

# PUBLIC NOTICE

## CITY OF BERKLEY, MICHIGAN REGULAR MEETING OF THE CITY PLANNING COMMISSION

Tuesday, April 22, 2025  
7:00PM – City Hall Council Chambers  
Information: 248-658-3320

CALL TO ORDER  
PLEDGE OF ALLEGIANCE  
ROLL CALL  
APPROVAL OF AGENDA  
APPROVAL OF MINUTES – *Meeting minutes of March 18, 2025*  
COMMUNICATIONS  
CITIZEN COMMENTS

OLD BUSINESS

NEW BUSINESS

1. **Capital Improvement Plan**
2. **PSP-03-25: 3340 Ellwood Ave.:** The applicant, John Spietzer, is requesting site plan approval for a new parking lot at 3340 Ellwood connecting to the existing Green Lantern parking lot, on the east side of Ellwood, south of Twelve Mile in the Parking District.
3. **PSP-04-25: 3391 Twelve Mile Rd.:** The applicant, C & H Land-Walnut, LLC, is requesting site plan approval for façade renovations at 3391 Twelve Mile, on the south side of Twelve Mile, east of Buckingham in the Twelve Mile District.
4. **Planning Commission Liaison for Chamber of Commerce**

LIAISON REPORTS  
COMMISSIONER / STAFF COMMENTS  
ADJOURN

*Notice: Official Minutes of the City Planning Commission are stored and available for review at the office of the City Clerk. The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the city. Individuals with disabilities requiring auxiliary aids or services should contact the city by writing or calling: City Clerk, ADA Contact, Berkley City Hall, 3338 Coolidge, Berkley, Michigan 48072, (248) 658-3300.*

You can watch the meeting on Channel 10 for both Comcast and WOW, at <http://www.youtube.com/CityofBerkley> or <http://www.berkleymich.org/livestream>.

**THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:00 PM, MARCH 18, 2025 AT BERKLEY CITY HALL BY CHAIR LISA KEMPNER.**

*The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: <https://www.youtube.com/user/cityofberkley>*

**DRAFT**

**PRESENT:** Josh Stapp  
Shiloh Dahlin  
Lisa Kempner  
Eric Arnsman

**ABSENT:** Lisa Hamameh, Joe Bartus, Mike Woods

**ALSO PRESENT:** Kristen Kapelanski, Community Development Director  
Greg Patterson, City Council Liaison

Motion by Commissioner Dahlin to excuse the absences of Commissioners Hamameh, Bartus and Woods.  
Motion supported by Commissioner Stapp.

Voice Vote to excuse the absences of Commissioners Hamameh, Bartus and Woods.

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**MOTION CARRIED**

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**APPROVAL OF AGENDA**

Motion by Commissioner Arnsman to approve the agenda and supported by Commissioner Stapp.

Voice vote to approve the agenda

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**MOTION CARRIED**

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**APPROVAL OF THE MINUTES**

Motion by Commissioner Dahlin to approve the minutes of the January 28, 2025 regular Planning Commission meeting and supported by Commissioner Arnsman.

Voice vote to approve the meeting minutes of January 28, 2025.

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**MOTION CARRIED**

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## **COMMUNICATIONS**

NONE

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## **CITIZEN COMMENTS**

NONE

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## **OLD BUSINESS**

NONE

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## **NEW BUSINESS**

1. **Amendment to Planned Unit Development PPUD-01-25: The Columbia:** The applicant, Krieger Klatt Architects on behalf of WJ Ventures LLC, 2465 Columbia, 2475 Columbia, 2468 Columbia and 2476 Columbia and 2475 Cambridge, is requesting an amendment to the Planned Unit Development previously approved for a multiple-family development on the east side of Coolidge Highway, south of Cambridge Road and north and south of Columbia Road

Community Development Director Kapelanski presented the project noting that the applicant is requesting an amendment to a previously approved Planned Unit Development. The Planning Commission should consider only the changes proposed and whether they affect or change the previously found public benefits. Changes to the plan include the following:

- The southern building has been eliminated and all units have been consolidated into one building on the northern-most parcel. The pocket park originally on the eastern half of the southern parcel has been moved to the west, fronting Coolidge. Carports are proposed as accessory structures on the southern parcel.
- Conversion of the mansard roof into a flat deck roof. Height per the Zoning Ordinance is measured to the mid-point of a mansard roof and the top of a flat roof. In the original PUD, the top of the mansard roof was labeled as 45 ft. with a midpoint of 40 ft., the maximum allowed height. Since a flat top roof is measured differently, with a proposed height of 46 ft., this will require a deviation.
- The first-floor lobby has been increased in size.
- The unit count has decreased from 57 to 51 units.
- Balcony locations have been added and adjusted.
- The façade has been updated to have similar materials but with a different color palate. Cement board siding has been added as an accent material on the east, north and south elevations. Siding can be permitted by the Planning Commission if the Commission finds that the standards in Section 138-678 have been met.
- The parking lot layout has been revised and the number of parking spaces has been reduced from 77 to 69. With the reduction of units, this equals a ratio of 1.35 spaces per unit. The current approved plan also proposed 1.35 spaces per unit. The parking lot reconfigurations result in a more usable parking area without the use of tandem spaces.
- Landscaping throughout the site has been adjusted to accommodate the proposed layout changes.
- The refuse area has been moved under the podium of the building.

The applicant's team, WJ Ventures, LLC, Giffels Webster and Krieger Klatt Architects went through a presentation visually showing the above changes.

Chair Kempner opened the public hearing at 7:20PM. No one wished to speak and no correspondence was received. The public hearing was closed at 7:20PM.

The Planning Commission asked and the applicant agreed to work with staff to better activate the proposed park area.

The Commission went through the three previously found public benefits and agreed those were still met. They also agreed the standards of approval in Section 138-537 have been met.

Motion by Commissioner Stapp and supported by Commissioner Arnsman to recommend approval of the proposed amendment to PUD-01-25 The Columbia with the following ordinance deviations:

- Deficient use (Non-residential is not provided on the first floor.)
- Deficient use (The southernmost parcel contains a public park space/plaza and parking for the proposed multifamily building. Parking and a park are not permitted uses in the Gateway Zoning District.)
- Deficient front setback - west (10 ft. required, 0.5 ft. provided)
- Deficient building height (40 ft. required, 46 ft. provided)
- Deficient number of parking spaces (102 required, 69 provided)
- Deficient number of compact car spaces (30% permitted, 35% proposed)
- Deficient use (Accessory structure – carports- located on a parcel without a principal use.)
- Deficient parking location (Off-street parking facilities must be located on the same parcel as the principal use. Parking proposed on southern parcel.); and

With the following conditions:

- The applicant work with staff to better activate the proposed park space; and

With the following findings:

- The minimum of three of the seven public benefits listed in Section 138-533 have been met including:
  - That the project provides extensive landscaping, beyond the site plan requirements;
  - That the project provides open space or a public plaza; and
  - That the project provides efficient consolidation of poorly dimensioned parcels; and
- The standards for approval in Section 138-537 are met.

Roll call vote on the motion to recommend approval of PUD-01-25 The Columbia.

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

## **2. Planning Commission Liaison for Chamber of Commerce**

The Planning Commission elected to postpone discussion of this item until more members were present.

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### **LIAISON REPORT**

Commissioners provided updates on the Downtown Development Authority and Zoning Board of Appeals.

City Council Member Patterson provided an update on recent Council decisions.

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### **COMMISSIONER COMMENTS**

NONE

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**STAFF COMMENTS**

NONE

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**ADJOURNMENT**

Motion to adjourn by Commissioner Dahlin supported by Commissioner Arnsman.

Voice vote for adjournment

AYES: 4

NAYS: 0

ABSENT: Hamameh, Bartus, Woods

**With no further business, the meeting was adjourned at 7:52 p.m.**

DRAFT



**City of Berkeley**  
**Summary of Budget Requests**  
**CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements**  
**2025-2026 Budget**

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
1	790-000 LIBRARY	101-267-976-271	Library - Study Room Buildout (Qty: 2)	101 - General Fund	\$ 41,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 41,200
2	751-000 PARKS & REC ADMINISTRATION	208-267-976-208	Comm1 - Concession Stand remodel (including bathrooms, heating & cooling) (pending final decision - repurpose of parking lot grant of \$150k)	208 - Recreation Revolving Fund	\$ 111,200	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 111,200
3	751-000 PARKS & REC ADMINISTRATION	208-267-976-208	Community Center Restrooms (pending final decision - repurpose of parking lot grant of \$150k)	208 - Recreation Revolving Fund	\$ 55,900	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 55,900
4	267-000 FACILITIES	101-267-976-101	Access Control Cameras	101 - General Fund	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000
5	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Polaris Emergency Response Vehicle	101 - General Fund	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
6	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000
7	536-000 WATER & SEWER SERVICE	592-536-982-000	Concrete Repair	592 - Water Sewer Fund	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,200,000
8	536-000 WATER & SEWER SERVICE	592-536-975-000	Lead Service Replacement Program (was Lead Service Line Replacements)	592 - Water Sewer Fund	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 6,000,000
9	536-000 WATER & SEWER SERVICE	592-902-971-150	Sewer Lining Program (was "Annual Sewer Lining Program")	592 - Water Sewer Fund	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000	\$ 3,600,000
10	464-000 STREET MAINT OPERATIONS	202-464-975-100	Bacon Ave (12 Mile to Catalpa) - Water Main and Paving Project - Phase I	202 - Major Street Fund	\$ 1,968,000	\$ 103,000	\$ -	\$ -	\$ -	\$ -	\$ 2,071,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ 1,363,900	\$ 2,439,100	\$ -	\$ -	\$ -	\$ -	\$ 3,803,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ 789,800	\$ -	\$ -	\$ -	\$ -	\$ 789,800
11	536-000 WATER & SEWER SERVICE	592-536-986-000	My Neptune 360 Portal Software	592 - Water Sewer Fund	\$ 16,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16,000
12	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Ball Field Mowing Equipment	101 - General Fund	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,000
13	528-000 SOLID WASTE SERVICES	226-528-982-000	Equipment - Brush Chipper	226 - Solid Waste	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
14	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Building Official/Pool Vehicle	101 - General Fund	\$ 32,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 32,000
15	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Neptune R900 v4e Gateway	592 - Water Sewer Fund	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
16	441-000 PUBLIC WORKS	592-536-985-000	Vehicle - 3/4 Ton Pickup and Equipment Replacement #3	592 - Water Sewer Fund	\$ 69,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 69,000
17	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Arrowboard	101 - General Fund	\$ 6,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,500
18	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Landscape Trailer	101 - General Fund	\$ 7,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,000
19	536-000 WATER & SEWER SERVICE	592-536-982-592	Water Meter Replacements	592 - Water Sewer Fund	\$ 295,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 335,000	\$ 1,970,000
20	464-000 STREET MAINT OPERATIONS	202-464-982-000	Equipment - 4 Ton Asphalt Trailer Replacement	202 - Major Street Fund	\$ -	\$ 52,000	\$ -	\$ -	\$ -	\$ -	\$ 52,000
21	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Interdepartmental Pool Vehicle (replacement)	101 - General Fund	\$ -	\$ 33,000	\$ -	\$ -	\$ -	\$ -	\$ 33,000
22	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Mini Excavator and Related Attachments (replacement)	592 - Water Sewer Fund	\$ -	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ 200,000
23	443-000 PUBLIC WORKS GARAGE	101-441-982-000	Equipment - Mobile Column Lift (Qty - 2)	101 - General Fund	\$ -	\$ 30,000	\$ -	\$ -	\$ -	\$ -	\$ 30,000
24	536-000 WATER & SEWER SERVICE	592-536-985-000	Vehicle - 3/4 Ton Pickup and Equipment Replacement #11	592 - Water Sewer Fund	\$ -	\$ 71,000	\$ -	\$ -	\$ -	\$ -	\$ 71,000



**City of Berkeley**  
Summary of Budget Requests  
CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements  
2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
25	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - 3/4 Ton Pickup and Equipment Replacement #2	101 - General Fund	\$ -	\$ 71,000	\$ -	\$ -	\$ -	\$ -	\$ 71,000
26	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Concrete Cutting Road Saw and Trailer (replacement)	592 - Water Sewer Fund	\$ -	\$ 90,000	\$ -	\$ -	\$ -	\$ -	\$ 90,000
27	536-000 WATER & SEWER SERVICE	592-536-985-000	Vehicle - Utilmaster Walk In Van (replacement)	592 - Water Sewer Fund	\$ -	\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ 300,000
28	441-000 PUBLIC WORKS	101-441-982-000	Equipment - John Deere UTV (replacement)	101 - General Fund	\$ -	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000
29	528-000 SOLID WASTE SERVICES	202-464-982-000	Equipment - Large Brush Chipper (replacement)	202 - Major Street Fund	\$ -	\$ 65,000	\$ -	\$ -	\$ -	\$ -	\$ 65,000
30	528-000 SOLID WASTE SERVICES	226-528-982-000	Equipment - Leaf Vacuum Trailer/Body (replacement)	226 - Solid Waste	\$ -	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000
31	751-000 PARKS & REC ADMINISTRATION	208-751-971-150	Bacon Park - Drainage	208 - Recreation Revolving Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
32	751-000 PARKS & REC ADMINISTRATION	208-751-971-150	Community Tennis Courts - Tennis Court Replacement & Gate Addition	208 - Recreation Revolving Fund	\$ -	\$ 40,000	\$ 60,000	\$ -	\$ -	\$ -	\$ 100,000
33	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
34	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000
35	901-000 CAPITAL PROJECTS	445-901-985-000	Vehicle - Fire Engine Replacement	445 - Public Improvements Fund	\$ -	\$ 300,000	\$ 800,000	\$ -	\$ -	\$ -	\$ 1,100,000
36	267-000 FACILITIES	101-267-976-271	Library - Carpet	101 - General Fund	\$ -	\$ 140,000	\$ -	\$ -	\$ -	\$ -	\$ 140,000
37	901-000 CAPITAL PROJECTS	809-901-975-001	Sidewalk Replacements	809 - Sidewalks	\$ -	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 2,000,000
38	444-000 STREET MAINT OPERATIONS	202-464-975-100	Harvard Rd (Coolidge to Cass) - Water Main and Paving Project - Phase 2, Division 1	202 - Major Street Fund	\$ -	\$ -	\$ 140,000	\$ -	\$ -	\$ -	\$ 140,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ 1,611,000	\$ 750,000	\$ -	\$ -	\$ 2,361,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ 1,249,000	\$ -	\$ -	\$ -	\$ 1,249,000
39	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Rubber Tire Backhoe and Attachments (replacement)	592 - Water Sewer Fund	\$ -		\$ 185,000	\$ -	\$ -	\$ -	\$ 185,000
40	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - F-550 Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ 175,000	\$ -	\$ -	\$ -	\$ 175,000
41	536-000 WATER & SEWER SERVICE	592-536-982-592	Equipment - Rubber Tire Loader (replacement)	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 225,000	\$ -	\$ -	\$ 225,000
42	441-000 PUBLIC WORKS	101-441-982-000	Equipment - Zero Turn Mower (replacement)	101 - General Fund	\$ -	\$ -	\$ 22,000	\$ -	\$ -	\$ -	\$ 22,000
43	345-000 PUBLIC SAFETY OPERATIONS	101-267-976-345	Public Safety - Carports	101 - General Fund	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
44	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ 88,000	\$ -	\$ -	\$ -	\$ 88,000
45	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ 88,000	\$ -	\$ -	\$ -	\$ 88,000
46	444-000 STREET MAINT OPERATIONS	202-464-975-100	Harvard Rd (Coolidge to Cass) - Water Main and Paving Project- Phase 2, Division 2	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ 150,000	\$ 160,000	\$ -	\$ 310,000
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ 910,000	\$ 1,340,000	\$ -	\$ 2,250,000
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 1,190,000	\$ -	\$ -	\$ 1,190,000



**City of Berkeley**  
**Summary of Budget Requests**  
**CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements**  
**2025-2026 Budget**

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
47	751-000 PARKS & REC ADMINISTRATION		Oxford Park - Drainage	101 - General Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
48		208-751-971-150		208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
49	751-000 PARKS & REC ADMINISTRATION		Angell Park - Tennis Court Replacement & Gate Addition	101 - General Fund	\$ -	\$ -	\$ -	\$ 37,500	\$ -	\$ -	\$ 37,500
50				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 37,500	\$ -	\$ -	\$ 37,500
51	751-000 PARKS & REC ADMINISTRATION		Lazenby Field - Netting	101 - General Fund	\$ -	\$ -	\$ -	\$ 5,000	\$ -	\$ -	\$ 5,000
52				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ 10,000	\$ -	\$ -	\$ 10,000
53	751-000 PARKS & REC ADMINISTRATION		Community Fields - Fence	101 - General Fund	\$ -	\$ -	\$ -	\$ 77,250	\$ -	\$ -	\$ 77,250
54	536-000 WATER & SEWER SERVICE		Underground Fuel Tank Replacement - DPW	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 500,000	\$ -	\$ -	\$ 500,000
55	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Tandem Axle Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ -		\$ 295,000	\$ -	\$ 295,000
56	441-000 PUBLIC WORKS	592-536-982-592	Equipment - Telehandler (Replacement - 2002)	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 200,000	\$ -	\$ -	\$ 200,000
57	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - F-550 Hook Truck (replacement)	101 - General Fund	\$ -	\$ -	\$ -	\$ 190,000	\$ -	\$ -	\$ 190,000
58	441-000 PUBLIC WORKS	592-536-985-000	Vehicle - Transist Meter Van #1	592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000
59	441-000 PUBLIC WORKS	101-441-985-00	Vehicle - Tandem Hook Truck (replacement - 2019)	101 - General Fund	\$ -	\$ -	\$ -	\$ 280,000	\$ -	\$ -	\$ 280,000
60	441-000 PUBLIC WORKS	101-267-976-441	Generator - DPW	101 - General Fund	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ -	\$ 100,000
61	345-000 PUBLIC SAFETY OPERATIONS	101-267-976-345	Public Safety - Lockerooms	101 - General Fund	\$ -	\$ -		\$ 180,000	\$ -	\$ -	\$ 180,000
62	267-000 FACILITIES	101-267-976-271	Library Entrance Doors	101 - General Fund	\$ -	\$ -	\$ -	\$ 65,000	\$ -	\$ -	\$ 65,000
63	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ 99,704	\$ -	\$ -	\$ 99,704
64	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ 99,704	\$ -	\$ -	\$ 99,704
65	430-000 ANIMAL CONTROL	101-430-985-000	Vehicle - ACO FORD F150 Super Crew Pickup	101 - General Fund	\$ -	\$ -	\$ -	\$ 103,455	\$ -	\$ -	\$ 103,455
66	464-000 STREET MAINT OPERATIONS	202-464-975-100	Wakefield (12 Mile to Webster) - WaterMain and Paving Project- Phase 3, Division 1	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000	\$ 2,250,000	\$ 3,750,000
67	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 106,480	\$ -	\$ 106,480
68	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 106,480	\$ -	\$ 106,480
69	464-000 STREET MAINT OPERATIONS	202-464-975-100	Wakefield (12 Mile to Webster) - WaterMain and Paving Project- Phase 3, Division 2	202 - Major Street Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	901-000 CAPITAL PROJECTS	443-901-975-000		443 - Infrastructure Millage Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -





**City of Berkeley**  
Summary of Budget Requests  
CIP, Capital Outlay, Light-Duty Vehicles, and Service Improvements  
2025-2026 Budget

ID #	DEPT	Account #	DESCRIPTION	GL FUND	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	TOTAL
70	536-000 WATER & SEWER SERVICE	592-536-975-000		592 - Water Sewer Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 750,000	\$ 750,000
	MULTIPLE DEPARTMENTS		Light Poles at ALL Parks	208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000	\$ 1,000,000
71	MULTIPLE DEPARTMENTS		Oxford Park - Pavillion/Concrete Pad and Shade	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 82,500	\$ 82,500
72				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 82,500	\$ 82,500
73	845-000 RECREATION CLASSES		Oxford Park - Walking Trails	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
74				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000	\$ 50,000
75	751-000 PARKS & REC ADMINISTRATION		Community Center - Parking Lot Offset by grant \$150k (if not repurposed to Comm Center bathrooms)	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450,000	\$ 450,000
76	MULTIPLE DEPARTMENTS		Dorthea Public Plaza (offset by grant of XXX)	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,040,172	\$ 1,040,172
77		464-000 STREET MAINT OPERATIONS	101-267-976-441	Salt Dome Replacement	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000
78	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -		\$ 117,125	\$ 117,125
79	345-000 PUBLIC SAFETY OPERATIONS	101-345-985-000	Vehicle - Ford Police Interceptor Utility	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 117,125	\$ 117,125
80	267-000 FACILITIES	101-267-976-101	City Hall Façade Upgrades	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000	\$ 150,000
81	267-000 FACILITIES	101-267-931-101	City Hall HVAC improvements	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 846,548	\$ 846,548
82	MULTIPLE DEPARTMENTS		Cummings Parking Lot	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 894,900	\$ 894,900
83	751-000 PARKS & REC ADMINISTRATION		Kiwans Tot Lot - Play Equipment and Soft Surfacing	101 - General Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
84				208 - Recreation Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
					\$ 6,200,700	\$ 7,618,900	\$ 7,028,000	\$ 7,970,113	\$ 6,042,960	\$ 11,415,870	\$ 46,276,543

THE CITY OF BERKLEY  
Community Development Department  
3338 Coolidge, Berkley, Michigan 48072  
(248) 658-3320

**NOTICE OF PUBLIC MEETING**  
**BERKLEY PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN, in accordance with Section 138-656 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy, Berkley Michigan, on **Tuesday, April 22, 2025** at 7:00pm, or as near thereto as the matter may be reached.

**CAPITAL IMPROVEMENTS PLAN (CIP)**

The CIP is a program that projects and coordinates public expenditures for improvements to the transportation and utility systems, municipal facilities and other capital improvement projects over a six-year period. Preparation of the CIP is done under the authority of PA 33 of 2008, the Michigan Planning Enabling Act, as amended.

The CIP is available for review at Berkley City Hall.

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Community Development Department or emailed to [planning@berkleymi.gov](mailto:planning@berkleymi.gov) before 5:00p.m on the date of the Planning Commission meeting.

You can watch the meeting: [youtube.com/cityofberkley](https://youtube.com/cityofberkley)

KRISTEN KAPELANSKI  
COMMUNITY DEVELOPMENT DIRECTOR



# CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

## MEMORANDUM

**To:** Planning Commission  
**From:** Kristen Kapelanski, Community Development Director  
**Subject:** PSP-03-25: 3340 Ellwood Ave.  
**Date:** April 22, 2025

---

### Background

- The applicant is proposing to expand the parking lot for Green Lantern to a parcel at 3340 Ellwood. The current house would be demolished.
- The zoning of the property is Parking District, which permits parking lots as a principal permitted use.

### Summary

- The parking lot expansion would add 14 parking spaces, mostly on the Ellwood parcel. Access to the lot would come off the existing Green Lantern parking lot with an exit only on Ellwood. Parking lot lighting would also be included.
- The plan is in compliance with ordinance requirements.
- The Planning Commission will need to make a determination per Section 130-37 that the proposed landscaping meets the requirements outlined in the Master Plan. Landscaping has not been proposed and staff recommends some landscaping be added to the new lot. This may require the removal of a parking space.
- A screen wall is required and has been provided to buffer the adjacent residential property. While there is space to add a more substantial landscape buffer, the inclusion of such a space would cause the proposed drive aisle to be misaligned with the existing drive aisle connecting the new lot to the old lot.

### Recommendation

If the Planning Commission chooses to approve the site plan, staff recommends the approval motion include a finding that the Planning Commission finds that the plan meets the standards for site plan approval per Section 138-679 and that the landscaping as proposed meets the requirements of Section 130-37. Staff recommends approval of the plan but the applicant should consider adding landscaping as noted above.

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**CITY OF BERKLEY**  
**COMMUNITY DEVELOPMENT**  
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

**APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in **substantially complete form** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

**TO BE COMPLETED BY APPLICANT:**

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: Green Lantern parking

Applicant: John Spitzer

Mailing Address: 565 Ottawa Drive, Troy MI 48065

Telephone: [REDACTED]

Email: [REDACTED]

Property Owner(s), if different from Applicant: GC Berkley Properties LLC

Mailing Address: 28832 John C Rd Madison Heights MI 48072

Telephone: [REDACTED]

Email: John@greentankpizza.com

Applicant's Legal Interest in Property: [REDACTED]

**LOCATION OF PROPERTY:**

Street Address: 3340 Ellwood Ave

Nearest Cross Streets: 12 & Greenfield

Sidwell Number(s): 04-25-18-102-015

**PROPERTY DESCRIPTION:**

Provide lot numbers and subdivision:

Lot 78 04-25-18-102-05

Property Size (Square Feet):

5200

(Acres):

.119**EXISTING ZONING DISTRICT** (please check):☐ R-1A☐ Local Business☐ Coolidge☐ R-1B☐ Office☐ Downtown☐ R-1C☐ Community Centerpiece☐ Industrial☐ R-1D☐ Woodward☐ Cemetery☐ RM☐ Eleven Mile☒ Parking☐ RMH☐ Twelve Mile

Present Use of Property:

vacant

Proposed Use of Property:

parking for green lantern pizza

Is the property located within the Downtown Development Authority?

☐ Yes☒ No**PROJECT DESCRIPTION:**

3340 Elwood will become an extension of the existing green lantern lot with 14 new spaces. The current house and garage will be removed. A new side wall will be created at the south wall.

Does the proposed project / use of property require Special Land Use approval?

☐ Yes☒ No

Does the proposed project require Variance(s) from the Zoning Board of Appeals?

☐ Yes☒ No

If yes, please describe Variances required:

**PLEASE COMPLETE THE FOLLOWING CHART:**

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial	0	0	14	0
Industrial				
Other				

**PROFESSIONALS WHO PREPARED PLANS:**

A. Name: Matthew Seely RA  
Mailing Address: 2831 Swain Rd Waterford MI 48324  
Telephone: [REDACTED]  
Email: [REDACTED]  
Design Responsibility (engineer, surveyor, architect, etc.): Architect

B. Name: Gusson Khalaf  
Mailing Address: 5648 Middlebelt Rd, Garden City MI 48135  
Telephone: [REDACTED]  
Email: [REDACTED]  
Design Responsibility: Civil engineer

**SUBMIT THE FOLLOWING:**

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

- ☐ Road Commission for Oakland County  
☐ MI Dept. of Transportation

- ☐ Oakland County Health Division  
☐ MI Dept. of Environment, Great Lakes & Energy



---

**PLEASE NOTE:** The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

---

**PROPERTY OWNER'S APPROVAL: (Initial each line)**

hs I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

---

**APPLICANT'S ENDORSEMENT: (Initial each line)**

JS All information contained therein is true and accurate to the best of my knowledge.

JS I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

JS I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

---

**If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.**


---

 2-13-25  
Signature of Applicant Date

John Spreitzer  
Applicant Name (Print)

\_\_\_\_\_  
Signature of Applicant Date

\_\_\_\_\_  
Applicant Name (Print)

 2-13-25  
Signature of Property Owner Authorizing this Application Date

John Spreitzer  
Property Owner Name (Print)

**OFFICE USE ONLY**

Received 2/13/25 Receipt # \_\_\_\_\_ Meeting Date \_\_\_\_\_ Case # PSP-03-25

**Fees:**

Site Plan Review \$600 **Plus Escrow:** Multi-family \$660 Commercial \$1,100

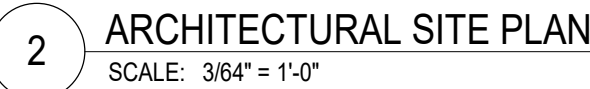
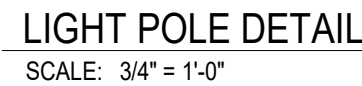
Administrative: \$300 Extension \$200

Engineering: Multi-family Full Site \$1,500 Escrow \$800 Commercial Full Site \$1,300 Escrow \$800  
Multi-family Partial Site \$1000 Escrow \$800 Commercial Partial Site \$800 Escrow \$800

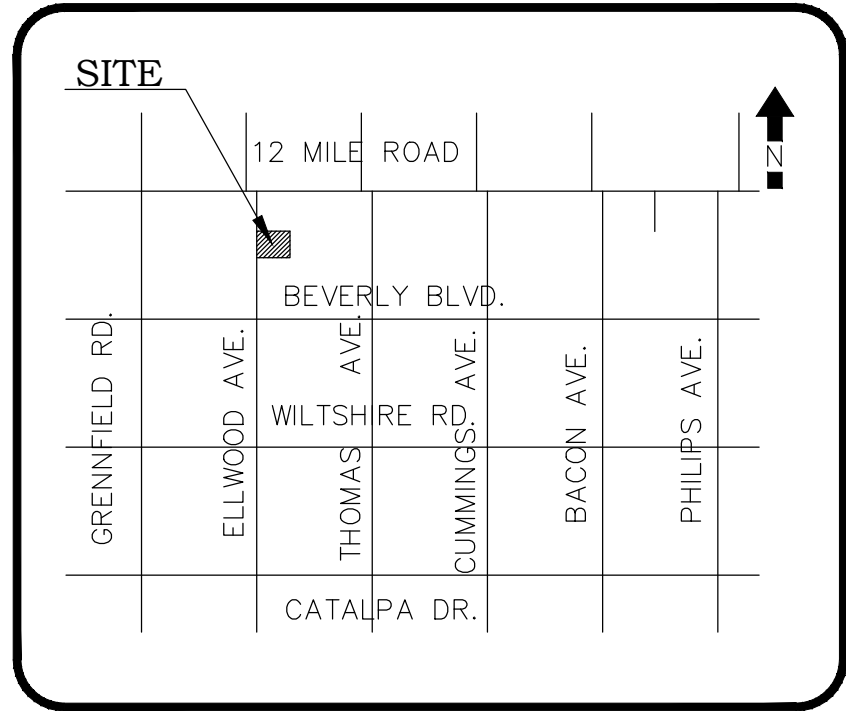
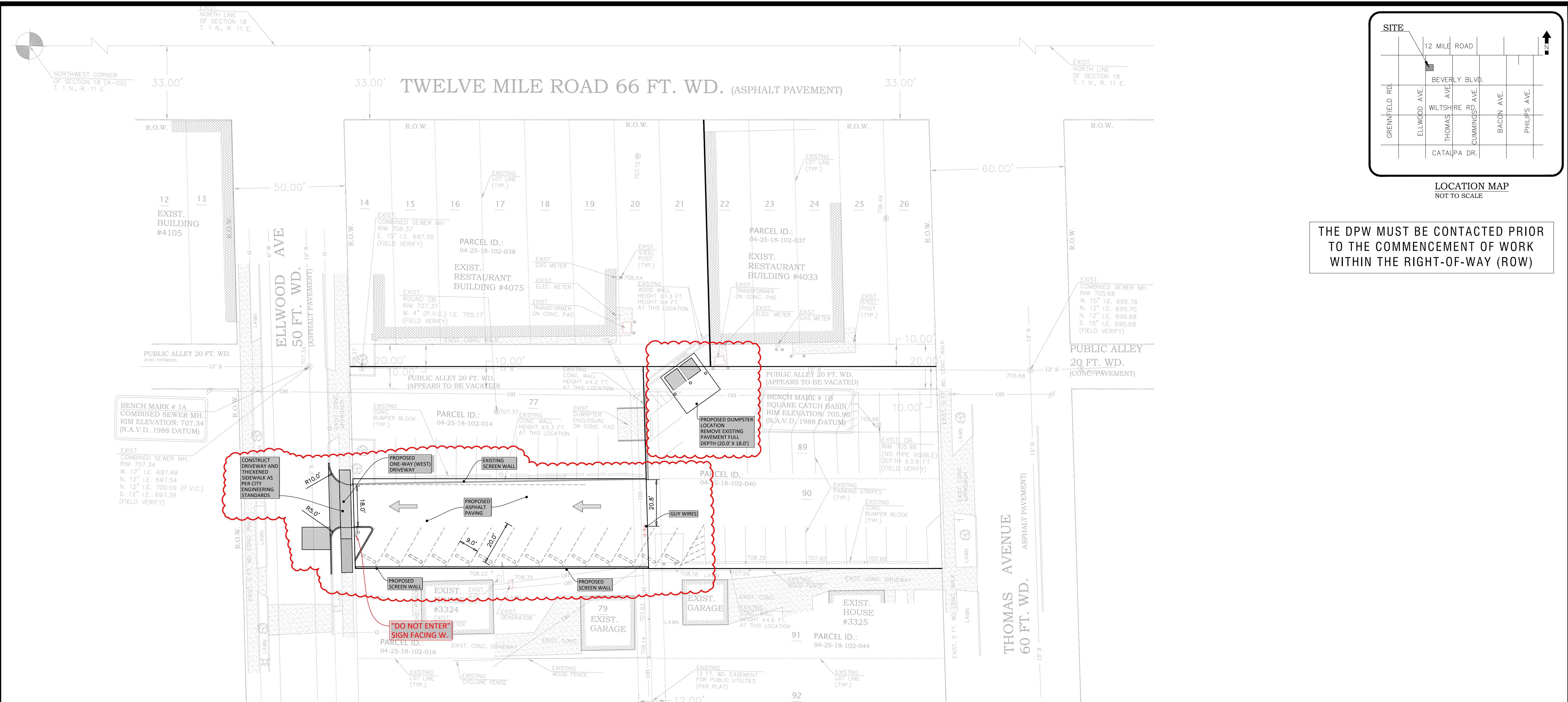






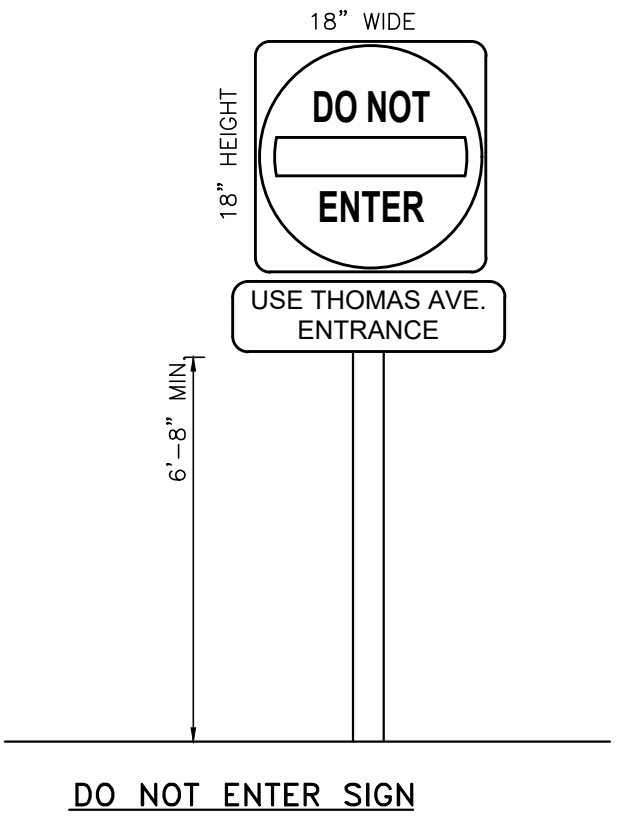









THE DPW MUST BE CONTACTED PRIOR TO THE COMMENCEMENT OF WORK WITHIN THE RIGHT-OF-WAY (ROW)

- SCOPE OF WORK:**
- ALL SITE REMOVAL AS PER SHEET C-02
  - PROVIDE DUMPSTER PAD AT THE NORTHWEST CORNER OF EXISTING PARKING LOT FOR 4033 12 MILE RD.
  - RECONSTRUCT A ONE-WAY (EXIT ONLY) DRIVEWAY WITH THICKENED CONCRETE
  - CONSTRUCT PARKING LOT WITH ASPHALT PAVEMENT.
  - CONSTRUCT A CONCRETE SCREEN WALL ALONG THE SOUTHERLY PROPERTY LINE.
  - STRIPE PARKING LOT AS PER LAYOUT WITH ONE-WAY LAYOUT EXISTING TOWARD ELLWOOD AVE.



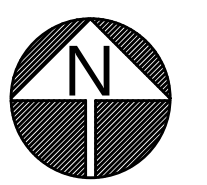


3340 Ellwood Ave / 4033 12 Mile Rd,  
Berkley, MI 48072

MARK	AMENDMENT DESCRIPTION	DATE
	PLANNING COMMISSION	2-11-25
	REVISED PER 02-27-25 LTR.	3-06-25

SCALE 1" = 20'  
DRAWN

DUPPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

Drawing No.  
**C-01**



THE DPW MUST BE CONTACTED PRIOR TO THE COMMENCEMENT OF WORK WITHIN THE RIGHT-OF-WAY (ROW)

BENCH MARK # 1A  
COMBINED SEWER MH.  
RIM ELEVATION: 707.34  
(N.A.V.D. 1988 DATUM)

EXIST.  
COMBINED SEWER MH.  
RIM 707.34  
W. 12" I.E. 697.49  
N. 12" I.E. 697.54  
N. 12" I.E. 700.09 (P.V.C.)  
S. 12" I.E. 697.39  
(FIELD VERIFY)

- REMOVAL NOTES:
- REMOVE EXISTING BUILDING, HOUSE, AND GARAGE.
  - REMOVE ALL CONCRETE PAVEMENT.
  - REMOVE DRIVEWAY AND SIDEWALK ON ELLWOOD AVE AS PER THIS LAYOUT.
  - REMOVE ALL ELECTRICAL, COMMUNICATION LINE, GAS AS PER UTILITY COMPANIES.
  - REMOVE AND CAP EXISTING SEWER AND WATER LINES AS PER CITY DIRECTIONS
  - RESTORE TO ORIGINAL CONDITIONS ANY DAMAGE TO LANDSCAPING, PAVEMENT OR BUILDING DUE TO WORK ACTIVITIES.



GK Consulting Inc.  
5648 Middlebelt Rd  
Garden City, MI 48135  
gkci@outlook.com  
313-377-9449

Building, Civil & Traffic Engineering Services

Ghassan

3340 Ellwood Ave / 4033 12 Mile Rd,  
Berkley, MI 48072

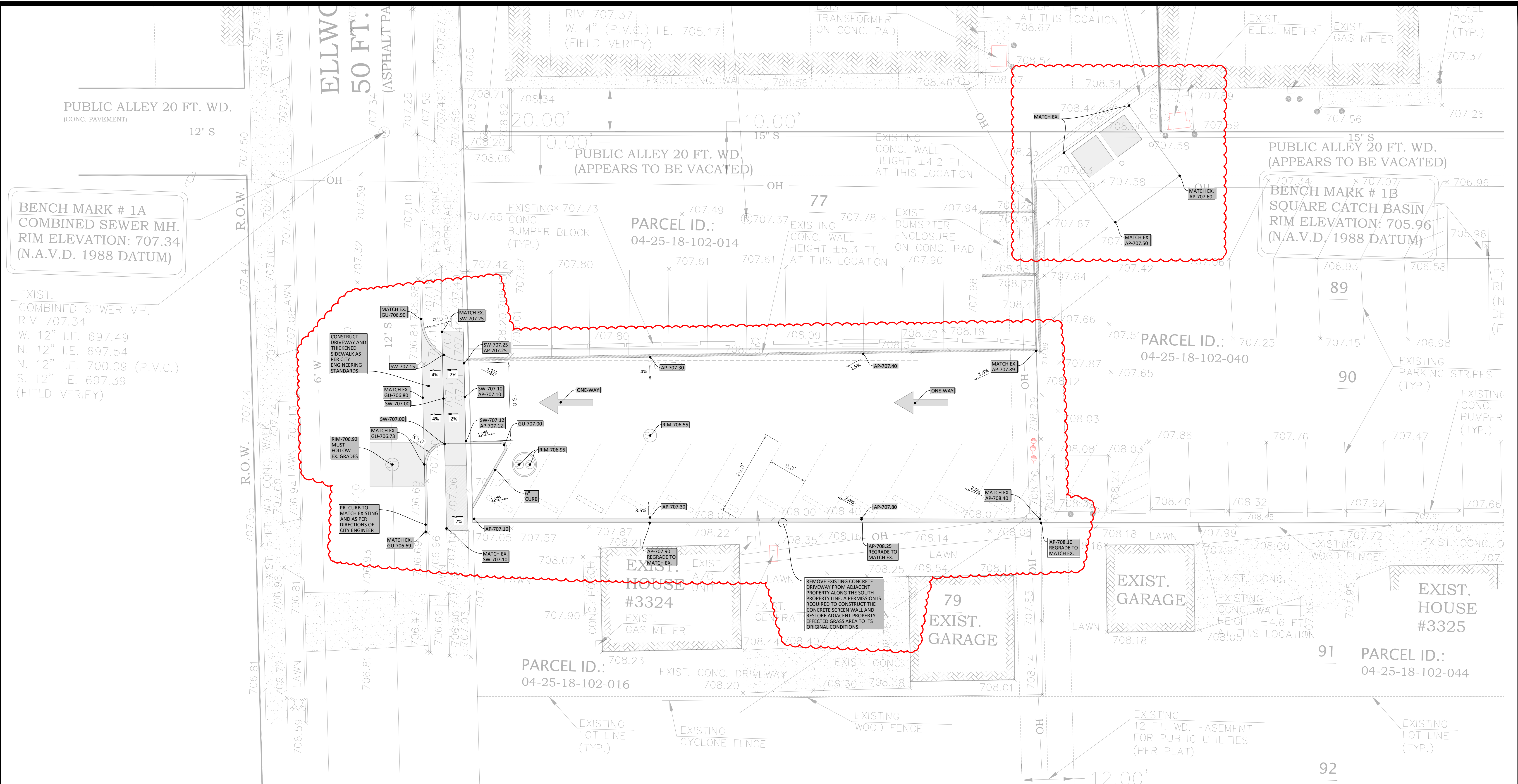
MARK	AMENDMENT DESCRIPTION	DATE
	PLANNING COMMISSION	2-11-25
	REVISED PER 02-27-25 LTR.	3-06-25

REMOVAL SITE PLAN

SCALE DRAWN	1" = 10'
DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.	

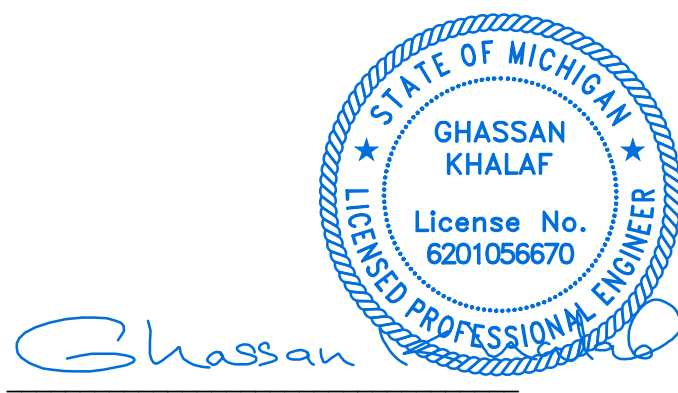
Drawing No.  
**C-02**





REFER TO SHEET C-03.1 FOR THE FOLLOWING DETAILS

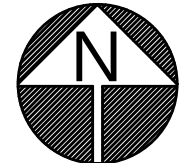
- ON-SITE PROPOSED PAVEMENT
- ON-SITE CURB AND GUTTER
- SIDEWALK AND THICKENED SIDEWALK
- DRIVEWAY CROSS-SECTION
- DUMPSTER CONCRETE



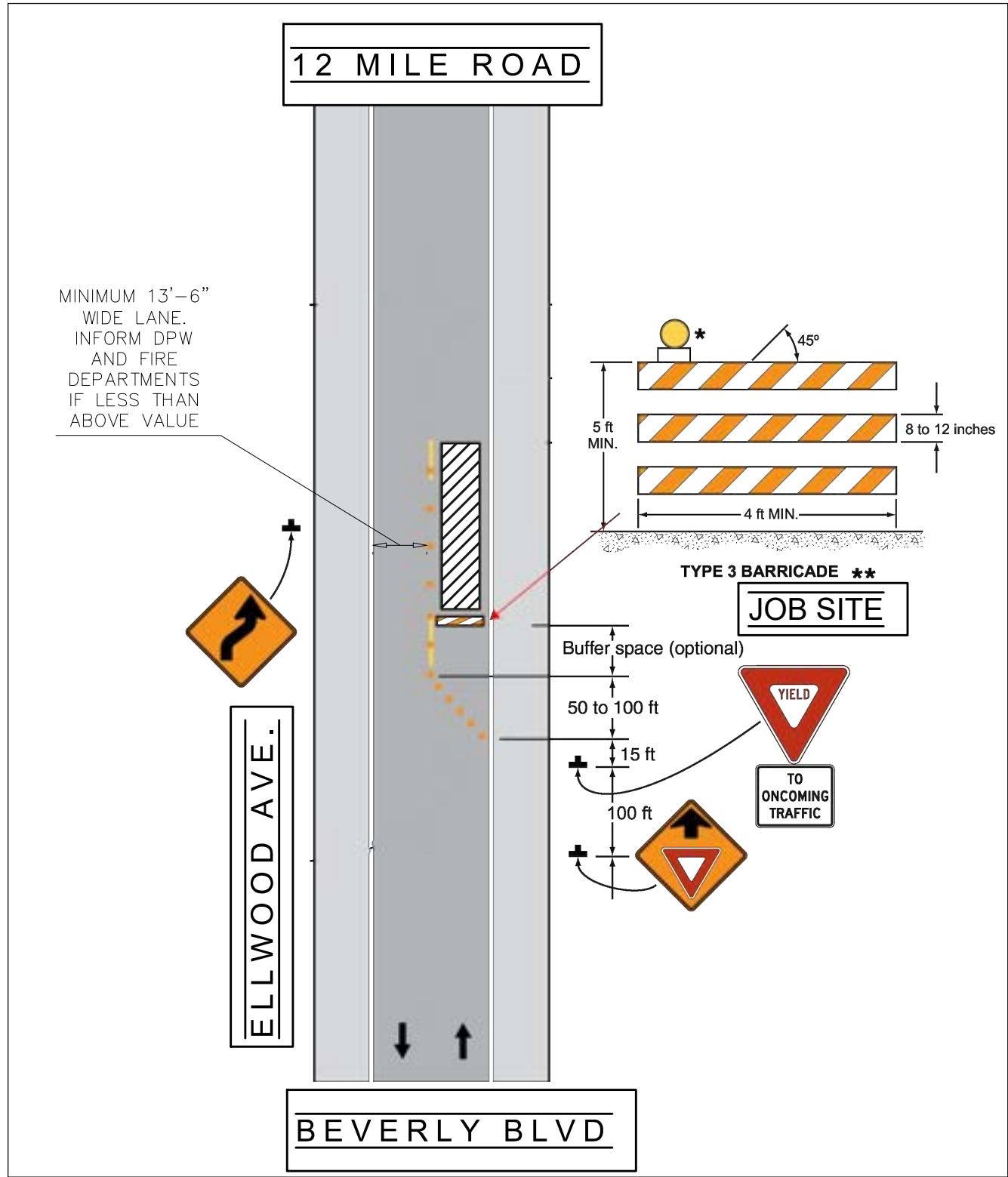
3340 Ellwood Ave / 4033 12 Mile Rd,  
Berkley, MI 48072

MARK	AMENDMENT DESCRIPTION	DATE
	PLANNING COMMISSION	2-11-25
	REVISED PER 02-27-25 LTR.	3-06-25

GRADING SITE PLAN	
SCALE DRAWN 1" = 10'	Drawing No. <b>C-03</b>
DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.	



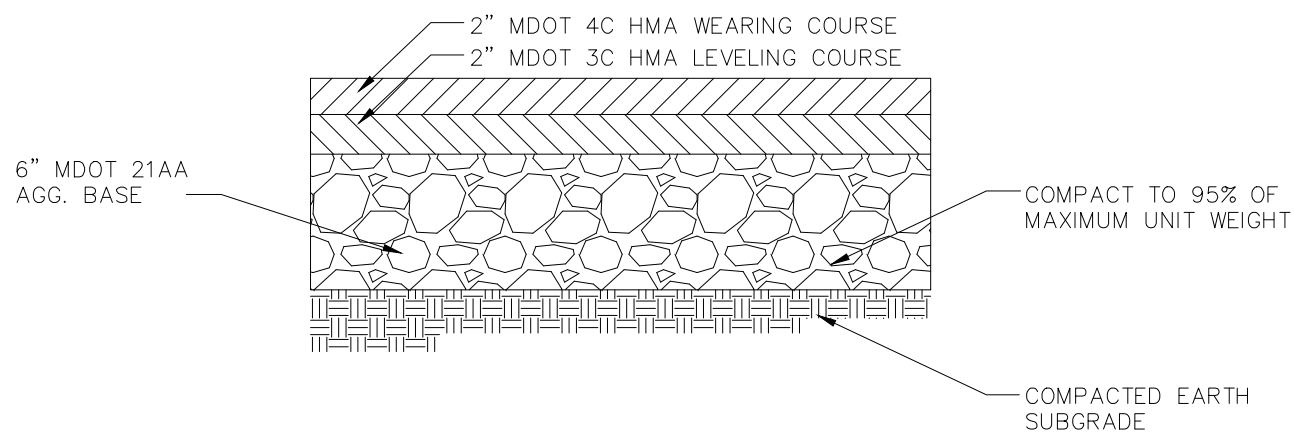
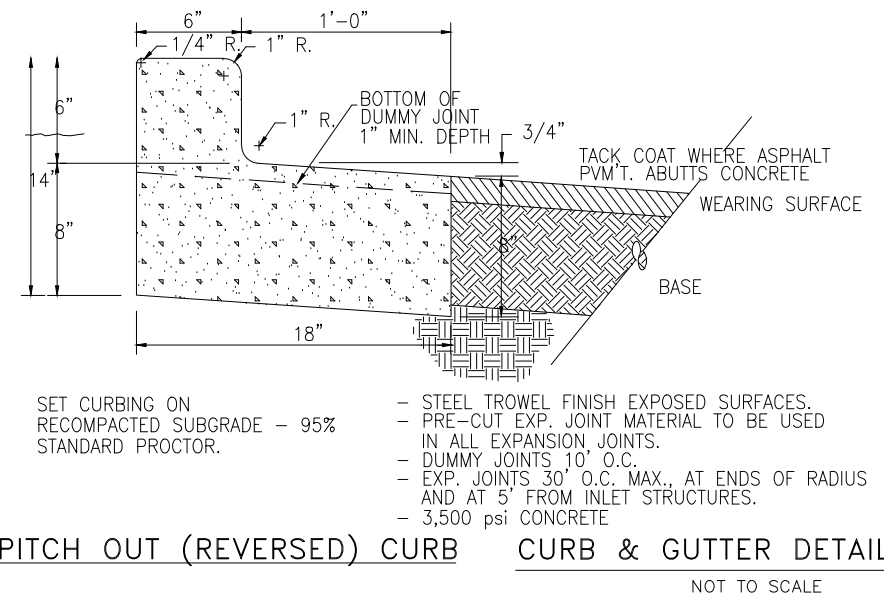
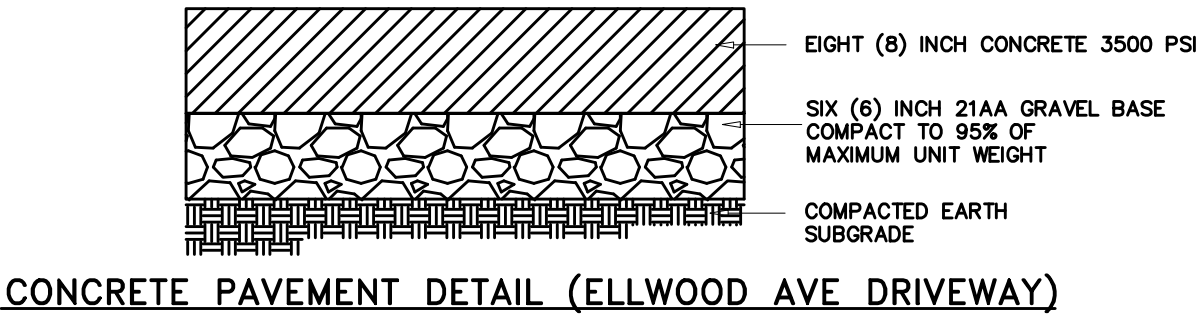
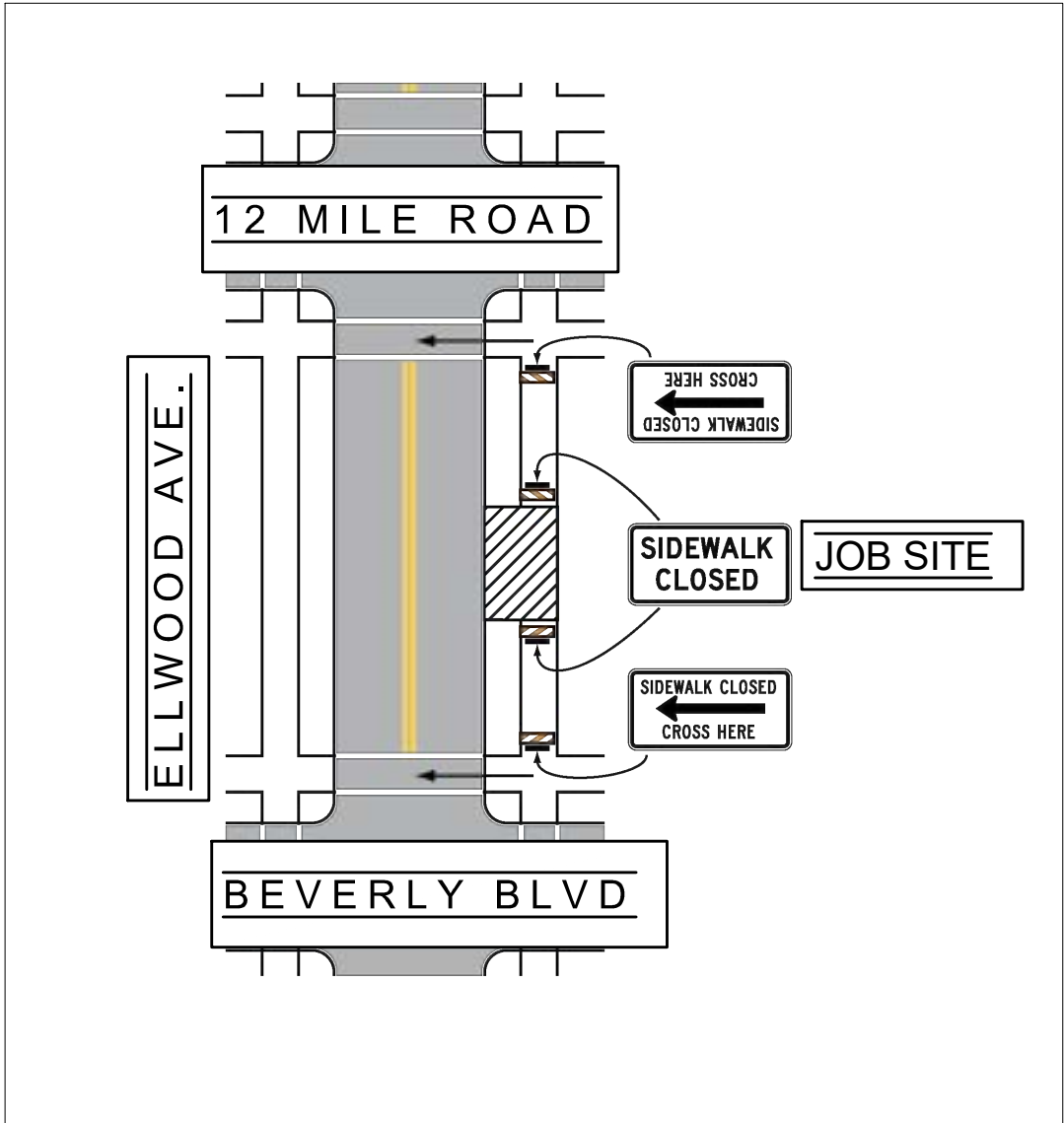




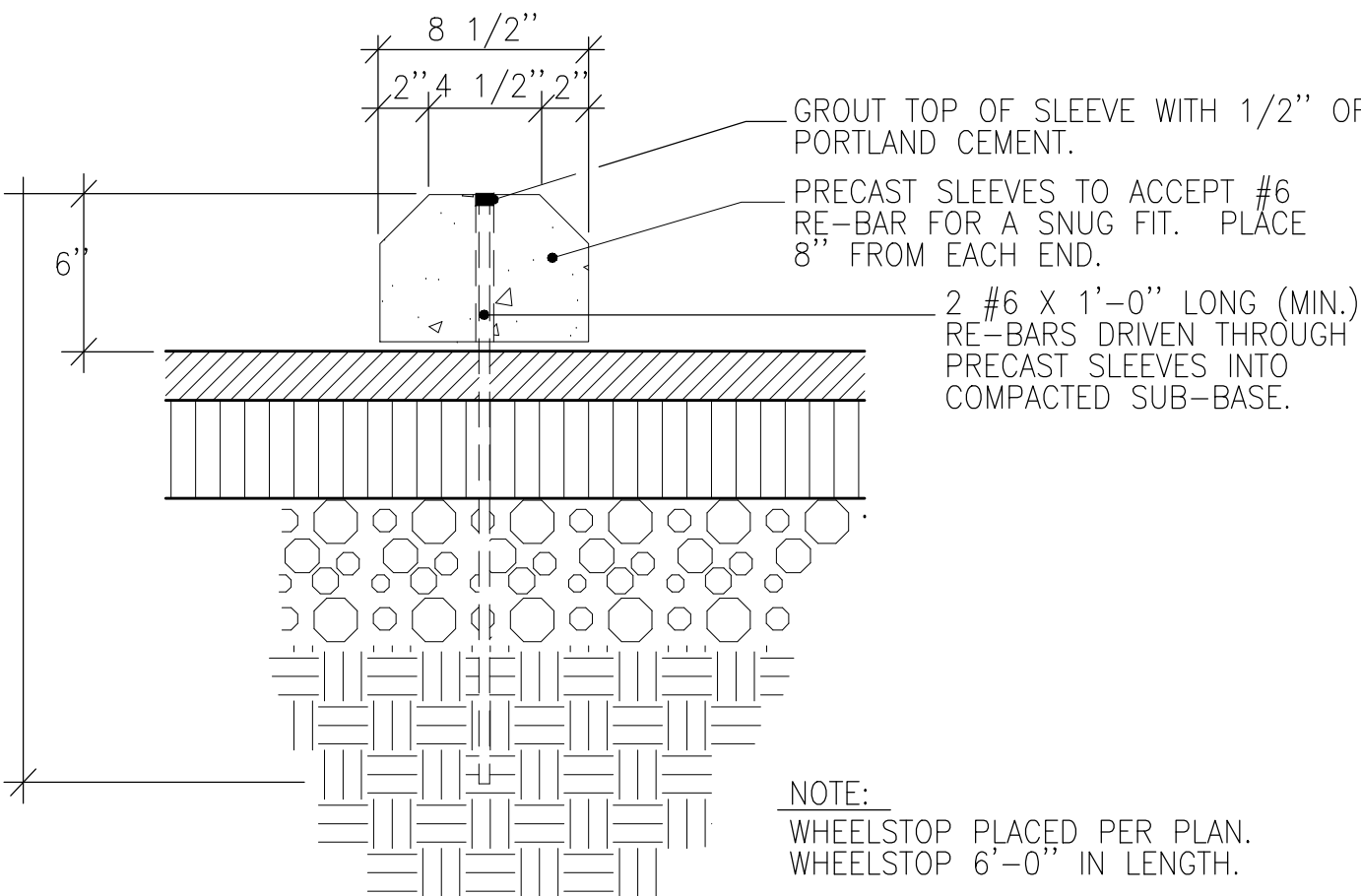
**ELLWOOD AVE. TRAFFIC CONTROL AND CONSTRUCTION SEQUENCE:**  
1- INSTALL TEMPORARY SIGNS AND BARRICADE AS PER ABOVE PLAN.  
2- SAW CUT ROAD, REMOVE SIDEWALK AND CURBING FOR PROPOSED WORK.  
3- EXPOSE MAIN COMBINED SEWER RUN.  
4- INSTALL PROPOSED MANHOLE AND OUTLET  
5- BACKFILL AND COMPACT TO BELOW PAVEMENT LEVEL.  
6- PAVE ROAD AS PER DPW / CITRY ENGINEER DIRECTION (MUST MATCH EXISTING PAVEMENT THICKNESS, MATERIALS, AND GRADES.  
7- REMOVE SIGNS AND BARRICADE IN ITEM 1

LANE CLOSURE DURATION: 4-8 WEEKS

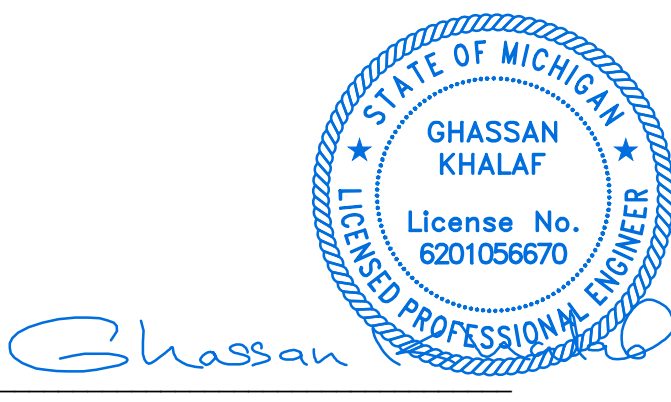
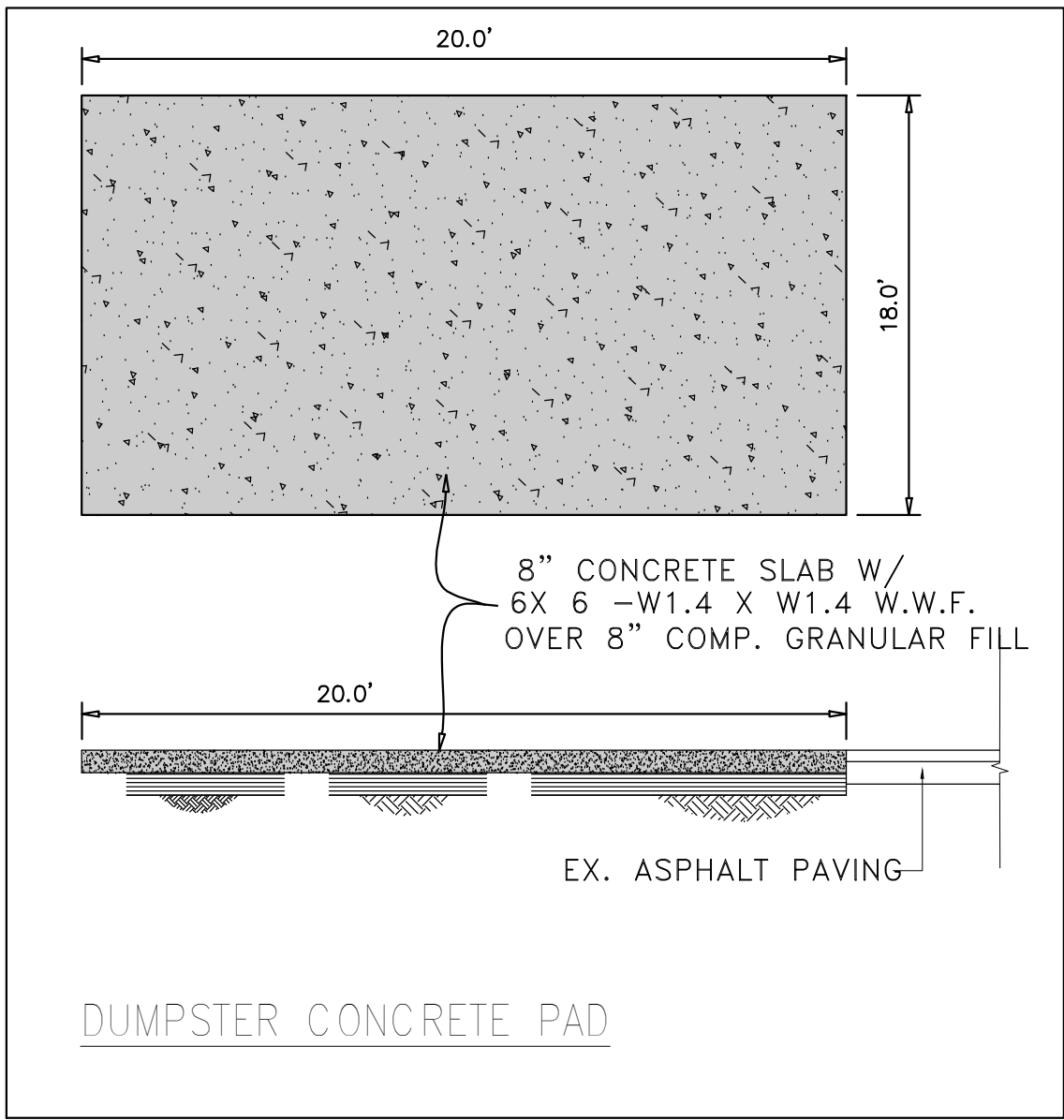
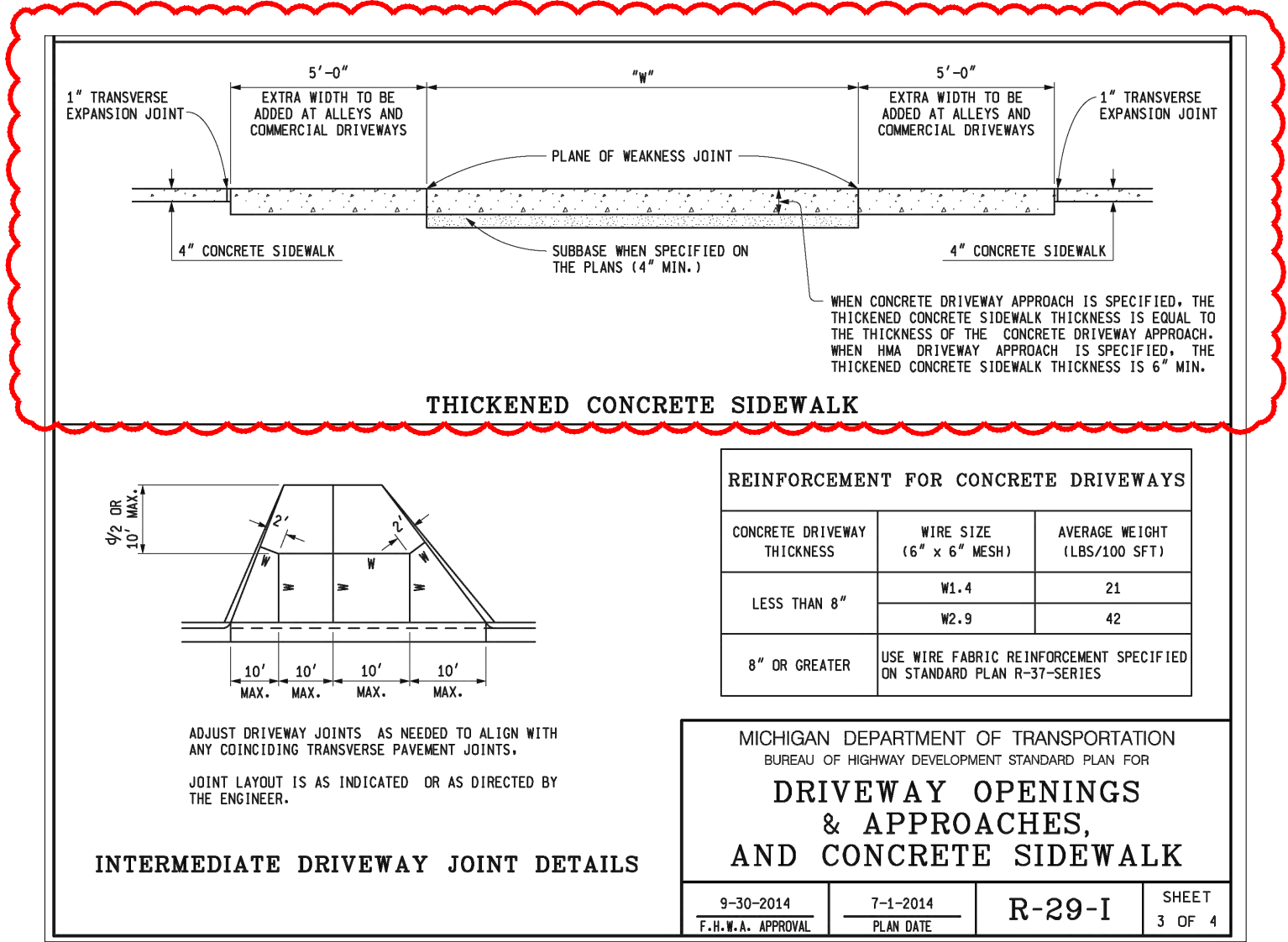
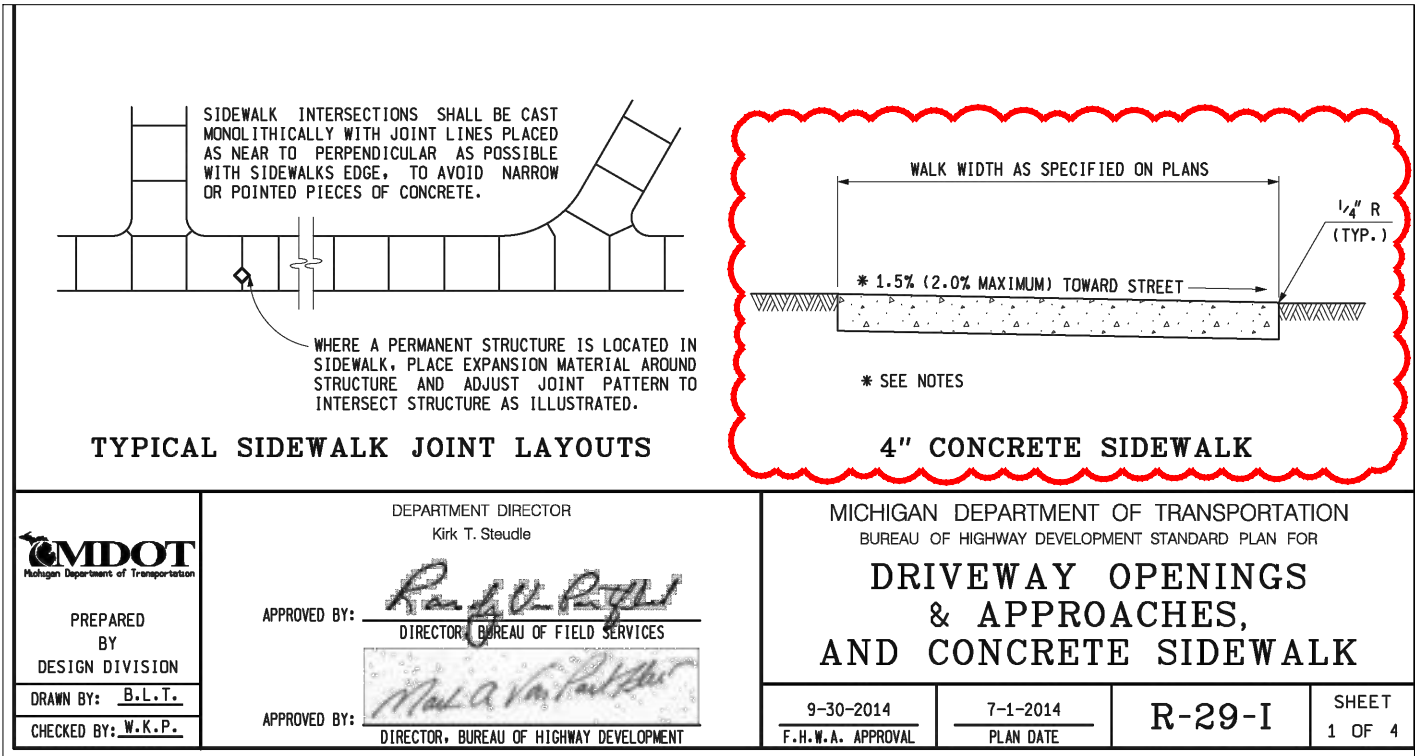
NOTE: SWEEP AND CLEAN ROAD PERIODICALLY AS NEEDED.



STANDARD DUTY HMA PAVEMENT DETAIL (ON-SITE)



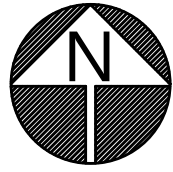
CURB  
CONCRETE WHEELSTOP



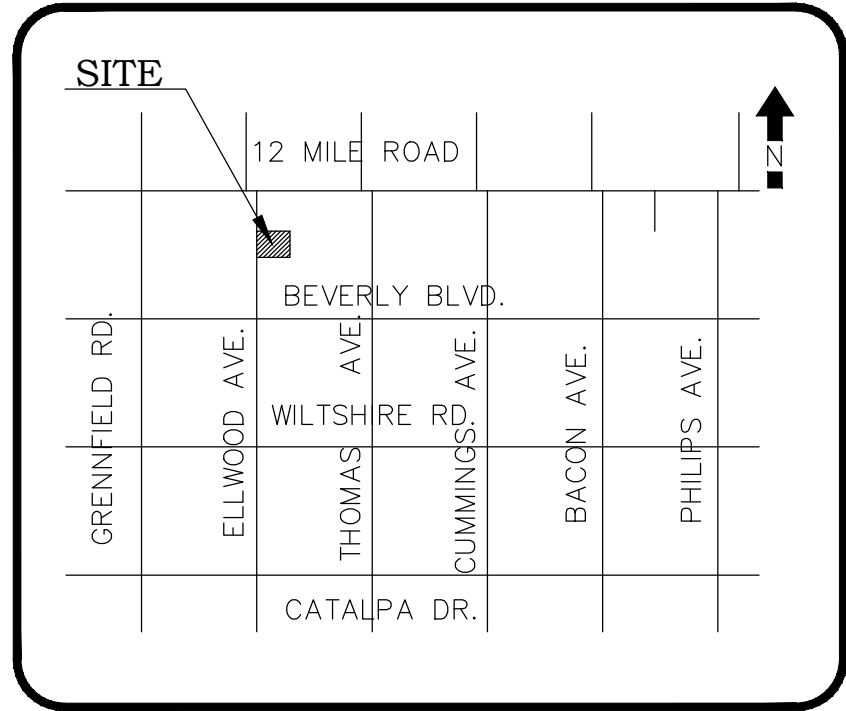
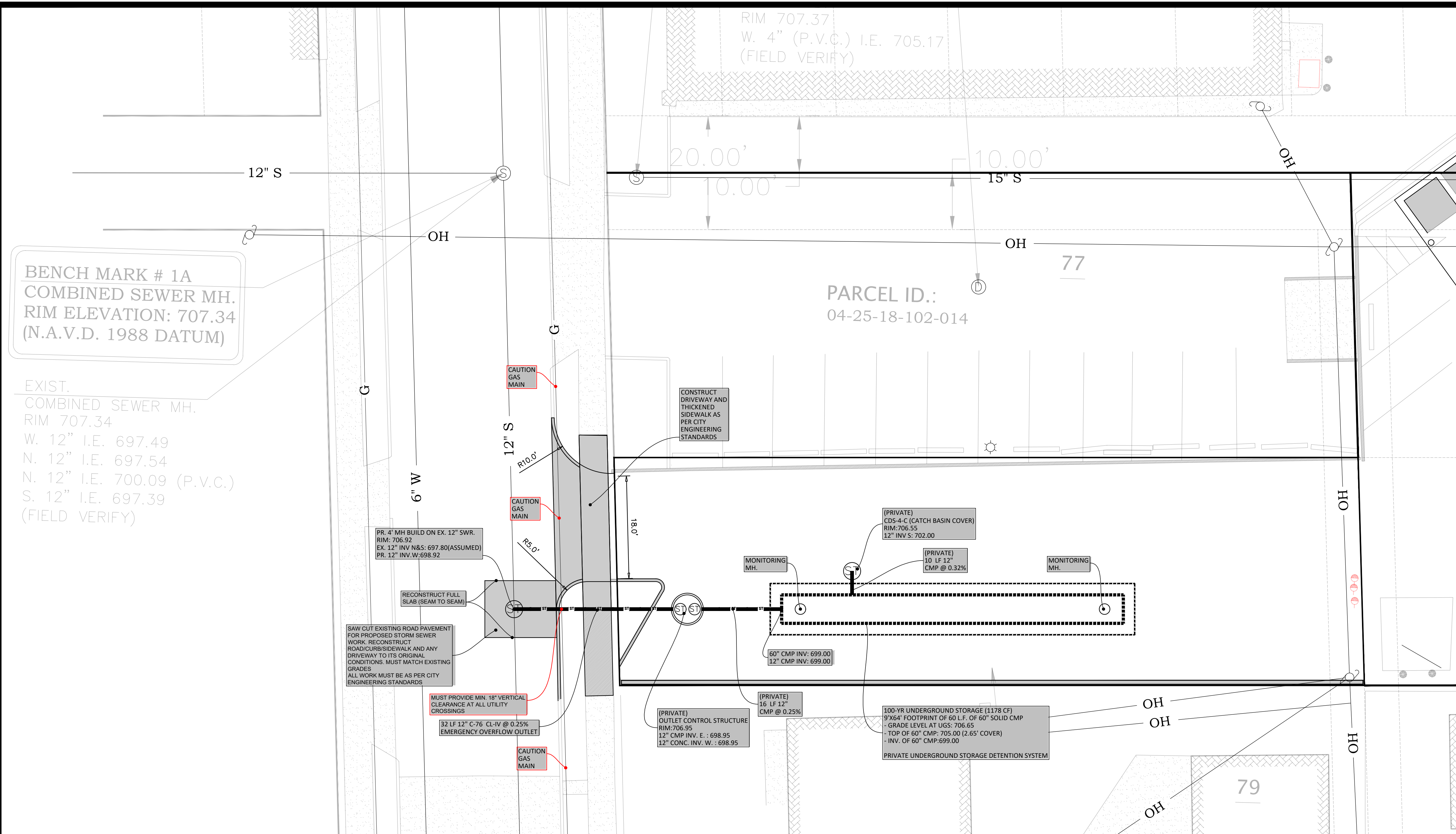
3340 Ellwood Ave / 4033 12 Mile Rd,  
Berkley, MI 48072

MARK	AMENDMENT DESCRIPTION	DATE
	PLANNING COMMISSION	2-11-25
	REVISED PER 02-27-25 LTR.	3-06-25

DETAILS AND NOTES	
SCALE DRAWN 1" = 20'	Drawing No. C-03.1
DUPPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.	



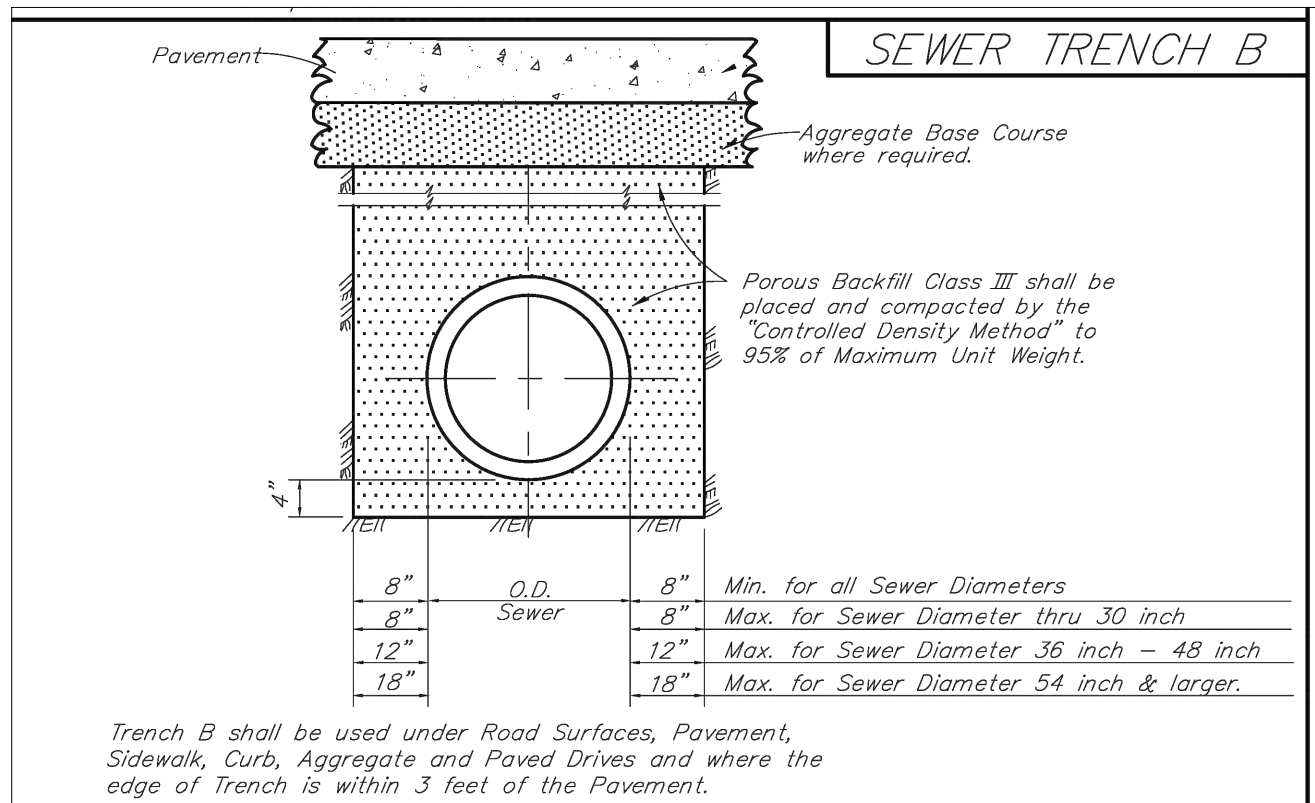




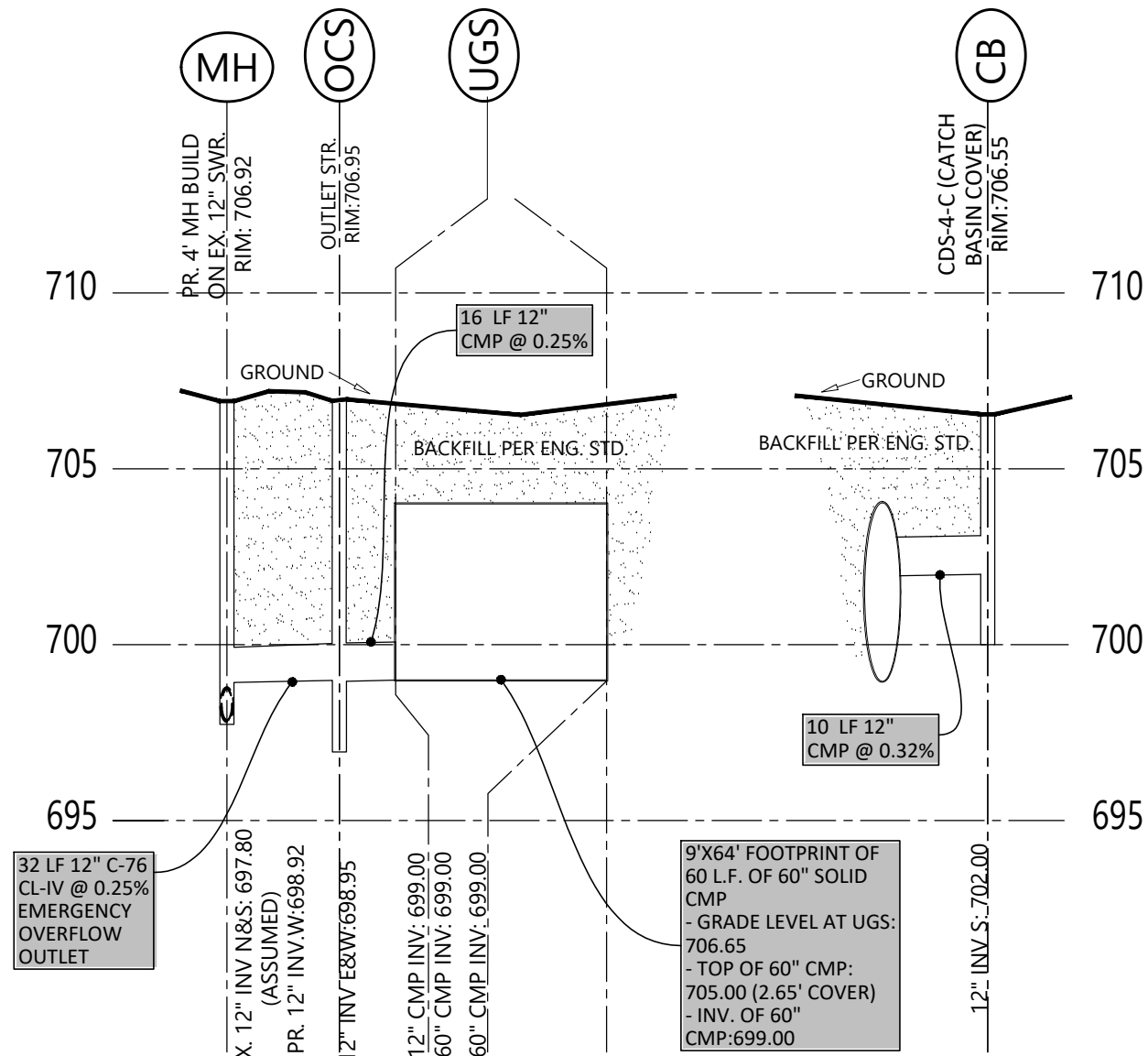
Land Use Summary

Characteristic	Existing Conditions	Proposed Conditions
Total Development Area (ac)	0.12	0.12
Impervious Area (ac)	0.06	0.12
Total Pervious Area (ac)	0.07	0.00
Pervious Area Breakdown by Cover Type		
Meadow/fallow/natural areas (non-cultivated) (ac)	0.00	0.00
Predominant NRCS Soil Type (A, B, C, or D)	N/A	N/A
Improved areas (turf grass, landscape, row crops) (ac)	0.07	0.00
Predominant NRCS Soil Type (A, B, C, or D)	Type C	Type C
Wooded Areas (ac)	0.00	0.00
Predominant NRCS Soil Type (A, B, C, or D)	N/A	N/A
Calculated CPVC Volume (cubic feet)		520.98
CPVC Volume Provided (cubic feet)		0.00
CPVC Volume Provided (cubic feet)		761.43

THE DPW MUST BE CONTACTED PRIOR TO THE COMMENCEMENT OF WORK WITHIN THE RIGHT-OF-WAY (ROW)



BACKFILL WITH TRENCH "B" OR AS DIRECTED BY CITY ENGINEER



STORM SEWER PROFILES  
SCALE : 1" = 50' (H)  
: 1" = 5' (V)

GK

GK Consulting Inc.  
5648 Middlebelt Rd  
Garden City, MI 48135  
gkci@outlook.com  
313-377-9449  
Building, Civil & Traffic Engineering Services

STATE OF MICHIGAN  
GHASSAN KHALAF  
License No. 6201056670  
LICENSED PROFESSIONAL ENGINEER

Ghassan

3340 Ellwood Ave / 4033 12 Mile Rd,  
Berkley, MI 48072

MARK	AMENDMENT DESCRIPTION	DATE
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STORM SEWER PLAN

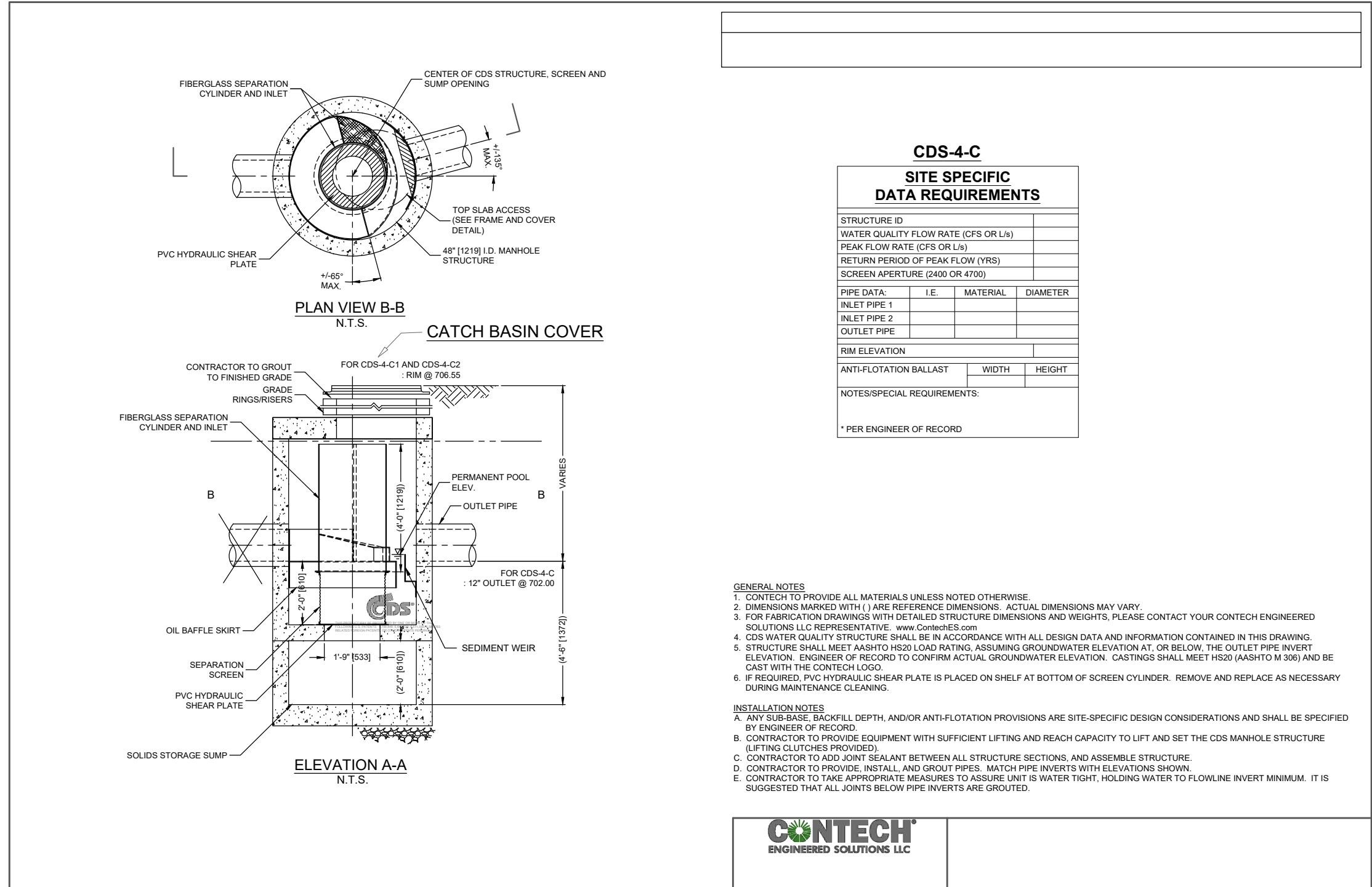
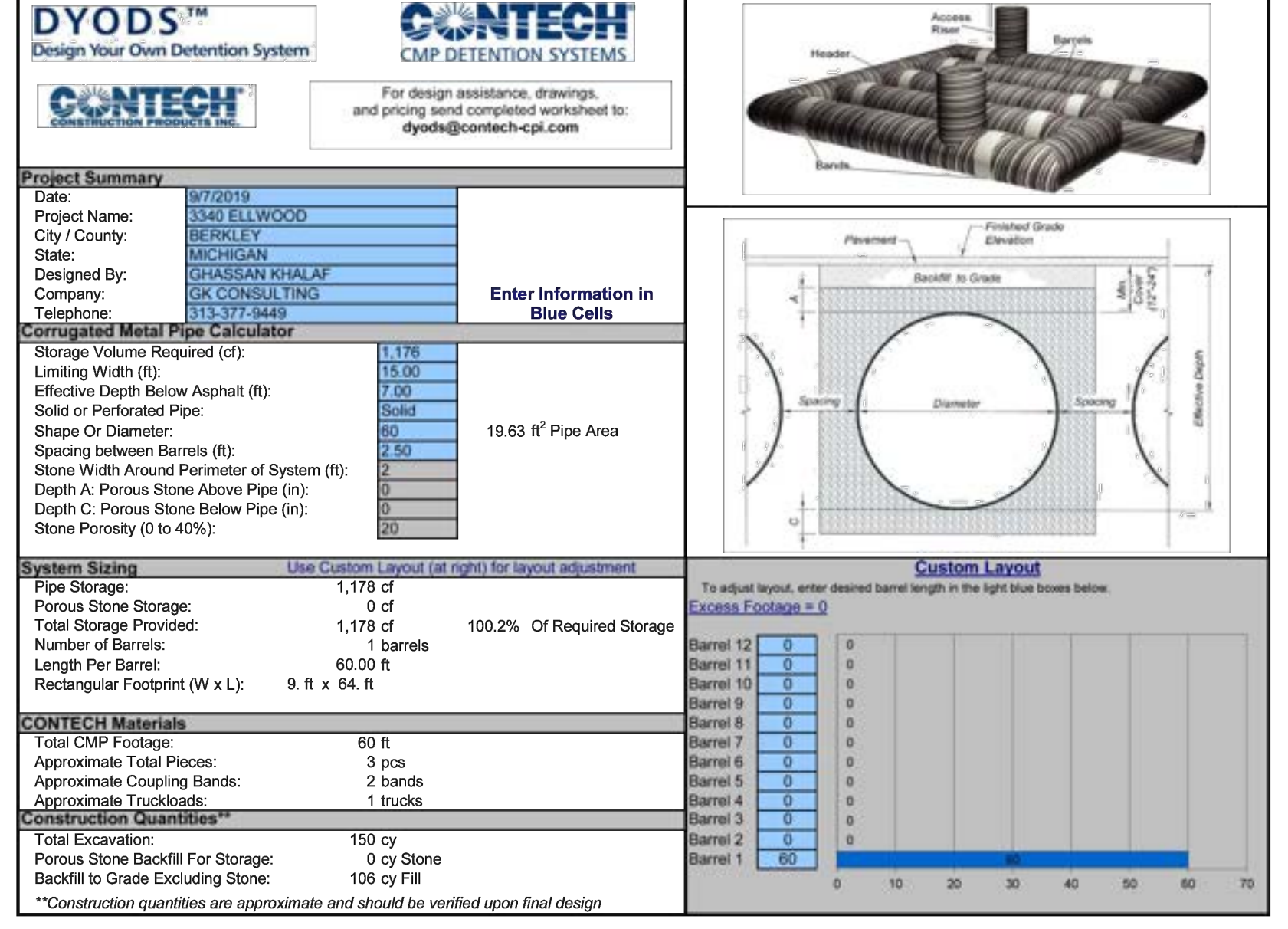
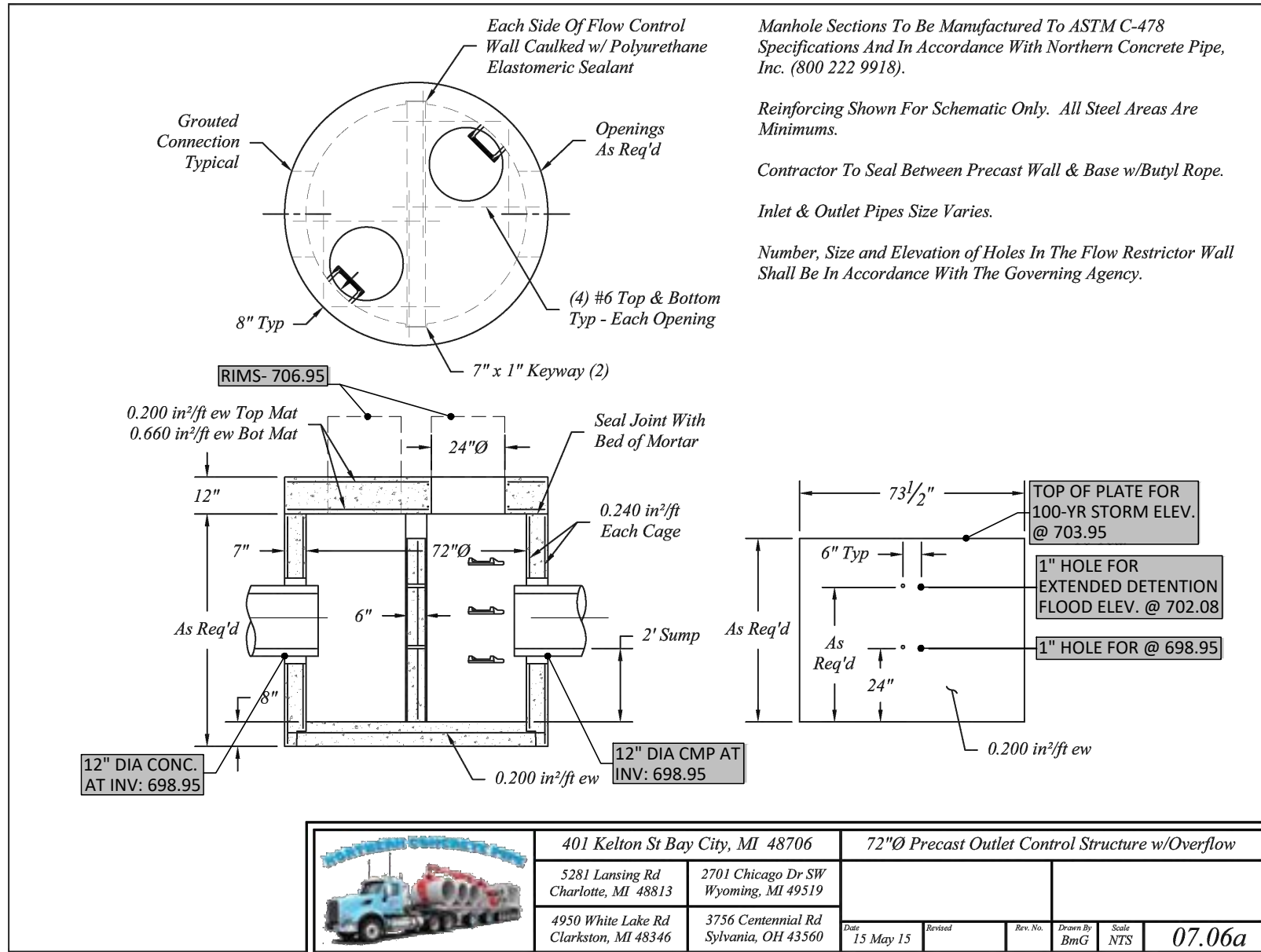
SCALE 1" = 10'  
DRAWN  
DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

Drawing No.  
C-04



THE DPW MUST BE CONTACTED PRIOR TO THE COMMENCEMENT OF WORK WITHIN THE RIGHT-OF-WAY (ROW)

USE CDS-4-C INLET (TO TREART MAX. 1.0 CFS 100-YR STORM)



3340 Ellwood Ave / 4033 12 Mile Rd,  
Berkley, MI 48072

MARK	AMENDMENT DESCRIPTION	DATE
	PLANNING COMMISSION	2-11-25
	REVISED PER 02-27-25 LTR.	3-06-25

## STORM SEWER MANAGEMENT CALCULATIONS / DETAILS

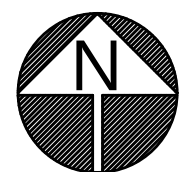
SCALE NTS

DRAWN

Drawing No.

C-05

DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.





ALTA/ACSM LAND TITLE SURVEY

EXCEPTIONS PERTAINING TO A SURVEY OF THE SCHEDULE "B"

- ⑧Easements over subject property as shown on the recorded plat. (Affects as shown).
- ⑨Easement for public utilities over that portion of subject property included in the vacated alley as evidenced by instrument recorded in Liber 10575, Page 566, Oakland County Records. (Affects as shown).
- ⑩Covenants, conditions and restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as contained in instrument recorded in Liber 961, Page 570, and in Liber 5324, Page 645, Oakland County Records. (Document pertains to the subdivision rules/regulations).
- ⑪Right of tenants, if any, under any unrecorded leases or otherwise.

Exceptions of Schedule "B" as shown herein are contained in the Title Commitment No. 63-17562717-GCM, being effective as of October 18, 2017 © 8:00am.

GENERAL NOTES

1. Distance to nearest intersection is 45 feet east from the center line of the site access NO. 1 to the intersection of the centerlines of W 12 Mile Road and Thomas Avenue, both public right-of-ways.
2. There is no evidence of current earth moving, building construction or building additions, upon subject property as shown herein.
3. There is no evidence of site use as a waste dump, sump or sanitary landfill.
4. Property has direct access to W 12 Mile Road and Thomas Avenue, both, public right-of-ways maintained by City of Berkley.
5. There is no evidence of cemetery upon subject property as shown herein.
6. Wooden planter as shown herein, near the SW Building Corner is built by the adjacent neighbor at #4075 W 12 Mile Road, therefore an encroachment statement has been made as shown on this survey.

LIST OF ENCROACHMENTS

- Ⓐ Ex dumpster walls as shown herein at the west property line of the subject property
- Ⓑ Ex. landscape planter into the 12 Mile Road Right-of-Way, as shown herein.
- Ⓒ Ex bumper at the NE corner of #4033 W 12 Mile Road, as shown herein.
- Ⓓ Ex concrete driveway of #3325 Thomas Ave., into the south portion of the subject property as shown herein.
- Ⓔ Ex wooden planter near the SW Building corner running in Northeasterly direction as shown herein.

LAND AREA

PID#: 25-18-102-037  
11,050 ± SQUARE FEET  
0.254 ± ACRES

PID#: 25-18-102-040  
11,760 ± SQUARE FEET  
0.270 ± ACRES

TOTAL:  
22,810 ± SQUARE FEET  
0.524 ± ACRES

PARKING STALLS

PID#: 25-18-102-037  
REGULAR=7  
HANDICAP=2  
TOTAL=9

PID#: 25-18-102-040  
REGULAR=30  
HANDICAP=0  
TOTAL=30

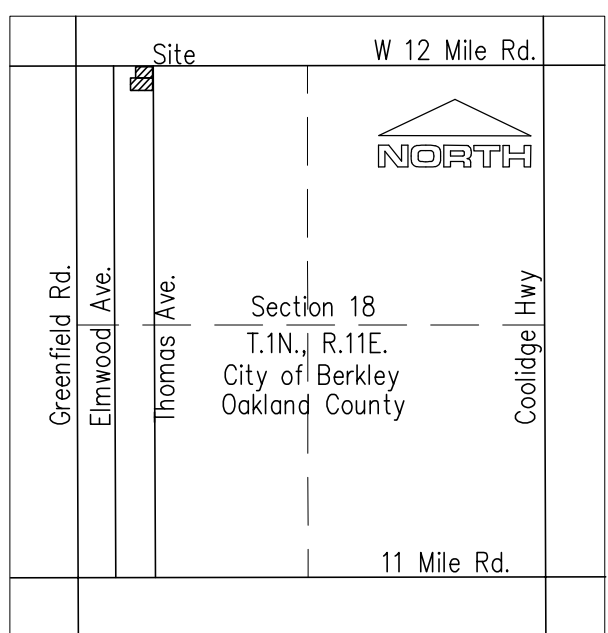
GRAND TOTAL:  
REGULAR=37  
HANDICAP=2  
TOTAL=39

LEGEND

- ⓪ = UTILITY POLE  
Ⓛ = LIGHT POLE  
Ⓜ = OVER HEAD WIRE  
Ⓢ = CATCH BASIN/ON SITE  
Ⓟ = PAVEMENT CATCH BASIN/CBP  
Ⓠ = EX. SANITARY M.H.  
Ⓡ = EX. GATE VALVE & WATER  
Ⓢ = EX. STORM M.H.  
Ⓣ = WATER SHUT OFF  
Ⓤ = HYDRANT  
Ⓥ = HANDICAP STALL/SIGN  
Ⓦ = 30 MILES PER HOUR SIGN  
Ⓧ = STOP SIGN  
Ⓨ = NO PARKING SIGN  
Ⓩ = DECIDUOUS TREE  
ⓐ = GUARD POST  
ⓑ = PARCEL IDENTIFICATION NUMBER  
ⓓ = GAS METER  
ⓔ = L/P  
ⓕ = GAS METER  
ⓖ = PARKING STALL  
ⓗ = BUILDING  
ⓘ = EXISTING  
ⓙ = S-PK NAIL= SET PK NAIL IN ASPHALT/CONCRETE  
ⓚ = CH "X"= SET CHISELED "X" IN CONCRETE

VICINITY MAP

(NOT TO SCALE)  
(NOT TO SCALE)



ZONING NOTE

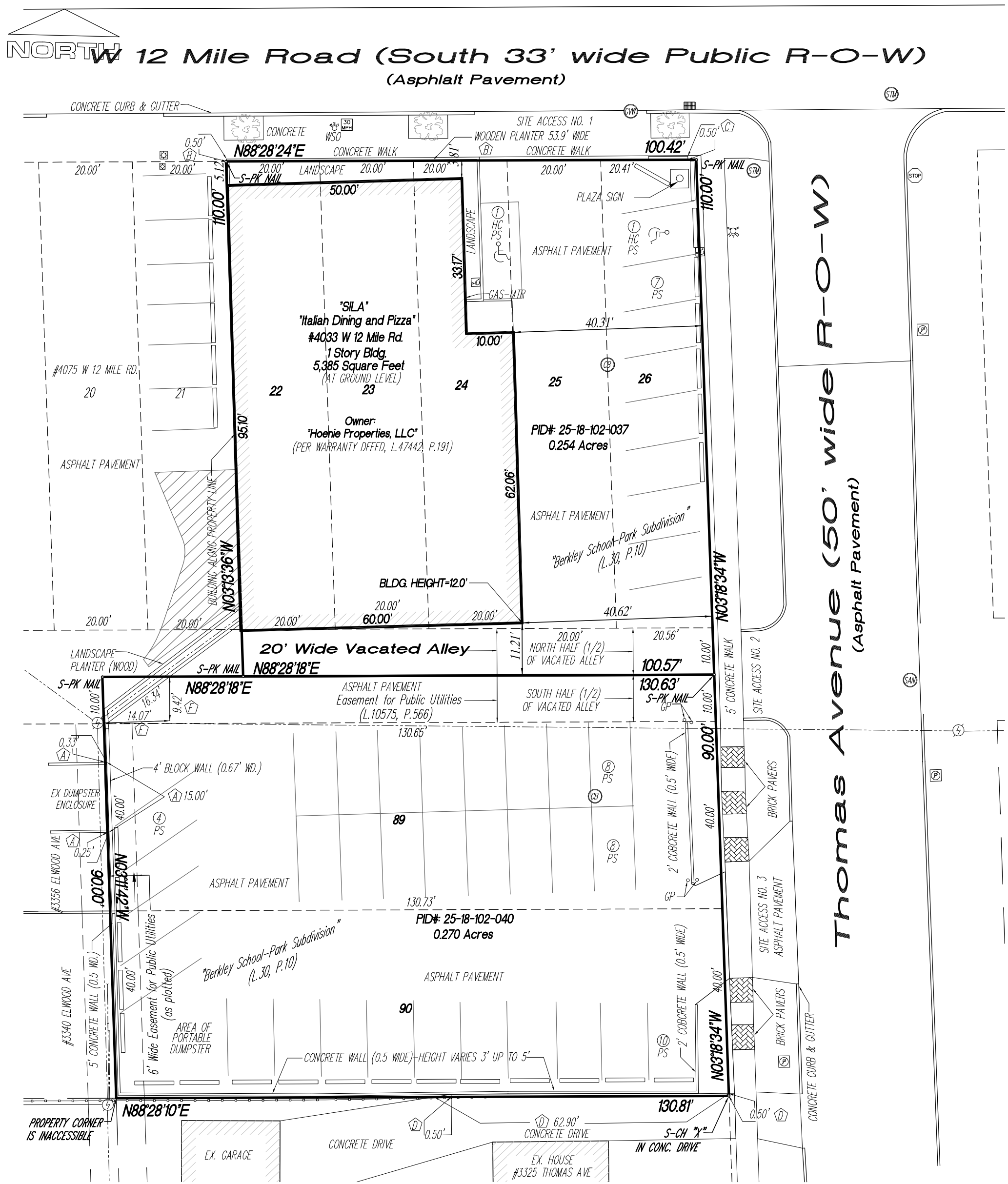
Zoned: TWELVE MILE DISTRICT  
as to 25-18-102-037 &  
Zoned: PARKING DISTRICT  
as to 25-18-102-040

Minimum Site Size: 15,000 Square Feet  
(22,810 Square Feet Total)

Minimum Site Width: 130 Feet  
(Actual Site Width: 200 Feet)

Maximum Building Height: 40 Feet  
(Max. Ex. Building Height: 12 Feet)

Setbacks: Front-Not Required  
Setbacks: Side-Not Required  
Setbacks: 10'-Rear



FLOOD NOTE

Subject property DOES NOT participate (DOES NOT LIE) in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 26125 C, Panel No. 0539, Suffix "F".

BEARINGS ORIGIN

"TRUE NORTH"



Know what's below.  
Call before you dig.

LEGAL DESCRIPTION

#4033 W 12 Mile Road  
The land situated in the County of Oakland, City of Berkley, State of Michigan, is described as follows:  
Lots 22 through 26, inclusive, and 1/2 of the vacated alley adjacent to the same, and Lots 89 and 90, and 1/2 of the vacated alley adjacent to the same, of BERKLEY SCHOOL-PARK according to the plat thereof recorded in Liber 30 of Plats, page 10 of Oakland County Records.  
Tax Items No's:  
25-18-102-037, as to Lots 22 through 26, inclusive  
25-18-102-040, as to Lots 89 and 90.

Legal description as cited herein is contained in Title Commitment No.: 63-17562717-GCM issued by "ATA National Title Group", on October 18, 2017 @ 8:00am.

PROPERTY PHOTO



ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S CERTIFICATE  
To "MARLENE SPREITZER" and "GRECO TITLE AGENCY":

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items: 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, and 17 of Table A thereof. The field work was performed on November 21, 2017.

Date of Plat or Map: November 27, 2017.



Mende Bezanovski, P.S. 49430  
Professional Surveyor in the State of Michigan



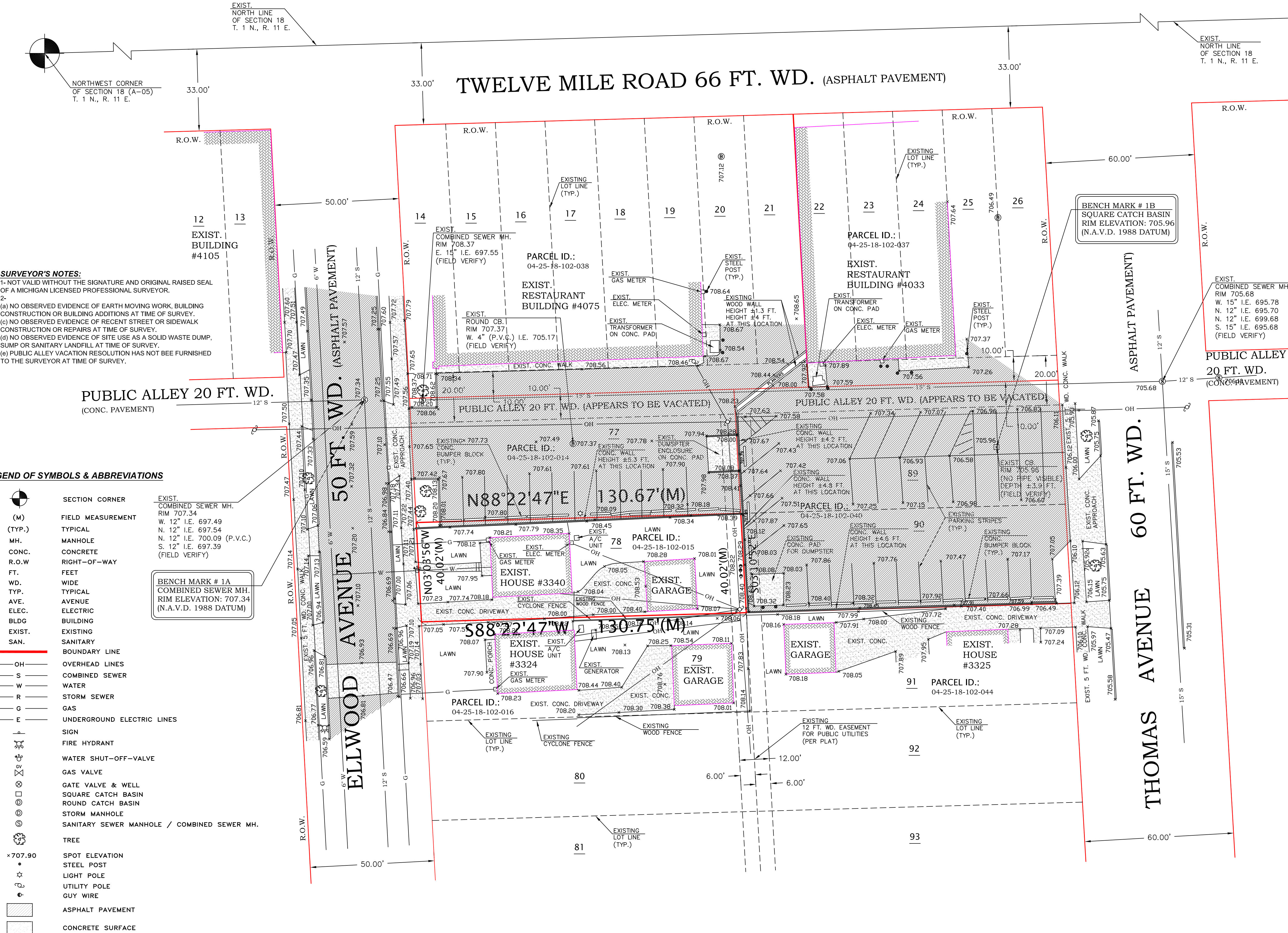
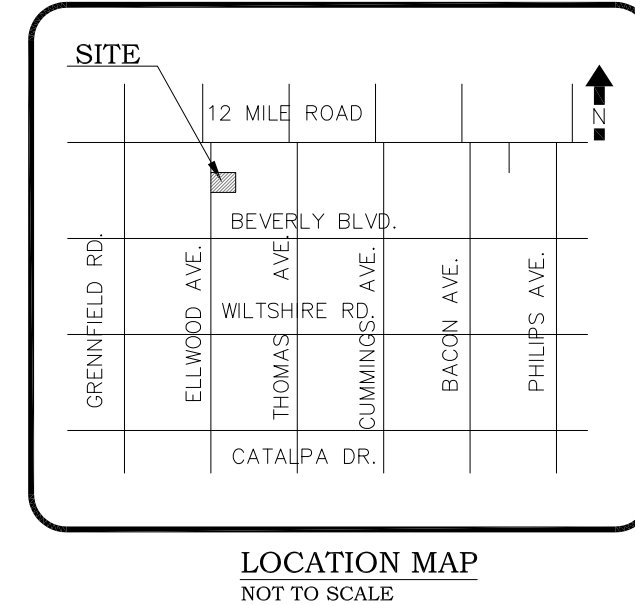
36636 North Pointe Dr. New Baltimore, MI 48047  
TEL: (586) 822-4964, FAX: (586) 591-5930  
info@ab-sb-landsurvey.com;  
www.ab-sb-landsurvey.com

SCALE: 1" = 20'  
JOB NUMBER: 2014-06-10-160-JR  
FIELD: MB  
REVISIONS:  
CLIENT: BERKLEY GREEN LANTERN PROPERTIES, LLC  
ADDRESS: 4033 W 12 Mile Road  
Berkley, MI, 48072  
PAGE: 1 OF 1  
DRAWN: MB  
CHECKED: MB  
DATE: 11-27-2017  
TEL:  
FAX:



**UTILITY NOTES:**  
ALL UTILITIES DEPICTED HEREON ARE FROM VISIBLE EVIDENCE.  
SURVEYOR DID NOT CONTACT SUBSURFACE UTILITY LOCATOR SERVICE.  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN  
ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS  
TO THE COMPLETENESS, EXACTNESS OF LOCATION OR ACCURACY THEREOF.  
THE CONTRACTOR / OWNER SHALL BE EXCLUSIVELY RESPONSIBLE FOR  
DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND  
PROPOSED UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION OR  
ANY SITE MODIFICATION.

# BOUNDARY, TOPOGRAPHIC AND UTILITIES SURVEY



## PROPERTY DESCRIPTION: (FROM OAKLAND COUNTY ASSESSOR'S OFFICE & GIS MAPS)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF  
BERKLEY, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND MORE  
PARTICULARLY DESCRIBED AS:

LOT 78 OF "BERKLEY SCHOOL-PARK"  
A SUBDIVISION OF PART OF WEST 1/2 OF  
THE NORTHWEST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 11 EAST,  
VILLAGE OF BERKLEY (NOW CITY OF BERKLEY), OAKLAND COUNTY,  
MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER  
30 OF PLATS ON PAGE 10 OF THE OAKLAND COUNTY RECORDS.

MORE COMMONLY KNOWN AS:  
EXISTING HOUSE & GARAGE # 3340  
ELLWOOD AVENUE, CITY OF BERKLEY, OAKLAND COUNTY, MI 48072  
PARCEL ID.: 04-25-18-102-015

CONTAINING: ± 0.12 ACRES

SUBJECT TO THE EXISTING BUILDING AND USE RESTRICTIONS, EASEMENTS,  
RIGHT OF WAYS, AND ZONING ORDINANCES, OF RECORDS, IF ANY.

SEAL:

DATE: JANUARY 18, 2025

CLIENT:

ARCHITECT:  
MATTHEW SEELEY

OWNER:  
JOHN SPREITZER  
PH.: (248) 5218331

PROJECT LOCATION:

EXISTING HOUSE & GARAGE  
3340 ELLWOOD AVE.,  
CITY OF BERKLEY,  
OAKLAND COUNTY,  
MI 48072

PARCEL No.:  
04-25-18-102-015

SHEET:

BOUNDARY,  
TOPOGRAPHIC AND  
UTILITIES SURVEY



DATE: REVISION:

DRAWN BY:

DESIGNED BY:

APPROVED BY:

SURVEY DATE:  
JANUARY 15, 2025

SCALE:

1" = 20'

BOOK #:

B-025

JOB NO.

025-102

SHEET NO.

1 OF 1





# CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

## MEMORANDUM

**To:** John Spietzer, Applicant

**From:** Kristen Kapelanski, Community Development Director

**Subject:** **PSU-03-25: 3340 Ellwood – Green Lantern Parking Expansion**

**Date:** April 14, 2025

---

The applicant is proposing to expand the parking lot for Green Lantern to the west. The current house will be demolished. The zoning of the property is P, Parking District, which permits parking lots. Planning Commission approval is required.

The *italicized* comments are provided by staff.

1. The Planning Commission will need to make a determination per Section 130-37 that proposed landscaping meets the requirements outlined in the Master Plan. *The applicant should consider adding some landscaping to the parking area. The Master Plan suggests landscaped buffers and landscape islands in new parking lots.*
  - A property combination is required prior to final approval by staff.
  - Parking lot lighting is required. *A photometric plan meeting the requirements of the ordinance has been submitted.*

Please contact me if you have any questions.

Cc: Kim Anderson, Zoning Administrator

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# CITY OF BERKLEY

## DEPARTMENT OF PUBLIC WORKS

3238 BACON AVE, BERKLEY, MICHIGAN 48072

To: Kristen Kapelanski, Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)  
Adam Woznaik, Public Works Superintendent (via email)

From: Shawn Young, Deputy City Manager for Public Services

Date: February 28th, 2025

Subject: 3340 Ellwood Parking Lot Green Lantern

---

We have reviewed the site plans provided by the Community Development Department on February 14<sup>th</sup>, 2025. Please find below our initial comments:

1. A Design Miss Dig ticket shall be requested by the applicant so existing utilities can be shown on the drawings. The ticket number shall be indicated on the Architectural Site Plan.
2. It is recommended that the existing private sanitary sewer lateral(s) be investigated for size, location, and condition prior to retirement or reutilization. Any unused existing laterals must be retired within 24" of the mainline.
3. Stormwater detention must follow the current Oakland County Standards. Due to a combined sewer system exceptions are not made for sites smaller than one acre. All stormwater detention calculations and tables shall be shown on the plan. Any storage utilizing pipe perforation, existing soils or open stone will require a geotechnical report and confirmation prior to site plan approval.
4. Please note any proposed stormwater management system will be a private system under the maintenance of the property owner. Exhibits will need to be prepared by the applicant and included with the document. A template document can be provided to the applicant by request.
5. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area). Total square feet of both impervious and pervious surface on the entire site shall be shown on the plan. This may include areas outside of the detention calculations
6. A traffic control plan shall be added to the plan set to account for any proposed Right of Way impacts. This includes any potential sidewalk closures during construction. Mile road and Greenfield road is under the jurisdiction of the Oakland County Road Commission

A response letter from the applicant to these comments would be helpful in subsequent reviews. Feel free to call with any questions or concerns. Thank you.



555 Hulet Drive  
Bloomfield Hills, MI 48302-0360

248-454-6300

www.hrcengr.com



March 12, 2025

City of Berkley  
3338 Coolidge Highway  
Berkley, Michigan 48072

Attn: Kim Anderson, Zoning Administrator

Re: Green Lantern Parking Lot Extension  
3340 Ellwood Ave  
Engineering Site Plan – Review No. 2

HRC Job No. 20250149

Dear Ms. Anderson:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development for compliance with the City of Berkley's engineering and site plan requirements. The engineering site plans were prepared by SeeleyArc of Waterford, Michigan with an issue date of March 6, 2025. The proposed project scope includes the demolition of an existing house, garage and all other accessory site features, and the construction of a parking lot adjacent to the existing Green Lantern parking lot, stormwater detention improvements and other site work. We hereby offer the following comments:

General:

1. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. **This item has been satisfactorily addressed.**
2. The DPW must be contacted prior to the commencement of work within the right-of-way (ROW). **This item has been satisfactorily addressed.**
3. Cross-sectional details for all proposed pavement, driveways, curbs, and sidewalks must be provided on the plans. **This item has been satisfactorily addressed.**

Public and Private Utilities:

4. All existing utilities on the site must be shown on the plans. **This item has been satisfactorily addressed.**
5. Profiles and details of all utilities, including the underground storage system, need to be included in the plans, with all pipe bedding and backfill materials indicated. **This item has been satisfactorily addressed.**

Storm Drainage and Detention/Sanitary Sewer:

6. Will the restaurant's existing parking area drain towards the proposed parking lot expansion? If so, whether in part or all, the proposed underground storage system will also need to include those

areas, and the calculations revised. Elevations of the existing parking areas and the proposed parking lot expansion must be clearly shown on the plans demonstrating how stormwater will flow throughout the site. **This item has been satisfactorily addressed.**

7. Details of the outlet control structure and the connection to the existing combined system must be shown on the plans. **This item has been satisfactorily addressed.**
8. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater system. The Applicant must contact the City DPW regarding this item prior to commencing construction. **This item is still applicable.**
9. Further investigation must be conducted into the existing catch basin east of the proposed reconfigured dumpster area, including the pipes connected to the structure, to ensure there is a positive outlet for drainage in this section of the lot.

Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the Applicant submitting the stormwater maintenance agreement, investigating the catch basin east of the proposed dumpster and its' connecting pipes, and obtaining and submitting copies of any required permits.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Edward D. Zmich  
Civil Department Manager

EDZ/kab

pc: City of Berkley; Shawn Young, Ms. Danna Bauer, Ms. Kristen Kapelanski  
HRC; R. Alix, K. Barauskas, File



# CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

## MEMORANDUM

**To:** Planning Commission

**From:** Kristen Kapelanski, Community Development Director

**Subject:** PSP-04-25: 3391 Twelve Mile

**Date:** April 22, 2025

---

### Background

- The applicant is proposing facade renovations on all sides of 3391 Twelve Rd. The project includes the installation of doors and windows and updates of and maintenance to existing materials.
- Façade alterations to more than 50% of any façade require the approval of the Planning Commission.

### Summary

- The applicant is generally meeting the standards of the Zoning Ordinance with the following exception:
  - The first floor of a building that fronts a street shall be composed of a minimum of 40% and a maximum of 80% windows. Approximately 28% of the Twelve Mile façade is transparent. The applicant is requesting the Planning Commission waive this standard. The Commission would need to find the standards for site plan approval listed in Section 138-678 have been met.
- The proposed changes bring the façade in greater alignment with the Downtown Design Guidelines. See the staff review letter for additional detail.

### Recommendation

If the Planning Commission chooses to approve the site plan, staff recommends the approval motion include a finding that the Planning Commission finds that the plan meets the standards for site plan approval per Section 138-679. Additionally, should the Planning Commission approve the plan as is, a reduction in the allowable transparency should be included in the motion. Staff recommends approval of the plan changes.

---



# CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

## APPLICATION FOR SITE PLAN REVIEW

**NOTICE TO APPLICANT:** Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in **substantially complete form** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

---

### TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: 3391 12 MILE RD.  
Applicant: C & H LAND-WALNUT, LLC  
Mailing Address: P.O. BOX 414, TROY, MI 48099-0414  
Telephone: [REDACTED]  
Email: [REDACTED]

Property Owner(s), if different from Applicant: SAME

Mailing Address: SAME  
Telephone: SAME  
Email: SAME

Applicant's Legal Interest in Property: OWNER

---

### LOCATION OF PROPERTY:

Street Address: 3391 12 MILE RD., BERKLEY, MI 48072  
Nearest Cross Streets: BUCKINGHAM  
Sidwell Number(s): 25-18-201-030



**PROPERTY DESCRIPTION:**

Provide lot numbers and subdivision: THOMAS BROTHERS' BEVERLY PARK SUB W16 FT OF LOT 63, ALL OF LOTS 64 TO 68 INCL & N 40 FT. OF LOT 69

Property Size (Square Feet): TOTAL BUILDING 6873 SF; SCOPE OF WORK AREA 4500 SF;  
(Acres): 0.39 AC

**EXISTING ZONING DISTRICT** *(please check):*

- |                               |  |                                      |
|-------------------------------|--|--------------------------------------|
| <input type="checkbox"/> R-1A | <input type="checkbox"/> Local Business        | <input type="checkbox"/> Coolidge    |
| <input type="checkbox"/> R-1B | <input type="checkbox"/> Office                | XX <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial  |
| <input type="checkbox"/> R-1D | <input type="checkbox"/> Woodward              | <input type="checkbox"/> Cemetery    |
| <input type="checkbox"/> RM   | <input type="checkbox"/> Eleven Mile           | <input type="checkbox"/> Parking     |
| <input type="checkbox"/> RMH  | <input type="checkbox"/> Twelve Mile           |                                      |

Present Use of Property: EMPTY COMMERCIAL BUILDING

Proposed Use of Property: OFFICE/RETAIL USE FOR ATESIAN PROPERTIES, INC.

Is the property located within the Downtown Development Authority?

☐ No

XX☐ Yes

---

**PROJECT DESCRIPTION:**

INTERIOR RENOVATION OF EXISTING COMMERCIAL BUILDING FOR OFFICE/RETAIL USE. IT WILL USE METAL FRAME AND DRYWALL CONSTRUCTION. THE FAÇADE WILL HAVE A MINOR CHANGE. THE BRICK EXTERIOR WILL REMAIN. CHANGES INCLUDE ADDING WINDOWS, REMOVING THE SHINGLED FAÇADE AND REPLACING WITH BRICK TO MATCH EXISTING IN AREAS WHERE FAÇADE WAS REMOVED. BUILDING TO BE PAINTED FOR UNIFORM LOOK.

Does the proposed project / use of property require Special Land Use approval? ☐ Yes  
XX☐ No

Does the proposed project require Variance(s) from the Zoning Board of Appeals? ☐ Yes  
XX☐ No

If yes, please describe Variances required:

NOT APPLICABLE

**PLEASE COMPLETE THE FOLLOWING CHART:**

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial	2 UNITS: ONE FOR CURRENT SUBJECT PROPERTY	BLDG 6873 SF SUBJECT PROPERTY 4500 SF	20	6
Industrial				
Other				

**PROFESSIONALS WHO PREPARED PLANS:**

A. Name: JON SARKESIAN ARCHITECTS, P.C.

B. Mailing Address: 412 S. WASHINGTON AVE., STE. 300, ROYAL OAK, MI 48067

Telephone: [REDACTED]

Email: [REDACTED]

Design Responsibility (engineer, surveyor, architect, etc.): ARCHITECT

C. Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

Design Responsibility: \_\_\_\_\_

**SUBMIT THE FOLLOWING:**

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

- ☐ Road Commission for Oakland County  
☐ MI Dept. of Transportation

- ☐ Oakland County Health Division  
☐ MI Dept. of Environment, Great Lakes & Energy

**NOT APPLICABLE**

**PLEASE NOTE:** The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

---

**PROPERTY OWNER'S APPROVAL: *(Initial each line)***

\_\_XX\_\_ I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

---

**APPLICANT'S ENDORSEMENT: *(Initial each line)***

\_\_XX\_\_ All information contained therein is true and accurate to the best of my knowledge.

\_\_XX\_\_ I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

\_\_XX\_\_ I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

---

**If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.**

---

  
Signature of Applicant

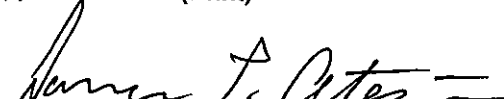
3-14-25  
Date

C&H LAND-WALNUT, LLC BY DARREN P. ATESIAN, ITS AUTHORIZED AGENT  
Applicant Name (Print)

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Name (Print)



Signature of Property Owner Authorizing this Application

3-14-25  
Date

C&H LAND-WALNUT, LLC BY DARREN P. ATESIAN, ITS AUTHORIZED AGENT  
Property Owner Name (Print)

**OFFICE USE ONLY**

Received 3-14-25 Receipt # \_\_\_\_\_ Meeting Date \_\_\_\_\_ Case # PSP-0425

**Fees:**

Site Plan Review \$600 **Plus Escrow:** Multi-family \$660 Commercial \$1,100

Administrative: \$300 Extension \$200

Engineering: Multi-family Full Site \$1,500 Escrow \$800 Commercial Full Site \$1,300 Escrow \$800  
Multi-family Partial Site \$1000 Escrow \$800 Commercial Partial Site \$800 Escrow \$800



3391 12 MILE  
3391 12 MILE RD. BERKLEY, MI 48072

GENERAL NOTES AND CONDITIONS

THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE CONTRACT DOCUMENT. CHANGES TO THE PLAN BY THE OWNER AND/OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE OWNER AND/OR CONTRACTOR SHALL HOLD THE ARCHITECT HARMLESS FROM & AGAINST ALL CLAIMS, DAMAGES, LOSSES & EXPENSES INCLUDING, BUT NOT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHANGE OF & SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, FOR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF ARCHITECT AND ARE PROTECTED UNDER COMMON LAW COPYRIGHT PROVISIONS. THEY ARE NOT TO BE REUSED EXCEPT BY WRITTEN AGREEMENT AND WITH THE AGREED COMPENSATION TO THE ARCHITECT. IF REUSED WITHOUT PERMISSION, THE ARCHITECT SHALL BE INDEMNIFIED AND HELD HARMLESS FROM ALL LIABILITY, LEGAL EXPENSE, CLAIMS, DAMAGES, LOSSES & EXPENSES. DRAWINGS SHALL NOT BE USED FOR MULTIPLE OR PROTOTYPE DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.

THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY ON THE JOB SITE. THESE RESPONSIBILITIES ARE INTENDED TO BE AND REMAIN SOLELY THOSE OF THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND/OR JOB SUPERINTENDENT. ALL WORK, MATERIALS AND EQUIPMENT SHALL MEET THE LATEST REQUIREMENTS OF ALL APPLICABLE STATE & LOCAL BUILDING CODES, REGULATIONS, THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION & THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS, WHERE APPLICABLE, COMPLY WITH ALL REQUIREMENTS OF THE MICHIGAN BARRIER FREE AND/ OR THE AMERICANS WITH DISABILITIES ACT (ADA).

**BIDS:**  
ALL COST BIDS ARE TO INCLUDE ALL APPLICABLE FEDERAL, STATE AND LOCAL TAXES.

BEFORE SUBMITTING A PROPOSAL, BIDDERS ARE TO CAREFULLY EXAMINE ALL THE DRAWINGS PROVIDED TO THEM, VISIT THE SITE OF WORK, FULLY INFORM THEMSELVES AS TO THE EXISTING CONDITIONS AND COVER THE COST OF ALL ITEMS CONTRACTED BY THE CONTRACTOR, ANY CLAIMS FOR ADDITIONAL WORK (REQUIRED BY ANY EXISTING CONDITION) PRESENTED AFTER THE BID HAS BEEN ACCEPTED WILL BE ALLOWED ONLY WITH A SPECIFIC CHANGE ORDER REQUEST THAT HAS BEEN SIGNED FOR ACCEPTANCE BY THE OWNER.

THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.

ANY SUBCONTRACTOR AWARDED WITH THE PROJECT MUST BE LICENSED WITHIN THE JURISDICTION OF WHICH THE CONSTRUCTION SITE RESIDES.

**PERMITS:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING & PAYING FOR ALL THE REQUIRED PERMITS, INSPECTIONS, ETC.

**GENERAL CONTRACTOR AND SUBCONTRACTORS RESPONSIBILITIES:**  
PROVIDE THE OWNER WITH A WORK AND COMPLETION SCHEDULE AND PROVIDE ALL EQUIPMENT, LABOR AND MATERIALS REQUIRED FOR PROPER PROJECT COMPLETION.

ALL WORK IS TO BE PERFORMED IN A WORKSMANSHIP-LIKE MANNER

GENERAL CONTRACTOR IS TO COORDINATE SUBCONTRACTORS WORK REQUIREMENTS TO ASSURE THAT WORK CAN PROCEED CONTINUOUSLY AND EXPEDITIOUSLY.

THE CONTRACTOR SHALL, WITHOUT DELAY, & PRIOR TO FABRICATION OR INSTALLATION, BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN THE MANUFACTURER'S SPECIFICATIONS OR RECOMMENDATIONS, APPLICABLE CODE PROVISIONS, AND THE CONTRACT DOCUMENTS, UNAUTHORIZED CHANGES TO PLANS BY THE OWNER AND/ OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.

VERIFY DIMENSIONS OF ALL EQUIPMENT WITH THE CORRESPONDING MANUFACTURER AND VERIFY THE INFORMATION WITH THE CONTRACT DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.

GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL INSTALL ALL PRODUCTS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, RECOMMENDATIONS & THE STANDARD OF RECOGNIZED AGENCIES & ASSOCIATIONS. PROVIDE ALL ANCHORS, FASTENERS, & ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALLOW FOR THERMAL EXPANSION/ CONTRACTION & BUILDING MOVEMENT. SEPARATE INCOMPATIBLE MATERIALS WITH SUITABLE MATERIALS OR SPACING. PREVENT CATHODIC CORROSION. PROTECT ALUMINUM SURFACES FROM CONTACT WITH MASONRY OR OTHER METALS. PROVIDE CONTROL JOINTS AT MATERIALS & ISOLATION JOINTS BETWEEN MATERIALS. STRUCTURE AS INDICATED & AS REQUIRED BY MANUFACTURER OR RECOGNIZED INDUSTRY STANDARDS. INSTALL PRODUCTS UNDER APPROPRIATE ENVIRONMENTAL CONDITIONS (AIR TEMPERATURE, SURFACE TEMPERATURE, RELATIVE HUMIDITY, ETC) TO INSURE QUALITY AND DURABILITY. MAINTAIN PROPER PROTECTION DURING DRYING/CURING.

GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ERECTION, MAINTENANCE AND REMOVAL OF BARRICADES AS REQUIRED TO PROTECT THE PUBLIC AND THE WORKERS DURING THE PERIOD OF CONSTRUCTION.

GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF INSTALLATION AND DETERMINATION OF EXACT LOCATION(S) OF REQUIRED BLOCKING FOR PROPER ANCHORAGE OF WORK PERFORMED BY THEIR RESPECTIVE TRADE.

THE CARPENTRY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL THE BLOCKING AS REQUIRED FOR COMPLETE AND SOUND INSTALLATION. THE CARPENTRY CONTRACTOR IS TO REVIEW ELECTRICAL PLANS TO VERIFY LIGHT FIXTURE LOCATIONS (ESPECIALLY FIXTURES CENTERED IN ROOMS OR ABOVE ARCHITECTURAL FEATURES, SUCH AS FIREPLACES) TO MAKE PROVISIONS IN THE FRAMING TO ALLOW FOR THESE CONDITIONS. GENERAL CONTRACTOR IS TO VERIFY THAT THIS HAS BEEN ACCOMPLISHED PRIOR TO INSTALLATION OF CEILING SURFACES. FIRE AND DRAFT STOPPING IS TO BE PROVIDED IN ALL CONVENTIONAL FRAMING IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS.

NO TRADE SHALL PROCEED WITH INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT WITHOUT FIRST COORDINATING WITH ALL OTHER TRADES, REGARDING SUCH ISSUES AS NECESSARY CLEARANCE, METHODS OF INSTALLATION, ETC.

THE GENERAL CONTRACTOR IS TO SUPPLY A DUMPSTER, TO BE LOCATED PER THE OWNERS DIRECTION, PROVIDE PROTECTION AS NEEDED TO KEEP DUMPSTER FROM DAMAGING EXISTING CONDITIONS. GENERAL AND SUBCONTRACTORS ARE TO PICK-UP CONSTRUCTION DEBRIS ON A DAILY BASIS AND KEEP THE APPEARANCE OF THE WORK SITE NEAT AND ORDERLY THROUGHOUT THE PERIOD OF CONSTRUCTION. ALL CONSTRUCTION DEBRIS GENERATED BY A SUBCONTRACTOR IS TO BE REMOVED BY SAID CONTRACTOR AND PLACED IN THE ON-SITE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES, SERVICE UTILITIES, & PROTECTION AS REQUIRED TO SAFELY EXECUTE ALL WORK. THE GENERAL CONTRACTOR SHALL PROTECT ADJACENT CONSTRUCTION, INHABITANTS AND COMPLY WITH ALL APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO PUBLIC UTILITIES. PROVIDE 24-HOUR NOTIFICATION OF ANY DISCONTINUITY OF UTILITY SERVICES WITH OWNER. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND LEGALLY DISPOSE OF ALL MATERIALS FROM THE JOB SITE.

ALL BUILDING MATERIALS AND INCOMPLETE PORTIONS OF CONSTRUCTION ARE TO BE PROTECTED FROM ADVERSE WEATHER CONDITIONS. ANY DAMAGED MATERIALS WILL BE REPLACED AT THE CORRESPONDING SUBCONTRACTOR'S EXPENSE.

THE GENERAL CONTRACTOR SHALL COORDINATE TEMPORARY BRACING, SHORING AND SUPPORTS AS REQUIRED DURING CONSTRUCTION. THE SUBCONTRACTORS ARE TO PROVIDE TEMPORARY BRACING, SHORING AND SUPPORTS AS REQUIRED DURING CONSTRUCTION.

GENERAL CONTRACTOR/OWNER IS TO SUPPLY EACH SUBCONTRACTOR WITH A COMPLETE SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF THEIR PORTION OF CONSTRUCTION.

GENERAL CONTRACTOR IS TO PROVIDE AN ON-SITE PORTA-JOHN.

GENERAL CONTRACTOR AWARDED THE CONTRACT SHALL RECEIVE ONE COMPLIMENTARY LUNCH AT "LITTLE BROS. BURGERS" IN ROYAL OAK, MI, TO CLAIM, PLEASE CALL (248)998-3939 TO SCHEDULE. YOU MUST BRING A SIGNED COPY OF THE THE CONTRACT AND A SET OF THE CONSTRUCTION DOCUMENTS TO BE ELIGIBLE.

**PROJECT COMPLETION:**  
UPON COMPLETION OF THE PROJECT, THE CONTRACTOR MUST SUBMIT A CERTIFICATE OF OCCUPANCY, APPROVED BY THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL PROCURE FINAL CERTIFICATE OF OCCUPANCY AND FORWARD SAME TO THE OWNER. CONTRACTOR SHALL CLEAN THE PREMISES, TEST APPLICABLE SYSTEMS, AND LEAVE READY FOR OCCUPANCY.

**PRODUCT OPTIONS AND SUBSTITUTIONS:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY, ALONG WITH OWNER APPROVAL, TO SELECT PRODUCTS WHICH COMPLY WITH THE CONTRACT DOCUMENTS & WHICH ARE COMPATIBLE WITH ONE ANOTHER, WITH EXISTING WORK, & THE PRODUCTS SELECTED BY OTHER CONTRACTORS. PROVIDE MANUFACTURER'S INFORMATION, SAMPLES, ETC. WHEN REQUESTED.

**DO NOT SCALE DRAWINGS. WRITTEN DIMENSION SHALL GOVERN.**  
USE INDICATED DIMENSIONS ONLY. THESE DIMENSIONS ARE BASED ON THE BEST OBTAINABLE FIELD MEASUREMENTS UNDER PRE-CONSTRUCTION CONDITIONS AND THE NOMINAL SIZES OF BUILDING MATERIALS USED. THE CONTRACTOR SHALL VERIFY ALL INDICATED DIMENSIONS AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CERTAIN METHODS OF CONSTRUCTION ON EXISTING CONDITIONS MAY NOT BE CLEARLY VISIBLE FROM A PRE-CONSTRUCTION VISUAL SURVEY, NOR CLEARLY INTERPRETABLE. THE CONTRACTOR SHALL CONTACT THE ARCHITECT UPON DISCOVERING CONDITIONS THAT VARY FROM THE PROPOSED PLANS SO THAT PROPER ADJUSTMENTS CAN BE MADE WITHIN A TIMELY MANNER. THE ARCHITECT DISCLAIMS LIABILITY FOR GRAPHIC ACCURACY OF THE PRINTED CONTRACT DOCUMENTS DUE TO THE REPRODUCTION PROCESS. USE FIELD VERIFIED/FIGURED DIMENSIONS AND FIELD DIMENSIONS ONLY. VERIFY ALL DIMENSIONS IN-FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONTRACTOR SHALL CHECK, VERIFY & MAINTAIN ALL DIMENSIONS, GRADES, LEVELS & OTHER CONDITIONS BEFORE PROCEEDING WITH FABRICATION & CONSTRUCTION. COORDINATE EXACT LOCATIONS OF EQUIPMENT, FIXTURES & OUTLETS WITH FINISHED ELEMENTS, WHERE NECESSARY OR WHERE SPECIFICALLY INDICATED, THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS & DETAILED COMPONENT DESIGN AS REQUIRED FOR THE PROPER FABRICATION, INSTALLATION, AND COORDINATION WITH OTHER TRADES.

**SHOP DRAWINGS:**  
REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS BY THE ARCHITECT/ENGINEER DOES NOT RELIEVE THE CONTRACTOR THE RESPONSIBILITY TO CHECK THE SHOP DRAWINGS BEFORE SUBMITTAL TO THE ARCHITECT/ENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS TO CONFORM WITH THE CONSTRUCTION DOCUMENTS.

PROVIDE ONE REPRODUCIBLE DRAWING SET AND ONE PRINT SET OF SHOP DRAWINGS FOR REVIEW. PROVIDE A SET OF APPROVED SHOP DRAWINGS TO THE LOCAL BUILDING DEPARTMENT AND TO THE OWNER.

NOTES ON SUBMITTED SHOP DRAWINGS FOR WORK "BY OTHERS" CANNOT BE RESPONSIBLY APPROVED BY THE ARCHITECT OR ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE RESPONSIBILITY FOR MATERIALS, CONNECTIONS, ADDITIONAL SHOP DRAWINGS, ETC. PRIOR TO SHOP DRAWING SUBMITTAL TO THE ARCHITECT/ENGINEER.

**CUTTING AND PATCHING:**  
INCLUDE ALL CUTTING & PATCHING FOR PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS AND ROOFS. DO NOT CUT OR NOTCH ANY STRUCTURAL MEMBER TO REDUCE ITS LOAD CARRYING CAPACITY.

**UNFORESEEN CONDITIONS:**  
SHOULD UNFORESEEN CONDITIONS BE ENCOUNTERED THAT AFFECT DESIGN OR FUNCTION OF THE PROJECT, CONTRACTOR SHALL INVESTIGATE FULLY, & SUBMIT AN ACCURATE, DETAILED REPORT TO THE ARCHITECT WITHOUT DELAY. WHILE AWAITING A RESPONSE, CONTRACTOR SHALL RESCHEDULE OPERATIONS AS REQUIRED TO AVOID DELAY OF OVERALL PROJECT.

**RECORD DRAWINGS:**  
THE CONTRACTOR SHALL PREPARE & MAINTAIN A COMPLETE SET OF RECORD CONSTRUCTION DRAWINGS INDICATING ALL ACTUAL WORK, MODIFICATION & REVISIONS TO THE WORK DELINEATED ON THE CONSTRUCTIONS DRAWINGS AS WELL AS ANY CONCEALED CONSTRUCTION WORK. INCLUDE ANY OTHER INFORMATION WHICH WOULD BE HELPFUL TO THE OWNER.

**INSURANCE:**  
GENERAL AND SUBCONTRACTORS AWARDED WITH THE PROJECT ARE TO PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE FOR WORKMEN'S COMPENSATION (\$500,000 MINIMUM), COMPREHENSIVE GENERAL LIABILITY (\$2,000,000 MINIMUM), AND AUTO LIABILITY (\$1,000,000 MINIMUM).

**WARRANTIES:**  
UNLESS OTHERWISE INDICATED, GENERAL AND SUBCONTRACTORS ARE TO PROVIDE THE OWNER WITH AN EIGHTEEN MONTH WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION OF LABOR AND MATERIALS (EXCLUDING WARRANTIES SET BY PRE-MANUFACTURED ITEMS THAT CARRY WARRANTIES THEIR OWN). THE WARRANTY SHALL STATE ALL WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE CODES, AND ENFORCING AUTHORITIES AND THAT ALL WORK IS FREE FROM DEFECTS OF MATERIAL AND WORKSMANSHIP. THIS IS IN ADDITION TO AND NOT A LIMITATION TO ANY PRODUCT MANUFACTURER'S PRODUCT WARRANTIES.

**STRUCTURAL:**  
ALL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS AND TO ASTM A-36. ALL STEEL TO RECEIVE ONE SHOP COAT OF PAINT. ALL SHOP CONNECTIONS TO BE WELDED UNLESS OTHERWISE NOTED. ALL FIELD CONNECTIONS TO BE BOLTED WITH 3/4" DIAMETER HIGH STRENGTH BOLTS IN 1 5/16" DIAMETER HOLES UNLESS OTHERWISE NOTED.

FOR ADDITIONAL INFORMATION REGARDING FRAMING MEMBERS & STRUCTURAL DESIGN SEE PLANS AND NOTES AND IF APPLICABLE THE STRUCTURAL NOTES.

ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED ELECTRICIAN ONLY. ALL WORK SHALL CONFORM TO THE PROVISIONS OF THE NATIONAL ELECTRIC CODE OF NFPA, LATEST EDITION.

ALL PLUMBING WORK SHALL BE CARRIED OUT BY A LICENSED PLUMBER. ALL EQUIPMENT & FIXTURES TO CONFORM TO THE MICHIGAN PLUMBING CODE, LATEST EDITION.

ALL MECHANICAL WORK SHALL BE CARRIED OUT BY A LICENSED MECHANICAL CONTRACTOR. ALL EQUIPMENT & FIXTURES TO CONFORM TO THE MICHIGAN MECHANICAL CODE, LATEST EDITION. THE MECHANICAL CONTRACTOR IS TO SUBMIT A DUCT PLAN/LAYOUT TO THE APPROPRIATE AUTHORITIES (CITY, TOWNSHIP, ETC) PRIOR TO RECEIPT OF PERMIT.

**SITE VISITS:**  
THE ARCHITECT, IF CONTRACTED TO DO SO, AS A REPRESENTATIVE OF THE OWNER, WILL VISIT THE SITE AT INTERVALS APPROPRIATE TO THE STAGE OF THE CONTRACTOR'S OPERATIONS (1) TO BECOME GENERALLY FAMILIAR WITH AND TO KEEP THE OWNER INFORMED ABOUT THE PROGRESS AND QUALITY OF THE PORTION OF THE WORK COMPLETED, (2) TO ENDEAVOR TO INFORM THE OWNER OF DEFECTS AND DEFICIENCIES IN THE WORK, AND (3) TO ENDEAVOR TO DETERMINE IN GENERAL IF THE WORK IS BEING PERFORMED IN A MANNER INDICATING THAT THE WORK, WHEN FULLY COMPLETED WILL, BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. HOWEVER, THE ARCHITECT WILL NOT BE REQUIRED TO MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE INSPECTIONS TO CHECK THE QUALITY OR QUANTITY OF THE WORK. THE ARCHITECT WILL NEITHER HAVE CONTROL, OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEAN, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS. ( NOTE AMENDED FROM ARTICLE 422, AIA DOCUMENT A201- 1997)

ABBREVIATIONS:

1. V.I.F. - VERIFY IN FIELD	25. STD. - STANDARD
2. O.C. - ON CENTER	26. ABV. - ABOVE
3. Ø - DIAMETER	27. E.P. - ELECTRICAL PANEL
4. U.ON. - UNLESS OTHERWISE NOTED	28. M.T. - MARBLE THRESHOLD
5. S&V - STAIN AND VARNISH	29. P.R. - FOLDER ROOM
6. PTD. - PAINTED	30. T&B - TOP AND BOTTOM
7. V.T.O. - VENT TO OUTSIDE	31. T&G - TONGUE AND GROOVE
8. U.S. - UNDERSIDE	32. P.T. - PRESSURE TREATED
9. AFF. - ABOVE FINISH FLOOR	33. V.I.W.O. - VERIFY WITH OWNER
10. TYP. - TYPICAL	35. M.L. - MICROLAM
11. H. - HIGH	36. C - CENTER LINE
12. W. - WIDE	37. P. - PLATE
13. L. - LONG	38. BR. - BASEPLATE
14. D. - DEEP	39. C.T. - CERAMIC TILE
15. MATL. - MATERIAL	40. S.T. - STONE TILE
16. REQ'D - REQUIRED	41. HDWD - HARDWOOD
17. MFR. - MANUFACTURER	42. V.T. - VINYL TILE
18. WD. - WOOD	43. W.C. - WATER CLOSET (TOILET)
19. PLUD. - PLYWOOD	44. CONT. - CONTINUOUS
20. SIM. - SIMILAR	45. EQ. - EQUAL (FOR DIMENSIONS) OR EQUIVALENT (FOR MATERIAL SPECIFICATION)
21. CLG. - CEILING	46. P. CONC. - POURED CONCRETE
22. EXT'G - EXISTING	47. P.B.O. - PROVIDED BY OWNER
23. MTD. - MOUNTED	
24. T.M.E. - TO MATCH EXISTING	

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AS-2 EXTERIOR ELEVATIONS

JON SARKESIAN  
ARCHITECTS, P.C.

412 S.Washington Ste. 500  
Royal Oak, MI 48067  
ph 248-398-3532

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JON SARKESIAN ARCHITECTS, P.C.

CONSULTANTS:

PROJECT:  
3391 12 MILE

ADDRESS:  
3391 12 MILE RD.  
BERKLEY, MI 48072

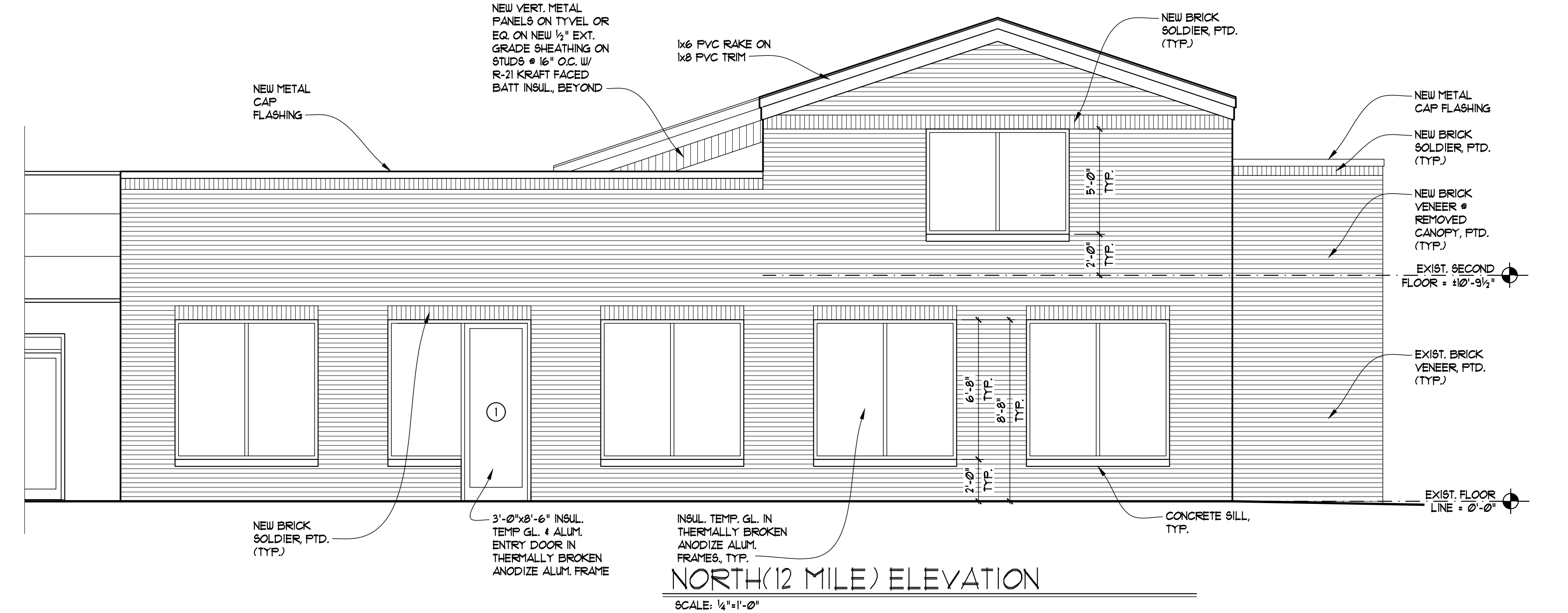
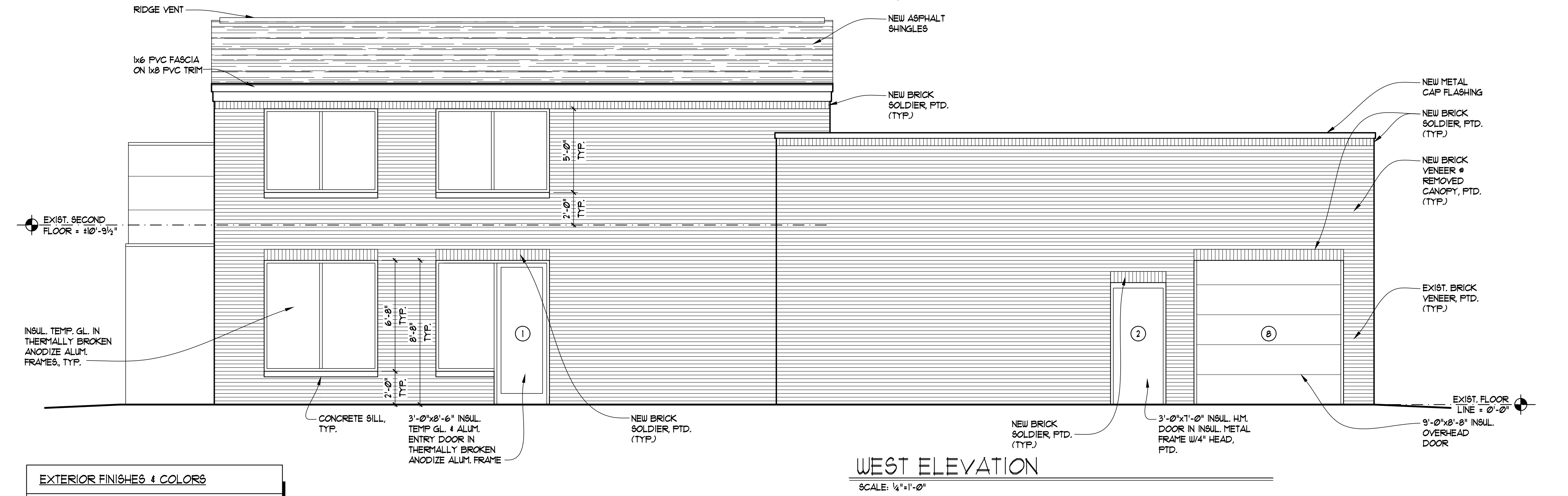
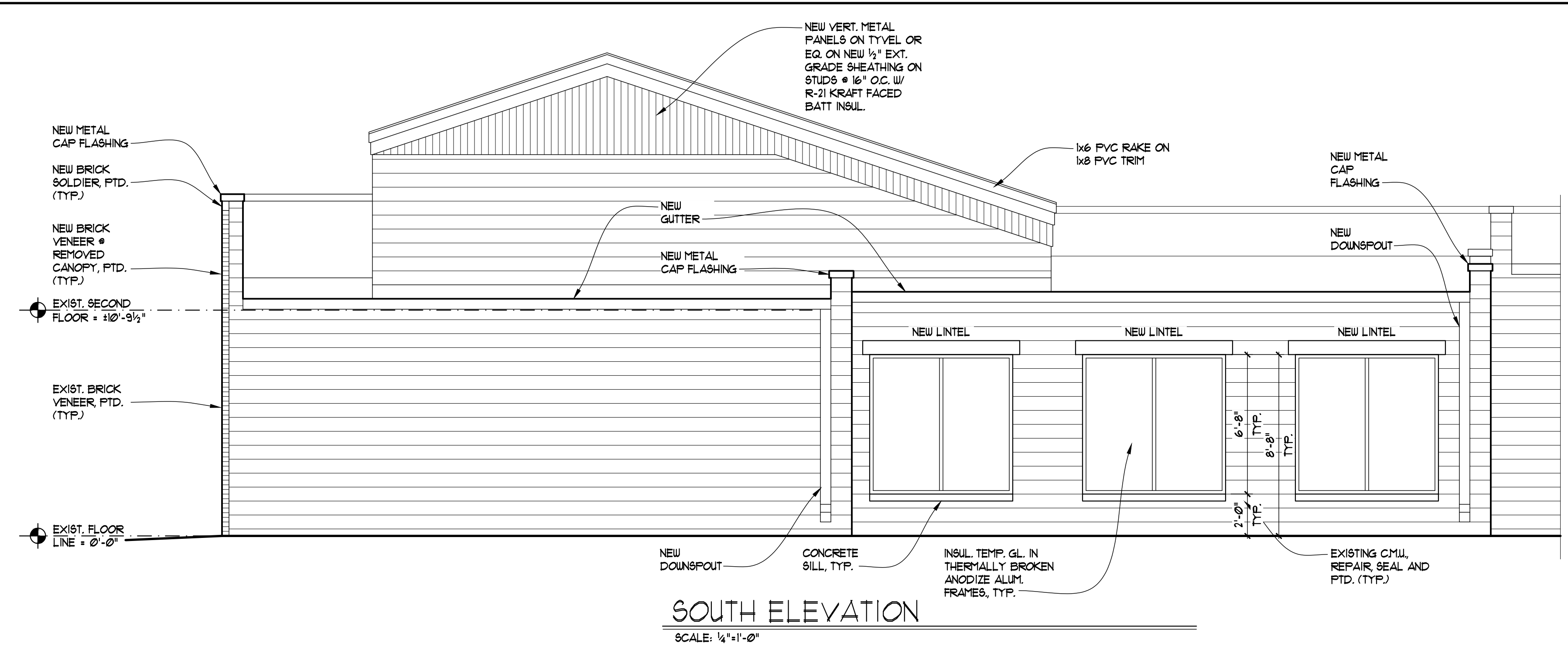
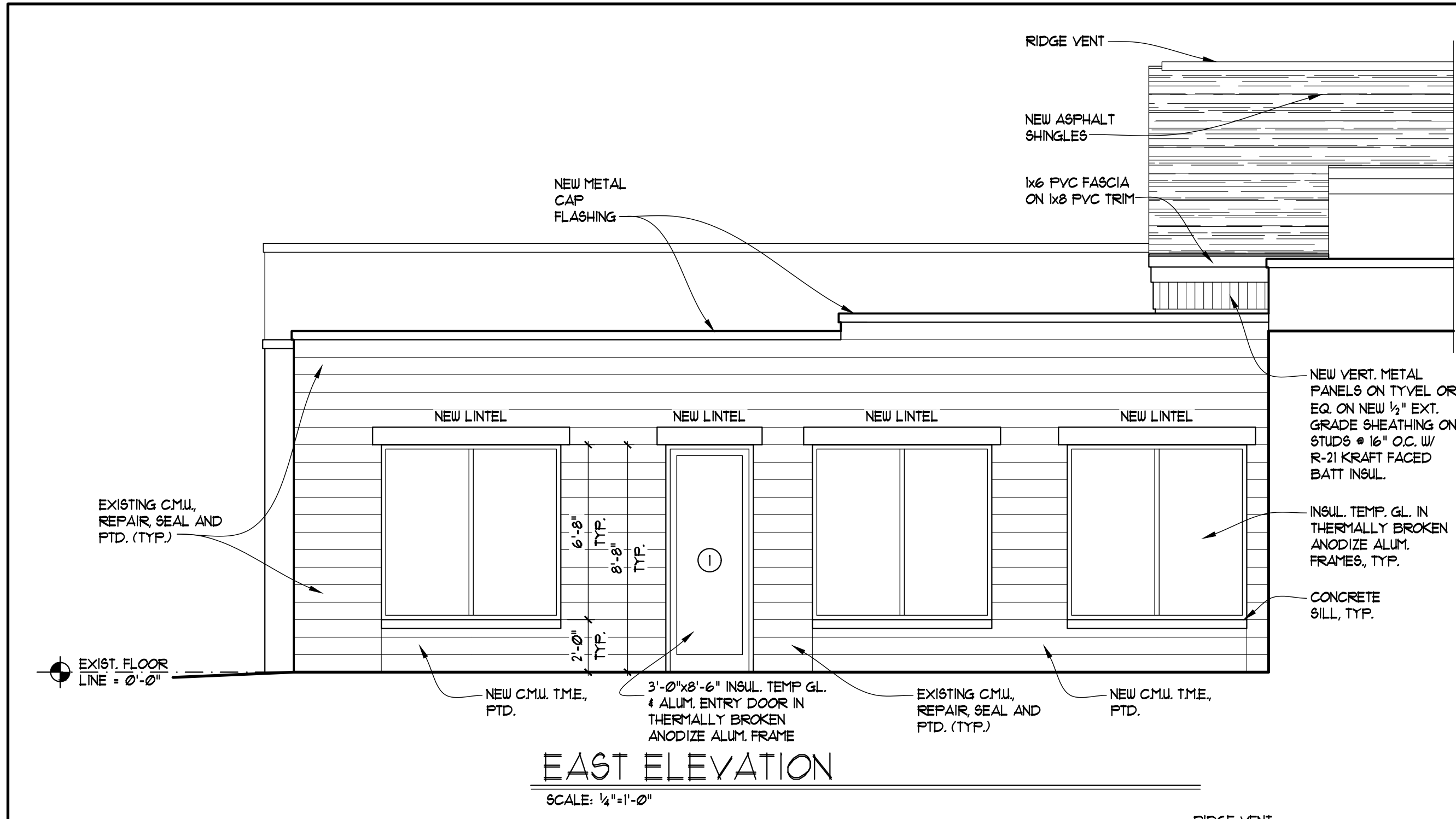
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PLANNING COMMISSION  
03-17-25



SHEET NO.  
AS-Ø







- EXTERIOR FINISHES & COLORS**
- ALL TRIM TO BE PVC SIMILAR OR EQ. TO "AZEK" - SMOOTH.
  - NEW BRICK TO MATCH EXISTING. PROVIDE BRICK TIES ANCHORED IN EXISTING BACK-UP MATERIALS @ 16" O.C.
  - ALL BRICK & CMU NEW AND EXISTING TO BE SEALED & PAINTED.
  - ALL NEW STEEL LINTELS TO BE GALVANIZED.
  - PROVIDE THROUGH WALL FLASHING & WEEPS @ 24" O.C. MIN. AT ALL NEW MASONRY SILLS & LINTELS AS REQUIRED PER THE MASONRY INSTITUTE OF MICHIGAN RECOMMENDATIONS.
  - ALL SHINGLES TO BE ARCHITECTURAL STYLE.
  - ALL COLORS & FINISHES TO BE VERIFIED W/ OWNER.
- ROOF NOTES**
- INSTALL ICE AND WATER SHIELD AT ALL LEADING EDGES OF EAVES, OVERHANGS, AND VALLEYS. IT SHOULD EXTEND, MEASURED HORIZONTALLY 6'-0" FROM THE INSIDE FACE OF THE WALL (TYP.) AND AT ALL PROTRUSIONS THROUGH THE ROOF DECK.
  - INSTALL ICE AND WATER SHIELD ALONG GABLE AND DORMER WALLS ABUTTING ROOF SURFACE. ALLOW FOR A MINIMUM 18" OF ICE AND WATER SHIELD ON WALL AND A MINIMUM 18" ON ROOF SURFACES. FLASHING SHOULD BE INSTALLED MINIMUM 6" UP THE WALL AND 6" ON THE DECK UNDER THE ROOFING MATERIAL WITH A MINIMUM OF 3" OVERLAP.
  - PROVIDE MANUFACTURER RECOMMENDED FLASHING AT ALL ROOF PENETRATIONS.



# CITY OF BERKLEY

## COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

### MEMORANDUM

**To:** C & H Land-Walnut, LLC, Applicant

**From:** Kristen Kapelanski, Community Development Director

**Subject:** Exterior Renovations – 3391 Twelve Mile

**Date:** April 3, 2025

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The renovations for 3391 Twelve Mile Road include exterior renovations of the building façade on all sides. The scope of the project includes the installation of doors and windows, repair and replacement of brick and CMU and replacement of asphalt shingles.

As the façade alterations change the surface material of the façade by more than 50%, Planning Commission approval is required.

#### Review Comments:

1. Section 138-421 of the Zoning Ordinance requires the following. *Staff comments are italicized.*
  - a. The first floor of a building that fronts a street shall be composed of a minimum of 40% and a maximum of 80% windows. *Approximately 28% of the Twelve Mile façade is transparent. This standard may be waived by the Planning Commission provided the standards for site plan approval in Section 138-678 have been met.*
  - b. The windowsills along major or minor streets shall be no more than 36 inches above the sidewalk. *Standard met.*
  - c. The building elevation that fronts a street shall contain an entrance. *Standard met.*
2. The proposed changes bring the façade more in line with the approved Downtown Design Guidelines, particularly with respect to durable materials and expanded windows. *Overall, it does appear that the applicant is improving the façade. The existing massing of the building complements adjacent buildings and buildings on the block and no change to this is proposed. Additionally, the active street edge will be improved with the addition of more windows along the street front. The applicant is using suggested materials – brick on the most visible facades and in areas where an outdated canopy/mansard roof is being removed.*
3. Any proposed sign changes must be reviewed and approved under a sign permit application, which requires a separate fee and application.

Please contact me if you have any questions.

Thank you.

Cc: Kim Anderson, Zoning Administrator

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