	25,000	25,000	25,000	
<b>BEGINNING FUND BALANCE</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>25,000</b>	<b>50,000</b>	
<b>ENDING FUND BALANCE</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 25,000</b>	<b>\$ 50,000</b>	<b>\$ 75,000</b>	



# FINANCIAL SCHEDULES

## CAPITAL PROJECT FUNDS

### Infrastructure Millage Fund

This fund is used to account for capital activity and related tax revenue of the 2018 voter-approved millage of not to exceed 2 mills.

INFRASTRUCTURE MILLAGE FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
PROPERTY TAXES	\$1,385,882	\$ 1,500,211	\$1,516,000	\$ 1,561,000	\$ 1,608,000
STATE SOURCES	8,985	0	0	0	0
INVESTMENT EARNINGS	38,980	29,789	23,000	3,000	3,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>1,433,847</b>	<b>1,530,000</b>	<b>1,539,000</b>	<b>1,564,000</b>	<b>1,611,000</b>
<b>APPROPRIATIONS</b>					
CAPITAL OUTLAY	1,614,632	850,256	1,363,900	2,439,100	1,611,000
<b>TOTAL APPROPRIATIONS</b>	<b>1,614,632</b>	<b>850,256</b>	<b>1,363,900</b>	<b>2,439,100</b>	<b>1,611,000</b>
<b>NET REVENUE, APPROPRIATIONS AND</b>					
<b>OTHER FINANCING SOURCES</b>	<b>(180,785)</b>	<b>679,744</b>	<b>175,100</b>	<b>(875,100)</b>	<b>0</b>
<b>BEGINNING FUND BALANCE</b>	<b>201,041</b>	<b>20,256</b>	<b>700,000</b>	<b>875,100</b>	<b>0</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 20,256</b>	<b>\$700,000</b>	<b>\$875,100</b>	<b>\$ -</b>	<b>\$ -</b>



# FINANCIAL SCHEDULES

## Public Improvement Fund

This fund was established to set aside reserves for significant capital projects that cannot be purchased in a single year, given the size of the project. The funds will be set aside in the Public Improvement Fund as appropriated during the annual budget process.

PUBLIC IMPROVEMENT FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
INVESTMENT EARNINGS	\$ -	\$ -	\$ 20,000	\$ 10,000	\$ 5,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>0</b>	<b>0</b>	<b>20,000</b>	<b>10,000</b>	<b>5,000</b>
<b>APPROPRIATIONS</b>					
CAPITAL OUTLAY	0	0	0	300,000	800,000
<b>TOTAL APPROPRIATIONS</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>300,000</b>	<b>800,000</b>
<b>OTHER FINANCING SOURCES (USES)</b>					
OPERATING TRANSFERS IN	0	315,000	250,000	250,000	250,000
<b>TOTAL OTHER SOURCES</b>	<b>0</b>	<b>315,000</b>	<b>250,000</b>	<b>250,000</b>	<b>250,000</b>
<b>NET REVENUE, APPROPRIATIONS AND</b>					
<b>OTHER FINANCING SOURCES</b>	<b>0</b>	<b>315,000</b>	<b>270,000</b>	<b>(40,000)</b>	<b>(545,000)</b>
<b>BEGINNING FUND BALANCE</b>	<b>0</b>	<b>0</b>	<b>315,000</b>	<b>585,000</b>	<b>545,000</b>
<b>ENDING FUND BALANCE</b>	<b>\$ -</b>	<b>\$ 315,000</b>	<b>\$585,000</b>	<b>\$545,000</b>	<b>\$ -</b>





# FINANCIAL SCHEDULES

## Sidewalk Fund

This fund is used to account for any special assessment sidewalk projects within the City. Special assessment revenue will be collected to offset the actual construction expenditures of sidewalk projects. Engineering costs for the sidewalks will be paid from the Major and Local Street Funds.

SIDEWALK FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
SPECIAL ASSESSMENTS	\$ 208,663	\$ 7,500	\$ -	\$ 400,000	\$ 400,000
INVESTMENT EARNINGS	667	0	0	0	0
<b>TOTAL ESTIMATED REVENUES</b>	<b>207,330</b>	<b>7,500</b>	<b>0</b>	<b>400,000</b>	<b>400,000</b>
<b>APPROPRIATIONS</b>					
CAPITAL OUTLAY	308,320	7,500	0	400,000	400,000
<b>TOTAL APPROPRIATIONS</b>	<b>308,320</b>	<b>7,500</b>	<b>0</b>	<b>400,000</b>	<b>400,000</b>
<b>OTHER FINANCING SOURCES (USES)</b>					
OPERATING TRANSFERS IN	84,074	0	0	0	0
<b>TOTAL OTHER SOURCES</b>	<b>84,074</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>(16,917)</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>BEGINNING FUND BALANCE</b>	<b>16,917</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>ENDING FUND BALANCE</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>



# FINANCIAL SCHEDULES

## Enterprise Funds

### Water and Sewer Fund

The fund provides water to customers and disposes of sanitary sewage in exchange for user fees. In addition to covering the operating costs of the system, the fund also charges user fees to cover any related debt and capital expenditures.

WATER AND SEWER FUND					
	ACTUAL 2023-24	ESTIMATED 2024-25	BUDGET 2025-26	PROJECTED 2026-27	PROJECTED 2027-28
<b>ESTIMATED REVENUES</b>					
STATE SOURCES	\$ -	\$ -	\$ 570,900	\$ -	\$ -
CHARGES FOR SERVICES	8,232,195	9,107,517	9,783,723	10,671,723	11,634,723
INVESTMENT EARNINGS	5,629	7,652	10,038	20,884	13,767
RENTAL INCOME	13,225	20,000	30,000	30,000	30,000
OTHER REVENUE	219,157	20,000	32,000	35,000	32,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>8,470,206</b>	<b>9,155,169</b>	<b>10,426,661</b>	<b>10,757,607</b>	<b>11,710,490</b>
<b>APPROPRIATIONS</b>					
OPERATING AND MAINTENANCE	4,255,370	5,490,343	7,319,718	7,133,516	7,557,399
DEPRECIATION	837,218	0	0	0	0
CAPITAL OUTLAY	0	3,020,900	2,220,000	3,585,800	3,569,000
DEBT SERVICE	4,028	43,926	43,943	38,291	38,091
<b>TOTAL APPROPRIATIONS</b>	<b>5,096,616</b>	<b>8,555,169</b>	<b>9,583,661</b>	<b>10,757,607</b>	<b>11,164,490</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>3,373,590</b>	<b>600,000</b>	<b>843,000</b>	<b>0</b>	<b>546,000</b>
<b>BEGINNING FUND BALANCE</b>	<b>20,199,618</b>	<b>23,573,208</b>	<b>24,173,208</b>	<b>25,016,208</b>	<b>25,016,208</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 23,573,208</b>	<b>\$ 24,173,208</b>	<b>\$ 25,016,208</b>	<b>\$ 25,016,208</b>	<b>\$ 25,562,208</b>



# FINANCIAL SCHEDULES

## Community Field #1 Fund

This fund is used to account for rental fees collected for the use of Community Field #1. The rental fees will be utilized to maintain and improve the field.

COMMUNITY FIELD #1 FUND						
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED	
	2023-24	2024-25	2025-26	2026-27	2027-28	
<b>ESTIMATED REVENUES</b>						
CHARGES FOR SERVICES	\$ -	\$ -	\$ 71,050	\$ 73,180	\$ 75,380	
<b>TOTAL ESTIMATED REVENUES</b>	<b>0</b>	<b>0</b>	<b>71,050</b>	<b>73,180</b>	<b>75,380</b>	
<b>APPROPRIATIONS</b>						
PUBLIC SERVICE	0	0	25,750	29,580	33,380	
DEBT SERVICE	0	0	45,300	43,600	42,000	
<b>TOTAL APPROPRIATIONS</b>	<b>0</b>	<b>0</b>	<b>71,050</b>	<b>73,180</b>	<b>75,380</b>	
<b>NET REVENUE, APPROPRIATIONS AND</b>						
OTHER FINANCING SOURCES	0	0	0	0	0	
<b>BEGINNING FUND BALANCE</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	
<b>ENDING FUND BALANCE</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	



# FINANCIAL SCHEDULES

## Trust and Agency Funds

### Public Safety Pension Fund

The Public Safety Pension Fund accumulates resources for pension benefit payments to qualified public safety employees. These resources are provided through a combination of employer contributions, employee payroll deductions, and investment earnings.

PUBLIC SAFETY PENSION FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
EMPLOYER CONTRIBUTIONS	\$ 1,325,000	\$ 1,449,788	\$ 1,500,000	\$ 1,600,000	\$ 1,700,000
EMPLOYEE CONTRIBUTIONS	79,807	35,000	35,000	35,000	35,000
INVESTMENT EARNINGS	2,377,586	1,394,000	1,568,000	1,623,000	1,681,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>3,782,393</b>	<b>2,878,788</b>	<b>3,103,000</b>	<b>3,258,000</b>	<b>3,416,000</b>
<b>APPROPRIATIONS</b>					
BENEFIT PAYMENTS	2,058,931	2,100,000	2,100,000	2,200,000	2,300,000
ADMINISTRATIVE EXPENSES	195,453	213,788	229,000	230,000	231,000
<b>TOTAL APPROPRIATIONS</b>	<b>2,254,384</b>	<b>2,313,788</b>	<b>2,329,000</b>	<b>2,430,000</b>	<b>2,531,000</b>
<b>NET REVENUE, APPROPRIATIONS AND</b>					
OTHER FINANCING SOURCES	1,528,009	565,000	774,000	828,000	885,000
BEGINNING FUND BALANCE					
ENDING FUND BALANCE	20,314,572	21,842,581	22,407,581	23,181,581	24,009,581
	<b>\$ 21,842,581</b>	<b>\$ 22,407,581</b>	<b>\$ 23,181,581</b>	<b>\$ 24,009,581</b>	<b>\$ 24,894,581</b>





# FINANCIAL SCHEDULES

## Component Unit

### Downtown Development Authority

The Downtown Development Authority Fund accounts for the activity to correct and prevent deterioration, encourage historical preservation, and promote economic growth within the downtown district. The fund is primarily funded by property tax revenue captures and a millage.

DOWNTOWN DEVELOPMENT AUTHORITY FUND					
	ACTUAL	ESTIMATED	BUDGET	PROJECTED	PROJECTED
	2023-24	2024-25	2025-26	2026-27	2027-28
<b>ESTIMATED REVENUES</b>					
PROPERTY TAXES	\$ 466,953	\$ 424,000	\$ 526,800	\$ 539,900	\$ 553,000
STATE GRANTS	7,500	10,000	7,500	7,500	7,500
INVESTMENT EARNINGS	11,758	10,234	10,164	11,755	13,005
OTHER REVENUE	11,851	15,000	12,000	12,000	12,000
<b>TOTAL ESTIMATED REVENUES</b>	<b>498,072</b>	<b>459,234</b>	<b>556,464</b>	<b>571,155</b>	<b>585,505</b>
<b>APPROPRIATIONS</b>					
COMMUNITY & ECONOMIC DEVELOPMENT	450,402	439,234	441,484	446,155	450,505
CAPITAL OUTLAY	127,895	85,000	15,000	15,000	15,000
<b>TOTAL APPROPRIATIONS</b>	<b>578,297</b>	<b>524,234</b>	<b>456,484</b>	<b>461,155</b>	<b>465,505</b>
<b>NET REVENUE, APPROPRIATIONS AND OTHER FINANCING SOURCES</b>	<b>(80,225)</b>	<b>(65,000)</b>	<b>100,000</b>	<b>110,000</b>	<b>120,000</b>
<b>BEGINNING FUND BALANCE</b>	<b>289,858</b>	<b>209,633</b>	<b>144,633</b>	<b>244,633</b>	<b>354,633</b>
<b>ENDING FUND BALANCE</b>	<b>\$ 209,633</b>	<b>\$ 144,633</b>	<b>\$ 244,633</b>	<b>\$ 354,633</b>	<b>\$ 474,633</b>



# FUND BALANCE, REVENUES, & EXPENDITURES

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## Fund Balance

Fund Balance is the difference between assets and liabilities in a governmental fund. The governmental funds account for the City's bread-and-butter, are typically tax-supported activities of a government (as opposed to enterprise funds, which are self-supporting, business-like activities), and include the following:

- General Fund – where a government accounts for everything not reported in another fund
- Special Revenue Funds – for reporting specific sources that are limited to being used for a particular purpose
- Debt Service Funds – which track the accumulation and use of resources for repayment of principal and interest on long-term debt
- Capital Project Funds – which track the accumulation and use of resources for construction, acquiring, and rehabilitating capital assets (such as buildings and roads)

## GASB 54

[GASB Statement No. 54](#) creates five components of fund balance, though not every government or governmental fund will report all components. This approach is intended to provide users with consistent and understandable information about a fund's net resources. The five components are:

### Non-spendable Fund Balance

*\*cannot be spent (legally restricted or in an un-spendable form)*

- Amounts that cannot be spent due to form; for example, inventories and prepaid amounts. Also, long-term loan and notes receivables, and property held for resale would be reported here unless the proceeds are restricted, committed or assigned.
- Amounts that must be maintained intact legally or contractually (corpus or principal of a permanent fund)

### Restricted Fund Balance

*\*externally imposed (law, creditor, bond covenant)*

- Amounts constrained for a specific purpose by external parties, constitutional provision or enabling legislation. This is the same definition used by GASB Statement No. 34, *Basic Financial Statements—and Management's Discussion and Analysis—for State and Local Governments*, for restricted net assets.



# FUND BALANCE, REVENUES, & EXPENDITURES

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## Committed Fund Balance

*\*constraints approved by Council*

- Amounts constrained for a specific purpose by a government using its highest level of decision-making authority. It would require action by the same group to remove or change the constraints placed on the resources.
- Action to constrain resources must occur prior to year-end; however, the amount can be determined in the subsequent period.

## Assigned Fund Balance

*\*constrained by intent by Mayor and City Council, or by the City Manager, or by a body/person to which City Council designates the authority*

- For all governmental funds, excluding the general fund, any remaining positive balances that are not classified as non-spendable, restricted, or committed.
- For the general fund, amounts constrained for the intent to be used for a specific purpose by a governing board, body or official that has been delegated authority to assign amounts. Amount reported as assigned should not result in a deficit in unassigned fund balance.

## Unassigned Fund Balance

*\*available to spend, unrestricted*

- For the general fund, amounts not classified as non-spendable, restricted, committed or assigned. The general fund is the only fund that would report a positive amount in unassigned fund balance.
- For all governmental funds other than the general fund, amount expended in excess of resources that are non-spendable, restricted, committed or assigned (a residual deficit). In determining a residual deficit, no amount should be reported as assigned.



# FUND BALANCE, REVENUES, & EXPENDITURES

FUND BALANCE SCHEDULE						
	GOVERNMENTAL FUNDS					
	GENERAL FUND	SPECIAL REVENUE FUNDS	CAPITAL PROJECT FUNDS	ENTERPRISE FUNDS	FIDUCIARY FUNDS	TOTAL BUDGET
	BUDGET	BUDGET	BUDGET	BUDGET	BUDGET	BUDGET
	2025-26	2025-26	2025-26	2025-26	2025-26	2025-26
TOTAL ESTIMATED REVENUES	\$ 16,105,321	\$ 5,811,460	\$ 1,809,000	\$ 10,497,711	\$ 3,103,000	\$ 37,326,492
TOTAL APPROPRIATIONS	16,105,321	\$ 7,586,460	\$ 1,363,900	\$ 9,654,711	\$ 2,328,000	\$ 37,038,392
NET OF REVENUE/APPROPRIATIONS - ALL FUNDS	\$ -	\$ (1,775,000)	\$ 445,100	\$ 843,000	\$ 774,000	\$ 287,100
BEGINNING FUND BALANCE	4,538,214	3,006,937	1,015,000	24,173,208	22,407,581	55,140,940
ENDING FUND BALANCE	\$ 4,538,214	\$ 1,231,937	\$1,460,100	\$ 25,016,208	\$ 23,181,581	\$55,428,040
Fund Balance as a percentage of total annual expenditures						
	28%	16%	107%	259%	995%	150%





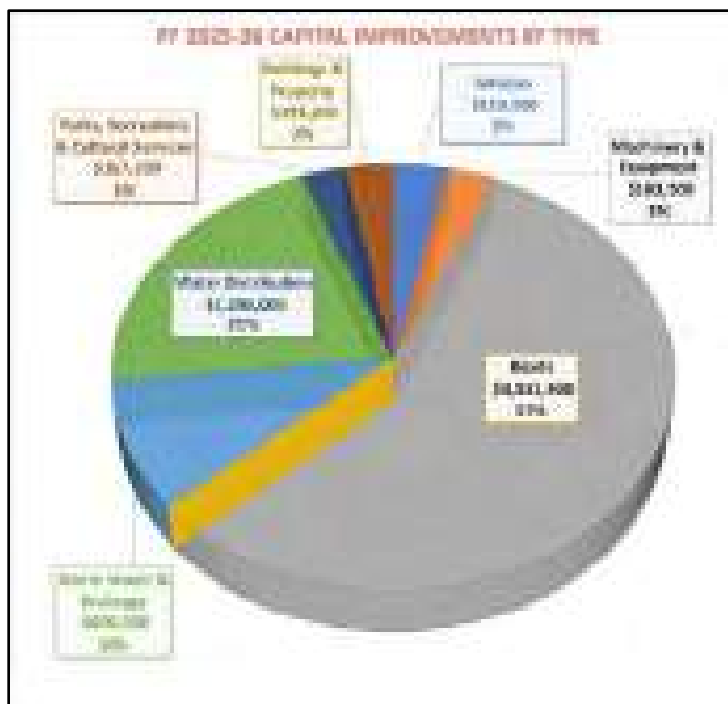
# CAPITAL IMPROVEMENTS

## Capital Improvement Program

The City of Berkley's Capital Improvement Program (CIP) is a planning tool, with a goal to identify and schedule capital improvements for fiscal years ending 2026-2031. The CIP is summarized within this budget document and you can find detailed descriptions of the projects and cost estimates.

The following is a table that summaries the City's expenditures/expenses for all CIP projects by type.

FY 2025-26 CAPITAL IMPROVEMENTS BY TYPE							
	Budget	Projected		Forecast			
By Capital Outlay Type	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
Vehicles	\$ 216,000	\$ 935,000	\$ 1,151,000	\$ 847,863	\$ 507,960	\$ 234,250	\$ 3,892,073
Technology	\$ 16,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16,000
Machinery & Equipment	\$ 183,500	\$ 557,000	\$ 207,000	\$ 425,000	\$ -	\$ -	\$ 1,372,500
Roads	\$ 3,531,900	\$ 3,531,900	\$ 3,200,000	\$ 3,200,000	\$ 3,200,000	\$ 3,200,000	\$ 19,863,800
Sidewalks & Pathways	\$ -	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 2,000,000
Storm Sewer & Drainage	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 3,600,000
Water Distribution	\$ 1,295,000	\$ 1,335,000	\$ 1,335,000	\$ 1,335,000	\$ 1,335,000	\$ 1,335,000	\$ 7,970,000
Parks, Recreation, & Cultural Service	\$ 167,100	\$ 120,000	\$ 60,000	\$ 317,250	\$ -	\$ 1,715,000	\$ 2,379,350
Parking Lots	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 894,900	\$ 894,900
Buildings & Property	\$ 191,200	\$ 140,000	\$ 75,000	\$ 845,000	\$ -	\$ 3,036,720	\$ 4,287,920
Grand Total	\$ 6,200,700	\$ 7,618,900	\$ 7,028,000	\$ 7,970,113	\$ 6,042,960	\$ 11,415,870	\$ 46,276,543





City of Berkley  
Summary of Budget Requests  
CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements  
2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
1	790-000 LIBRARY	101-267-976-271	Library - Study Room Buildout (Qty: 2)	101 - General Fund	\$ 41,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 41,200
2	751-000 PARKS & REC ADMINISTRATION	208-267-976-208	Comm1 - Concession Stand remodel (including bathrooms, heating & cooling) <i>(pending final decision - repurpose of parking lot grant of \$150k)</i>	208 - Recreation Revolving Fund	\$ 111,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 111,200
3	751-000 PARKS & REC ADMINISTRATION	208-267-976-208	Community Center Restrooms <i>(pending final decision - repurpose of parking lot grant of \$150k)</i>	208 - Recreation Revolving Fund	\$ 55,900	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 55,900
4	267-000 FACILITIES	101-267-976-101	Access Control Cameras	101 - General Fund	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000
5	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Polaris Emergency Response Vehicle	101 - General Fund	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
6	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000
7	536-000 WATER & SEWER SERVICE	592-536-982-000	Concrete Repair	592 - Water Sewer Fund	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,200,000
8	536-000 WATER & SEWER SERVICE	592-536-975-000	Lead Service Replacement Program (was Lead Service Line Replacements)	592 - Water Sewer Fund	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 6,000,000
9	536-000 WATER & SEWER SERVICE	592-902-971-150	Sewer Lining Program (was "Annual Sewer Lining Program")	592 - Water Sewer Fund	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 3,600,000
10	464-000 STREET MAINT OPERATIONS	202-464-975-100	Bacon Ave (12 Mile to Catalpa) - Water Main and Paving Project - Phase 1	202 - Major Street Fund	\$ 1,968,000	\$ 103,000	\$ -	\$ -	\$ -	\$ -	\$ 2,071,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ 1,363,900	\$ 2,439,100	\$ -	\$ -	\$ -	\$ -	\$ 3,803,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ 789,800	\$ -	\$ -	\$ -	\$ -	\$ 789,800
11	536-000 WATER & SEWER SERVICE	592-536-986-000	My Neptune 360 Portal Software	592 - Water Sewer Fund	\$ 16,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16,000
12	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Ball Field Mowing Equipment	101 - General Fund	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,000
13	528-000 SOLID WASTE SERVICES	226-528-982-000	Equipment - Brush Chipper	226 - Solid Waste	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
14	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Building Official/Pool Vehicle	101 - General Fund	\$ 32,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 32,000
15	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Neptune R900 v4e Gateway	592 - Water Sewer Fund	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
16	441-000 PUBLIC WORKS	592-536-985-000	Vehicle - 3/4 Ton Pickup and Equipment Replacement #3	592 - Water Sewer Fund	\$ 69,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 69,000
17	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Arrowboard	101 - General Fund	\$ 6,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,500
18	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Landscape Trailer	101 - General Fund	\$ 7,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,000
19	536-000 WATER & SEWER SERVICE	592-536-982-592	Water Meter Replacements	592 - Water Sewer Fund	\$ 295,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 1,970,000
20	464-000 STREET MAINT OPERATIONS	202-464-982-000	Equipment - 4 Ton Asphalt Trailer Replacement	202 - Major Street Fund	\$ -	\$ 52,000	\$ -	\$ -	\$ -	\$ -	\$ 52,000
21	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Interdepartmental Pool Vehicle (replacement)	101 - General Fund	\$ -	\$ 33,000	\$ -	\$ -	\$ -	\$ -	\$ 33,000
22	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Mini Excavator and Related Attachments (replacement)	592 - Water Sewer Fund	\$ -	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ 200,000
23	443-000 PUBLIC WORKS GARAGE	101-441-982-000	Equipment - Mobile Column Lift (Qty - 2)	101 - General Fund	\$ -	\$ 30,000	\$ -	\$ -	\$ -	\$ -	\$ 30,000
24	536-000 WATER & SEWER SERVICE	592-536-985-000	Vehicle - 3/4 Ton Pickup and Equipment Replacement #11	592 - Water Sewer Fund	\$ -	\$ 71,000	\$ -	\$ -	\$ -	\$ -	\$ 71,000



City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
25	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - 3/4 Ton Pickup and Equipment Replacement #2	101 - General Fund	\$ -	\$ 71,000	\$ -	\$ -	\$ -	\$ -	\$ 71,000
26	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Concrete Cutting Road Saw and Trailer (replacement)	592 - Water Sewer Fund	\$ -	\$ 90,000	\$ -	\$ -	\$ -	\$ -	\$ 90,000
27	536-000 WATER & SEWER SERVICE	592-536-985-000	Vehicle - Utilimaster Walk In Van (replacement)	592 - Water Sewer Fund	\$ -	\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ 300,000
28	441-000 PUBLIC WORKS	101-441-982-000	Equipment - John Deere UTV (replacement)	101 - General Fund	\$ -	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000
29	528-000 SOLID WASTE SERVICES	202-464-982-000	Equipment - Large Brush Chipper (replacement)	202 - Major Street Fund	\$ -	\$ 65,000	\$ -	\$ -	\$ -	\$ -	\$ 65,000
30	528-000 SOLID WASTE SERVICES	226-528-982-000	Equipment - Leaf Vacuum Trailer/Body (replacement)	226 - Solid Waste	\$ -	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000
31	751-000 PARKS & REC ADMINISTRATION	208-751-971-150	Bacon Park - Drainage	208 - Recreation Revolving Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
32	751-000 PARKS & REC ADMINISTRATION	208-751-971-150	Community Tennis Courts - Tennis Court Replacement & Gate Addition	208 - Recreation Revolving Fund	\$ -	\$ 40,000	\$ 60,000	\$ -	\$ -	\$ -	\$ 100,000
33	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
34	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
35	901-000 CAPITAL PROJECTS	445-901-985-000	Vehicle - Fire Engine Replacement	445 - Public Improvements Fund	\$ -	\$ 300,000	\$ 800,000	\$ -	\$ -	\$ -	\$ 1,100,000
36	267-000 FACILITIES	101-267-976-271	Library - Carpet	101 - General Fund	\$ -	\$ 140,000	\$ -	\$ -	\$ -	\$ -	\$ 140,000
37	901-000 CAPITAL PROJECTS	809-901-975-001	Sidewalk Replacements	809 - Sidewalks	\$ -	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 2,000,000
38	464-000 STREET MAINT OPERATIONS	202-464-975-100	Harvard Rd (Coolidge to Cass) * - Water Main and Paving Project - Phase 2, Division 1 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ 140,000	\$ -	\$ -	\$ -	\$ 140,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ 1,611,000	\$ 750,000	\$ -	\$ -	\$ 2,361,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ 1,249,000	\$ -	\$ -	\$ -	\$ 1,249,000
39	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Rubber Tire Backhoe and Attachments (replacement)	592 - Water Sewer Fund	\$ -		\$ 185,000	\$ -	\$ -	\$ -	\$ 185,000
40	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - F-550 Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ 175,000	\$ -	\$ -	\$ -	\$ 175,000
41	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Rubber Tire Loader (replacement)	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 225,000	\$ -	\$ -	\$ 225,000
42	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Zero Turn Mower (replacement)	101 - General Fund	\$ -	\$ -	\$ 22,000	\$ -	\$ -	\$ -	\$ 22,000
43	345-000 PUBLIC SAFETY OPERATIONS	101-267-976-345	Public Safety - Carports	101 - General Fund	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
44	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ 88,000	\$ -	\$ -	\$ -	\$ 88,000
45	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ 88,000	\$ -	\$ -	\$ -	\$ 88,000
46	464-000 STREET MAINT OPERATIONS	202-464-975-100	Harvard Rd (Coolidge to Cass) * - Water Main and Paving Project- Phase 2, Division 2 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ 150,000	\$ 160,000	\$ -	\$ 310,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ 910,000	\$ 1,340,000	\$ -	\$ 2,250,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 1,190,000	\$ -	\$ -	\$ 1,190,000
47	751-000 PARKS & REC		Oxford Park - Drainage	101 - General Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000



City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
48	ADMINISTRATION	208-751-971-150	Oxford Park - Drainage	208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
49	751-000 PARKS & REC ADMINISTRATION		Angell Park - Tennis Court Replacement & Gate Addition	101 - General Fund	\$ -	\$ -	\$ -	\$ 37,500	\$ -	\$ -	\$ 37,500
50				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 37,500	\$ -	\$ -	\$ 37,500
51	751-000 PARKS & REC ADMINISTRATION		Lazenby Field - Netting	101 - General Fund	\$ -	\$ -	\$ -	\$ 5,000	\$ -	\$ -	\$ 5,000
52				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 10,000	\$ -	\$ -	\$ 10,000
53	751-000 PARKS & REC ADMINISTRATION		Community Fields - Fence	101 - General Fund	\$ -	\$ -	\$ -	\$ 77,250	\$ -	\$ -	\$ 77,250
54	536-000 WATER & SEWER SERVICE		Underground Fuel Tank Replacement - DPW	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
55	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Tandem Axle Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ -		\$ 295,000	\$ -	\$ 295,000
56	441-000 PUBLIC WORKS	592-536-982-592	Equipment - Telehandler (Replacement - 2002)	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 200,000	\$ -	\$ -	\$ 200,000
57	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - F-550 Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ -	\$ 190,000	\$ -	\$ -	\$ 190,000
58	441-000 PUBLIC WORKS	592-536-985-000	Vehicle - Transit Meter Van #1	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
59	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Tandem Hook Truck (replacement - 2019)	101 - General Fund	\$ -	\$ -	\$ -	\$ 280,000	\$ -	\$ -	\$ 280,000
60	441-000 PUBLIC WORKS	101-267-976-441	Generator - DPW	101 - General Fund	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ 100,000
61	345-000 PUBLIC SAFETY OPERATIONS	101-267-976-345	Public Safety - Lockerooms	101 - General Fund	\$ -	\$ -		\$ 180,000	\$ -	\$ -	\$ 180,000
62	267-000 FACILITIES	101-267-976-271	Library Entrance Doors	101 - General Fund	\$ -	\$ -	\$ -	\$ 65,000	\$ -	\$ -	\$ 65,000
63	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ 99,704	\$ -	\$ -	\$ 99,704
64	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ 99,704	\$ -	\$ -	\$ 99,704
65	430-000 ANIMAL CONTROL	101-430-985-000	Vehicle - ACO FORD F150 Super Crew Pickup	101 - General Fund	\$ -	\$ -	\$ -	\$ 103,455	\$ -	\$ -	\$ 103,455
66	464-000 STREET MAINT OPERATIONS	202-464-975-100	Wakefield (12 Mile to Webster) * - WaterMain and Paving Project- Phase 3, Division 1 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000	\$ 2,250,000	\$ 3,750,000
67	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 106,480	\$ -	\$ 106,480
68	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 106,480	\$ -	\$ 106,480
69	464-000 STREET MAINT OPERATIONS	202-464-975-100	Wakefield (12 Mile to Webster) * - WaterMain and Paving Project- Phase 3, Division 2 * Tentative, subject to change	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 750,000	\$ 750,000
70	MULTIPLE DEPARTMENTS		Light Poles at ALL Parks	208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000	\$ 1,000,000





City of Berkley

Summary of Budget Requests

CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements

2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
71	MULTIPLE DEPARTMENTS		Oxford Park - Pavilion/Concrete Pad and Shade	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 82,500	\$ 82,500
72				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 82,500	\$ 82,500
73	845-000 RECREATION CLASSES		Oxford Park - Walking Trails	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
74				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
75	751-000 PARKS & REC ADMINISTRATION		Community Center - Parking Lot <i>Offset by grant \$150k (if not repurposed to Comm Center bathrooms)</i>	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450,000	\$ 450,000
76	MULTIPLE DEPARTMENTS		Dorthea Public Plaza <i>(to be offset by grant)</i>	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,040,172	\$ 1,040,172
77	464-000 STREET MAINT OPERATIONS	101-267-976-441	Salt Dome Replacement	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000	\$ 1,000,000
78	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -		\$ 117,125	\$ 117,125
79	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 117,125	\$ 117,125
80	267-000 FACILITIES	101-267-976-101	City Hall Façade Upgrades	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
81	267-000 FACILITIES	101-267-931-101	City Hall HVAC improvements	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 846,548	\$ 846,548
82	MULTIPLE DEPARTMENTS		Cummings Parking Lot	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 894,900	\$ 894,900
83	751-000 PARKS & REC ADMINISTRATION		Kiwanis Tot Lot - Play Equipment and Soft Surfacing	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
84				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
					\$ 6,200,700	\$ 7,618,900	\$ 7,028,000	\$ 7,970,113	\$ 6,042,960	\$ 11,415,870	\$ 46,276,543



# CAPITAL IMPROVEMENTS

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## Project Funds and Summaries

*FY 2025-2026, 2026-2027, and 2027-2028*

### General Fund: Library Study Room Buildout

The number one request from library patrons is for small rooms to be used individually or for a small group to meet privately. Study rooms are becoming a standard addition to library spaces. This project will add two soundproofed private study rooms to the existing library footprint, each outfitted with a table and four chairs. The rooms will be made partially of glass for sightlines, and each will have a door for privacy. These study rooms will help make our Library space more usable to our community.

### Recreation Revolving Fund: Community Field 1 Concession Stand Remodel

The complete remodel of the Community Field #1 concession stand, including installing HVAC, will help make the field more functional and enjoyable for years to come. This project is part of a larger collaborative effort by the City of Berkley, Berkley School District, and Berkley Dads' Club to make comprehensive improvements to Community Field #1. Funding for the concession stand remodel is proposed to be reallocated from a parking lot grant, which was awarded based on an initial estimate. Our staff completed some additional field investigations and determined that the grant amount would not be enough for the necessary parking lot repairs, so the decision was made to repurpose those funds to be used to improve other areas of the complex, like the concession stand.

### Recreation Revolving Fund: Community Center Restroom Improvements

Dozens of programs and meetings take place at the Community Center each month, and investing in upgrading the current restrooms will improve the facility, helping us to better serve our community.

### General Fund: Access Control Cameras

This multi-year project will add security cameras to City Hall, the Community Center, and the Community Field #1 concession stand area, as well as expand the access control system for existing cameras throughout our Public Safety, Library, and City Hall buildings. This addition and expansion will enhance and improve safety in our municipal facilities for residents and employees.

### General Fund: Polaris Emergency Response Vehicle

In order to continue to deliver effective and efficient public safety services, the Department of Public Safety requires an emergency vehicle fleet. At the heart of this fleet are the patrol cars, used to patrol and respond to emergencies. While the Ford Police Interceptor Utility AWD and Ford



# CAPITAL IMPROVEMENTS

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F150 Police Pickup are the stalwarts of our fleet, BDPS has identified a need for a Polaris Emergency Response Vehicle. This need is based on the results of several major incident debriefs, prior experience, and best practices. This vehicle will give the department much more flexibility, especially during special events, in downtown areas, and at City and school parks. It will be registered as a street-legal vehicle with a secure space for police, fire, and EMS equipment. This vehicle will replace an existing Ford Police Interceptor Utility AWD marked police vehicle that had previously been budgeted.

## General Fund: Ford Police Interceptor Utility

In FY 2025–2026, this vehicle will replace an existing marked police vehicle with high mileage and high engine hours that is due for a changeover. That vehicle will be offered to another city's department/removed from the fleet and auctioned.

## Water & Sewer Fund: Concrete Repair

This encompasses necessary concrete repairs associated with water and sewer utility repairs as needed.

## Water & Sewer Fund: Lead Service Replacement Program

The State of Michigan requires the City to remove and replace all lead service lines at public cost by 2041. Having safe, clean, healthy drinking water is a top priority for the City, which is why DPW works to complete testing and necessary replacements well in advance of the 2041 deadline. This is a multi-year project for contracted lead service line replacements and restoration throughout the City and was noted in previous years' budgets as *"Lead Service Line Replacements"*.

## Water & Sewer Fund: Sewer Lining Program

Sewer lining is a cost-effective way to rehabilitate deteriorated sewer pipes by creating a new pipe within the old one, preventing leaks that can contaminate groundwater or allow groundwater infiltration. Lining also restores structural integrity and improves flow capacity by creating a smoother interior surface. It can be completed much faster than traditional pipe replacement methods, minimizing service disruptions and surface disturbances to roads, landscapes, and communities. The locations for this work are determined by video inspections, upcoming road and water main projects, and PACP ratings (a standardized rating system developed by the National Association of Sewer Service Companies that assigns grades from 1–5 to evaluate sewer pipe defects). This is an annual project and was noted in previous years' budgets as *"Annual Sewer Lining Program"*.



# CAPITAL IMPROVEMENTS

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## Major Street Fund, Infrastructure Millage Fund, Water & Sewer Fund: Bacon Ave Water Main and Pavement Replacement Project

Over the past five years, Bacon Avenue between 11 and 12 Mile has had a high number of water main breaks, resulting in water service disruptions for dozens of residents each time emergency repairs need to be made. This section of infrastructure has a 2022 Pavement Surface Evaluation Rating (PASER) of primarily 2, with a few blocks rated as a 3. The PASER system rates the condition of a roadway from 1 (failed) to 10 (excellent). This project is a continuation of our 2018 Capital Improvements Millage program and is similar in size and scope to water main reconstruction projects successfully completed in 2022 and 2023 in different areas of the City.

## Water & Sewer Fund: My Neptune 360 Portal Software

The My Neptune 360 Portal Software will allow residents access to an online portal to review their hourly water usage, receive high usage and leak alarms, etc. Being able to utilize this portal could potentially save a resident several thousand dollars due to small unknown leaks.

## General Fund: Ball Field Mowing Equipment

This mower will replace some of our current aging zero-turn equipment and will meet the higher expectations of upkeep at Community Field #1 with an increased quality of cut and striping capability. It will increase the width of each cut, reducing the time it takes to mow the field by 50%.

## Solid Waste: Brush Chipper

With the return of our chipper service, this additional small chipper will reduce operational costs for the biweekly program. The larger chipper will primarily be utilized during large storm events and as a backup unit for the biweekly program.

## General Fund: Building Official/Pool Vehicle

The Building Official uses this vehicle every day to travel to inspection appointments, site visits, and off-site meetings for at least four and a half hours each day (longer hours in warmer weather). The current vehicle was out of commission at least once in the past year due to necessary repairs. Users have noted potential transmission issues and that the SUV only gets 8.9 miles per gallon. The interior is torn and damaged from previous use, and there is chipped and flaking exterior paint. The replacement vehicle is expected to be in use for 7-10 years.

## Water & Sewer Fund: Neptune R900 v4e Gateway

This device will be installed near 11 Mile and Woodward to help DPW staff complete meter readings in that area without having to travel there. This will replace the current equipment which is no longer reliable.





# CAPITAL IMPROVEMENTS

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## Water & Sewer Fund: 3/4 Ton Pickup and Equipment Replacement #3

This will replace a 2017 Ford F250 Pickup and related equipment, including the lift gate, snow plow, and emergency lighting. These vehicles are used daily to help complete all public service work around the City, such as park maintenance, snow plowing, election setup, special events, and traffic control.

## General Fund: Arrowboard

DPW crews use the arrowboard to direct traffic away from work areas, making it safer for them to complete the work they need to. This arrowboard will replace the aging board that has been in use since 2016.

## General Fund: Landscape Trailer

The new, larger ball field mowing equipment requires a trailer to be able to transport it from field to field. The trailer will also be used for special events to help with setting up barricades.

## Water & Sewer Fund: Water Meter Replacements

Many of our existing water meters and their associated equipment are well past their expected service life and need to be replaced. The new meters will allow for remote reading options, which will reduce labor costs and allow our staff to notify residents more quickly. The entire changeout is expected to take five to six years.

## Major Street Fund: 4-Ton Heated Asphalt Trailer Replacement

This is a replacement for aging equipment in use since 2017. The 4-ton heated asphalt trailer is used for road maintenance and repair operations.

## General Fund: Interdepartmental Pool Vehicle Replacement

An interdepartmental pool vehicle is used by City staff to travel to off-site meetings and between City buildings. Typically, this is a rotated out vehicle from a specific department that is no longer fit for its intended purpose, but the existing vehicle was pulled out of service due to the cost of repair.

## Water & Sewer Fund: Mini Excavator Replacement and Related Parts

Our mini excavator is used for smaller excavations in confined areas where DPW crews need to minimize the disruptions to the surrounding areas, such as a water service line repair that extends slightly onto private property. This is a replacement for equipment that's been in use since 2018.



# CAPITAL IMPROVEMENTS

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## General Fund: Mobile Column Lift (2)

The mobile column lift equipment is used to lift our largest vehicles in our DPW fleet so our crews can complete necessary repairs and maintenance. Adding two additional lifts will allow our mechanics to be able to work on multiple large vehicles at the same time.

## Water & Sewer Fund: 3/4 Ton Pickup and Equipment Replacement #11

This will replace a 2020 Ford F250 Pickup and related equipment, including the lift gate, snow plow, and emergency lighting. These vehicles are used daily to help complete all public service work around the City, such as park maintenance, snow plowing, election setup, special events, and traffic control.

## General Fund: 3/4 Ton Pickup and Equipment Replacement #2

This will replace a 2020 Ford F250 Pickup and related equipment, including the lift gate, snow plow, and emergency lighting. These vehicles are used daily to help complete all public service work around the City, such as park maintenance, snow plowing, election setup, special events, and traffic control.

## Water & Sewer Fund: Concrete Cutting Road Saw and Trailer Replacement

This important equipment is used by DPW crews to complete road restoration and repairs during water and sewer utility work.

## Water & Sewer Fund: Utilimaster Walk-In Van Replacement

This walk-in van is used frequently as the mobile work station for DPW crews during water and sewer repairs. The van serves as a workspace, storage for equipment, and a location to monitor underground camera feeds.

## General Fund: John Deere UTV Replacement

The UTV is used to complete park maintenance and municipal sidewalk snow removal. The current vehicle is scheduled for replacement as per our Capital Equipment Replacement Plan that was previously approved by City Council.

## Major Street Fund: Large Brush Chipper Replacement

Our current large brush chipper is scheduled for replacement as per our Capital Equipment Replacement Plan that was previously approved by City Council. The replacement large brush chipper will primarily be used during large storm events and as a backup unit for the biweekly program.



# CAPITAL IMPROVEMENTS

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## Solid Waste: Leaf Vacuum Trailer/Body Replacement

The leaf vacuum is used during our fall curbside leaf collection program to remove leaves from the street and keep our roadway clear of debris that could clog our sewer system. The current equipment is scheduled for replacement as per our Capital Equipment Replacement Plan that was previously approved by City Council.

## Recreation Revolving Fund: Bacon Park – Drainage

Adding additional drainage at Bacon Park will help eliminate standing water in areas including the playground and around the pavilion. This improvement will make the park more usable for our community.

## Recreation Revolving Fund: Community Tennis Court Replacement & Gate Addition

Due to years of wear and tear, the tennis courts near the Community Center have many cracks that need repair. The last time these repairs were completed was in 2019. In addition to the repair, a gate will be added to the fence line to make it easier for maintenance staff to access the courts as needed.

## General Fund: Ford Police Interceptor Utility (2)

In FY 2026–2027, these vehicles will replace existing marked police vehicles with high mileage and high engine hours that are due for a changeover. Those vehicles will be offered to another city's department/removed from the fleet and auctioned.

## Public Improvements Fund: Fire Engine Replacement

"Engine 4" is our main front-line fire engine that responds to most fire-related emergencies within the City, as well as to mutual aid requests from our neighboring communities. It has been in service for 18 years, which exceeds the National Fire Protection Association's recommendation to place fire apparatus in a reserve status after 15 years. Due to the age of the engine, maintenance costs have continued to rise each year. A significant maintenance issue occurred in the spring of 2023 when the generator failed, resulting in fire damage to critical response equipment, and insurance declined to replace the generator. The compressed air foam system on the engine is now inoperable due to the generator failure, which compromises firefighting abilities. We cannot afford to delay this replacement, as manufacturing lead times for new fire apparatus currently extend up to 30 months.

## General Fund: Library Carpet

This project will replace the library's carpet throughout the building, which will require moving library materials and shelving to get the carpet replaced under the shelving. Some of that carpet is original to the building's expansion over 25 years ago. This carpet replacement was originally



# CAPITAL IMPROVEMENTS

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budgeted for FY 2025–2026, but staff recommended waiting until FY 2026–2027 to get another year of use out of the current carpet.

## Sidewalks: Sidewalk Replacements

This project is to complete a residential sidewalk replacement program throughout the City.

## Major Street Fund, Infrastructure Millage Fund, Water & Sewer Fund: Harvard Rd Water Main and Paving Project – Phase 2, Division 1

This project encompasses the complete replacement of water mains and the road pavement along Harvard Rd.

## Water & Sewer Fund: Rubber Tire Backhoe and Attachments Replacement

DPW staff use the rubber tire backhoe for larger excavations such as water and sewer repairs. It is also the main piece of equipment used for our curbside leaf collection program in the fall.

## General Fund: F-550 Hook Truck Replacement

Hook trucks are very versatile and have multiple attachments for use by our DPW staff, depending on need. One hook truck can be used as a salt truck, dump truck, flat bed, tanker/sprayer, dumpster, cardboard recycling, and garbage packer body.

## Water & Sewer Fund: Rubber Tire Loader Replacement

The rubber tire loader is used by DPW for loading materials into larger trucks, including road salt, sand, stone, concrete, and street sweepings. This piece is also used to load all of the leaves collected during our curbside leaf collection program into the large transfer trucks that haul them to the compost facility.

## General Fund: Zero Turn Mower Replacement

This is a replacement mower for equipment that has been in use since 2019. The zero turn mower is used to complete upkeep around the City.

## General Fund: Public Safety Carports

Our Public Safety vehicles are currently stored outside, open to the elements and potential damage. This project would install one to two carports for these vehicles.

## General Fund: Ford Police Interceptor Utility (2)

In FY 2027–2028, these vehicles will replace existing marked police vehicles with high mileage and high engine hours that are due for a changeover. Those vehicles will be offered to another city's department/removed from the fleet and auctioned.



### **Resolution of Adoption 2025 Millage Rates**

**WHEREAS**, the total millage rate for the current year is 12.8016 mills, compared to the prior year's rate of 12.9443 mills, representing a decrease of 0.1427 mills.

**WHEREAS**, a public hearing was held on May 19, 2025 on the 2025 millage rates and the 2025-2026 budget,

**NOW, THEREFOR, BE IT RESOLVED**, that to finance the level of services established in the 2025-2026 fiscal year, and to meet specific debt obligations of the City that the following millages are authorized to be spread:

General Operating	7.7468
Police/Fire	1.5748
Economic Development	0.0579
Solid Waste	1.5748
Capital Improvement	<u>1.8473</u>
	<u><u>12.8016</u></u>

**Resolution of Adoption Fiscal-Year 2025-2026 Budget and Acknowledging the Multi-Year Budget Including Projections of Future Fiscal-Year 2026-2027**

**WHEREAS**, the City Manager has submitted a balance proposed budget for fiscal year 2025-2026 and

**WHEREAS**, the budget takes into consideration the City's multi-year budget and financial planning through fiscal year 2026-2027, and

**WHEREAS**, the budget takes into consideration property tax revenue from the proposed 2025 millage rates, and

**WHEREAS**, a public hearing was held on May 19, 2025 on the proposed 2025-2026 budget,

**NOW, THEREFOR, BE IT RESOLVED**, that the fiscal year 2025-2026 attached budget is adopted (including the proposed property tax and water and sewer rate changes) and that the City Council acknowledges the Multi-Year Budget, including projections of future-year 2026-2027 as part of this resolution.

May 19, 2025 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to approve the terms of the second amendment to the City's Ground Lease agreement with AT&T.

Ayes:

Nays:

Absent:

Motion:



**CITY OF BERKLEY**  
**OFFICE OF THE CITY CLERK**  
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

# MEMORANDUM

To: Mayor Dean and City Council  
From: Crystal VanVleck, City Manager  
  
Date: *May 19, 2025*  
Subject: AT&T Ground Lease Amendment Terms

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Madam Mayor and Members of City Council,

## **Background**

The City has had a Ground Lease with AT&T since 2004 for a cell tower located near the Community Center. While the lease terms run through October 2029, AT&T reached out to discuss the terms around a renewal early as they are analyzing their inventory of infrastructure against their needs and new technology.

## **Summary**

As technology needs are shifting, and carriers are reviewing network efficiency, optimization, consolidation, and cost reductions, lease renewal terms are coming back as less than favorable to those currently held. While the initial lease extension proposal included a monthly lease amount less than what we are currently seeing, ultimately we were able to negotiate an extension of our current rent. In addition to a lease payment of \$2,189.91 a month (\$26,278.92 annually) for four years, with a three percent increase at the beginning of each extended five-year term, the lease also includes a provision to allow the Tenant to modify and/or replace equipment in order to be in compliance with current or future federal, state or local mandated applications, including but not limited to emergency 911 services.

The consideration of these terms is the first step in a ground lease renewal. If passed today, a full lease amendment would come before Council at a later date after review from the City Attorney.

## **Recommendation**

Approval of the terms of the second amendment to the City's Ground Lease agreement with AT&T.



Market: MI / IN  
Cell Site Number: MI3040  
Cell Site Name: Berkley  
Fixed Asset Number: 10014878

## SECOND AMENDMENT TO GROUND LEASE

THIS SECOND AMENDMENT TO GROUND LEASE (“**Second Amendment**”) dated as of the later date below is by and between City of Berkley, a Michigan municipal corporation, having a mailing address at 3338 Coolidge Road, Berkley, MI 48072 (“**Landlord**”) and New Cingular Wireless PCS, LLC, a Delaware limited liability company, successor by merger to Detroit SMSA Limited Partnership, having a mailing address at 1025 Lenox Park Blvd NE, 3rd Floor, Atlanta, GA 30319 (“**Tenant**”).

WHEREAS, Landlord and Tenant (or its affiliate or predecessor-in-interest) entered into a Ground Lease dated July 22, 2004, as amended by Amendment Number 1 to Ground Lease Agreement dated October 13, 2004, whereby Landlord leased to Tenant certain leased premises (“**Leased Premises**”), therein described, that are a portion of the Real Estate located at 2400 Robina Avenue, Berkley, MI 48072 (collectively, the “**Agreement**”); and

WHEREAS, the Term of the Agreement will expire on October 12, 2029, and the parties mutually desire to renew the Agreement, memorialize such renewal period and modify the Agreement in certain other respects, all on the terms and conditions contained herein; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to extend the Term of the Agreement; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to modify the notice section thereof; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to permit Tenant to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services; and

WHEREAS, Landlord and Tenant, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Landlord and Tenant agree as follows:

1. **Term.** The Term of the Agreement shall be amended to provide that the current term, which commenced on October 13, 2024, shall expire on October 12, 2029 (“**Current Term**”), and commencing on October 13, 2029, will be automatically renewed, upon the same terms and conditions of the Agreement, for five (5) additional five (5) year terms (each an “**Extended**”).

**Term**”). Hereafter, “**Term**” shall include the Current Term and any applicable Extended Term. The Term will automatically renew without further action by Tenant, unless Tenant notifies Landlord in writing of Tenant’s intention not to renew the Agreement at least sixty (60) days prior to the expiration of the Current Term or any Extended Term. Landlord agrees and acknowledges that, except as such permitted use or other rights may be amended herein, Tenant may continue to use and exercise its rights under the Agreement as permitted prior to the first Extended Term.

2. **Emergency 911 Service.** In the future, without the payment of additional Rent, or any other consideration, and at a location mutually acceptable to Landlord and Tenant, Landlord agrees that Tenant may add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services.

3. **Acknowledgement.** Landlord acknowledges that: 1) this Second Amendment is entered into of the Landlord’s free will and volition; 2) Landlord has read and understands this Second Amendment and the underlying Agreement and, prior to execution of this Second Amendment, was free to consult with counsel of its choosing regarding Landlord’s decision to enter into this Second Amendment and to have counsel review the terms and conditions of this Second Amendment; 3) Landlord has been advised and is informed that should Landlord not enter into this Second Amendment, the underlying Agreement between Landlord and Tenant, including any termination or non-renewal provision therein, would remain in full force and effect.

4. **Notices.** Section 21 of the Agreement is hereby deleted in its entirety and replaced with the following:

**NOTICES.** All notices, requests, payments of rent, demands, and other communications required or permitted hereunder shall be given as follows:

For Notices of Default to Tenant:

- a) To Tenant’s Lease Administration Department at [NoticeIntake@att.com](mailto:NoticeIntake@att.com); and
- b) To Tenant’s Law Department via First Class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid:

New Cingular Wireless PCS, LLC  
Attn.: Legal Dept – Network Operations  
Re: Cell Site #: MI3040; Cell Site Name: Berkley (MI)  
Fixed Asset #: 10014878  
208 Akard Street  
Dallas, TX 75202-4206

For Notices of Default to Landlord:

- a) To Landlord at [cvanvleck@berkleymi.gov](mailto:cvanvleck@berkleymi.gov); and
- b) To Landlord’s Law Department via First Class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid:

City of Berkley  
3338 Coolidge Road  
Berkley, MI 48072

All other Notices will be sent:

- a) To Tenant's Lease Administration Department at [NoticeIntake@att.com](mailto:NoticeIntake@att.com); and
- b) To Landlord at:

City of Berkley  
3338 Coolidge Road  
Berkley, MI 48072

Notices by email will be effective on the first calendar day after it was sent unless the sender receives an automated message that the email has not been delivered. Electronic mail shall be sent with a read receipt, but a read receipt shall not be required to establish that notice was given and received. All other Notices shall be effective when received unless returned undelivered. Either party hereto may change the place for the giving of notice to it by thirty (30) days' prior written notice to the other party hereto as provided herein.

5. **Charges.** All charges payable under the Agreement such as utilities and taxes shall be billed by Landlord within one (1) year from the end of the calendar year in which the charges were incurred; any charges beyond such period shall not be billed by Landlord, and shall not be payable by Tenant. The foregoing shall not apply to monthly Rent which is due and payable without a requirement that it be billed by Landlord. The provisions of this subsection shall survive the termination or expiration of the Agreement.

6. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Agreement and this Second Amendment, the terms of this Second Amendment shall control. Except as expressly set forth in this Second Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Second Amendment.

7. **Capitalized Terms.** All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

[NO MORE TEXT ON THIS PAGE - SIGNATURES TO FOLLOW ON NEXT PAGE]

**IN WITNESS WHEREOF**, the parties have caused this Second Amendment to be effective as of the last date written below.

**LANDLORD:**

City of Berkley,  
a Michigan municipal corporation

**TENANT:**

New Cingular Wireless PCS, LLC,  
a Delaware limited liability company

By: AT&T Mobility Corporation  
Its: Manager

By: [NOT FOR EXECUTION]

By: [NOT FOR EXECUTION]

Print Name: \_\_\_\_\_

Print Name: \_\_\_\_\_

Its: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

[ACKNOWLEDGEMENTS APPEAR ON THE NEXT PAGE]

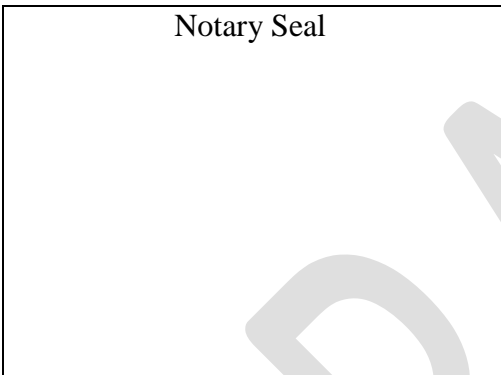


**LANDLORD ACKNOWLEDGEMENT**

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

I certify that I know or have satisfactory evidence that \_\_\_\_\_ is the person who appeared before me, and said person acknowledged that said person signed this instrument, on oath stated that said person was authorized to execute the instrument and acknowledged it as the \_\_\_\_\_ of **City of Berkley, a Michigan municipal corporation**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

DATED: \_\_\_\_\_.



\_\_\_\_\_  
(Signature of Notary)

\_\_\_\_\_  
(Legibly Print or Stamp Name of Notary)  
Notary Public in and for the State of

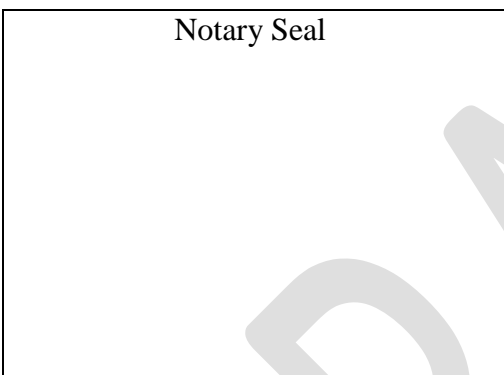
\_\_\_\_\_  
My appointment expires: \_\_\_\_\_

**TENANT ACKNOWLEDGEMENT**

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

I certify that I know or have satisfactory evidence that \_\_\_\_\_ is the person who appeared before me, and said person acknowledged that he/she signed this instrument, on oath stated that he/she was authorized to execute the instrument and acknowledged it as the \_\_\_\_\_ of **AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, a Delaware limited liability company**, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

DATED: \_\_\_\_\_.



\_\_\_\_\_  
(Signature of Notary)

\_\_\_\_\_  
(Legibly Print or Stamp Name of Notary)  
Notary Public in and for the State of

\_\_\_\_\_  
My appointment expires: \_\_\_\_\_