



3338 Coolidge  
 Berkley, Michigan 48072  
 (248) 658-3320  
 FAX (248) 658-3321  
[www.berkleymich.org](http://www.berkleymich.org)

## BUILDING PERMIT APPLICATION

**Application for a permit to:**

Commercial\_\_\_\_ Residential\_\_\_\_ Demo\_\_\_\_ New Construction\_\_\_\_ Addition\_\_\_\_ Alteration\_\_\_\_ SPRINKLED Y / N

**Describe Proposed Project:** \_\_\_\_\_

**Work being done at:**

Address:\_\_\_\_\_ Day Telephone:\_\_\_\_\_

Name of Property Owner:\_\_\_\_\_ Size of New Structure:\_\_\_\_\_

Zoning:\_\_\_\_\_ Subdivision:\_\_\_\_\_ Lot No.:\_\_\_\_\_ Lot Size:\_\_\_\_\_

**Contractor/Applicant:**

Company Name:\_\_\_\_\_

License Holder:\_\_\_\_\_

Address:\_\_\_\_\_ City:\_\_\_\_\_ State/Zip:\_\_\_\_\_

Telephone:\_\_\_\_\_ EMAIL Address:\_\_\_\_\_

Estimated Cost of Construction: By Applicant: \$ \_\_\_\_\_

**Plan review fees must be paid before review can begin. Final review fees may be higher based on confirmation of the construction cost. Cancelled plan reviews will not be refunded.**

**Requirements:**

A copy of your insurance must be on file for all contractors doing work in our city.

**Residential:** Two (2) sets of plans, minimum size 8 1/2 x 11 inch paper.

**Commercial:** Two (2) sets of plans, sealed by a Licensed Architect or Engineer in accordance with 1980, PA299.

**PDF of plans are required to be submitted to: [building@berkleymich.net](mailto:building@berkleymich.net)**

I agree to repair any damage done to public or private property.

**“This permit is granted on the express condition that the said construction shall, in all respects, conform to the ordinances of this jurisdiction including the zoning ordinance, regulating the construction and use of buildings, and may be revoked at any time upon violation of any provisions of said ordinances.”**

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Print Name**

**Refund Policy:** Upon request, all cancelled permits with no inspections will be refunded at 50% of the permit costs with a minimum refund of \$25.00. Permit fees will not be refunded after inspections have been completed.

**Department use only:** USE GROUP \_\_\_\_\_ CONST. TYPE \_\_\_\_\_ Value by Department: \$ \_\_\_\_\_

\_\_\_\_\_  
 Approved

\_\_\_\_\_  
 Not Approved

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Permit Number:

\_\_\_\_\_  
 Fee:

\_\_\_\_\_  
 Inspections:

\_\_\_\_\_  
 Stipulations:

\_\_\_\_\_  
 Bond:

\_\_\_\_\_  
 Registration:

\_\_\_\_\_  
 Plan Review:

\_\_\_\_\_  
 Received by

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Total:

**CONTRACTOR PERMITS**

Company Name: \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

License Number: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Drivers License Number: \_\_\_\_\_ DOB: \_\_\_\_\_

Federal Employer ID Number  
or Reason for Exemption: \_\_\_\_\_

Workers Comp Insurance Carrier  
or Reason for Exemption: \_\_\_\_\_

MESC Employer Number  
or Reason for Exemption: \_\_\_\_\_

**“Section 23a of the state construction codes act of 1972, Act. No. 230 of Public Acts of 1972, being section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to person who perform work on residential building or a residential structure. Violations of section 23a are subjected to civil fines.”**

**A copy of your certificate of insurance must be on file with the building division before any permits will be issued.**

\_\_\_\_\_  
**Signature of Contractor**

\_\_\_\_\_  
**Date signed**

\_\_\_\_\_

**HOMEOWNER PERMITS**

Name: \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Drivers License Number: \_\_\_\_\_ DOB: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Email: \_\_\_\_\_

**Section 23a of the state construction codes act of 1972, Act. No. 230 of Public Acts of 1972, being section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to person who perform work on residential building or a residential structure. Violations of section 23a are subjected to civil fines.”**

**Homeowner guarantees that work is being done by homeowner or immediate family and will not be contracted out; also this will not be a rented property.**

\_\_\_\_\_  
**Signature of Homeowner**

\_\_\_\_\_  
**Date signed**



Building & Planning  
3338 Coolidge Hwy  
Berkley, MI 48072  
248-658-3320  
Fax: 248-658-3301  
www.berkleymich.org

## CITY OF BERKLEY, MICHIGAN ROOF SPECIFICATIONS

1. Strip shingles from house and haul away
2. Replace any damaged wood
3. Call for open roof inspection
4. Install ice and water shield on eaves edge
5. Install #15 felt on entire roof
6. Install metal drip edge on eave and rake edges
7. Flash & counterflash chimney
8. No staples to be used.
9. Provide adequate ventilation (roof vents per 2000 (Michigan Residential Code Section 806) See below.

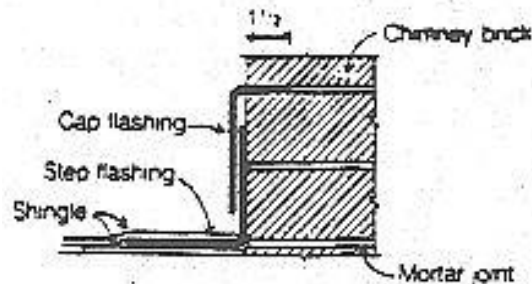


Figure 45: Application of cap flashing

Cap flashings must now be placed over all base flashings for positive exclusion of water from the joint. Begin by setting the metal cap flashing into the brickwork as shown in Figure 45. This done by raking out a mortar joint to a depth of 1 ½ inches and inserting the bent edge of the flashing into the cleared joint. Once in place and being under a slight amount of spring tension, the flashing cannot be dislodged easily. Refill the joint with Portland cement mortar. Finally, bend the flashing down to cover the base flashing and to lie snugly against the masonry.

**SECTION R806**  
**ROOF VENTILATION**

**R806.1 Ventilation required.** Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall be provided with corrosion-resistant wire mesh, with 1/8-inch (3.2 mm) minimum to ¼ inch (6.35 mm) maximum openings.

**R806.2 Minimum area.** The total net free ventilating area shall not be less than 1 to 150 of the area of the space ventilate except that the total area is permitted to be reduced to 1 to 300, provided at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1 to 300 when a vapor barrier having a transmission rate not exceeding 1 perm ( $57.4 \text{ mg/s} \cdot \text{m}^2 \cdot \text{Pa}$ ) is installed on the warm side of the ceiling.

**R806.3 Vent clearance.** Where eave or cornice vents are installed, insulation shall not block the free flow of air. A minimum of a 1-inch (25.44 mm) space shall be provided between the insulation and the roof sheathing at the location of the vent.

Last Updated: June 20, 2023

## Construction Permit Fees

Construction Permits	
Registration	
Residential Builder	\$ 35.00
Residential Maintenance and Alteration	\$ 35.00

Building Permit Fee		
Based on Construction Value	\$ 1.00 - \$ 1,000.00	\$ 50.00
	Each Additional \$ 1,000.00	\$ 20.00
	First Inspection	\$ 50.00
	Each Additional Inspection	\$ 45.00
	Re-Inspection Fee	\$ 35.00
	Reinstatement	\$50.00

Cash Builders Bond	
\$ 1,000.00 - \$ 5,000.00	\$ 50.00
\$ 5,001.00 - \$ 10,000.00	\$ 75.00
\$ 10,001.00 - \$ 50,000.00	\$ 100.00
\$ 50,001.00 – \$ 100,000.00	\$ 500.00
\$ 100,001 - up	\$ 800.00

Concrete Certificates		
When no additional permit is obtained	Registration of Cement Contractor	\$ 35.00
	Sidewalk	\$ 65.00
	Sidewalk Bond	\$ 200.00
	Driveway Approach	\$ 65.00
	Pavement Break Permit (saw cut only)	\$ 40.00
	Refundable Bond (required)	\$ 1,500.00
	Curb Cut – per lineal foot	\$ 8.00
	First Inspection	\$ 50.00
	Each Additional Inspection	\$ 45.00
	Initial Concrete Certificate and Inspection Fee NOT TO EXCEED	\$ 200.00

Driveway Permit Certificate (new or replaced)/Service Walk	\$ 70.00
Fence Permit	\$ 60.00

Liability Insurance Requirements for all contractors	
One Person	\$ 100,000.00
Each Occurrence	\$ 300,000.00
Property damage, each occurrence	\$ 10,000.00

Swimming Pools		
Swimming Pool Contractor Registration		\$ 35.00
Above Ground Pool		\$ 30.00
	One Inspection	\$ 50.00
	Electrical Permit ( <i>one inspection</i> )	\$ 45.00
	Bond	\$ 50.00
	Total	\$ 175.00

Inground Pool		\$ 40.00
	Two Inspections	\$ 95.00
	Electrical Permit (two inspections)	\$ 80.00
	Bond	\$ 50.00
	Total	\$ 265.00

Wrecking		
Registration of Wrecking Contractor		\$ 35.00
Accessory Structure		\$ 40.00
Single Family Detached Dwelling		\$ 100.00
Multiple Family and Non – Residential Construction		\$ 150.00
Concrete Cost Due to Sewer Retirement	Sidewalk	\$500.00 / \$2,500.00 / \$5,000.00
Concrete Cost Due to Sewer Retirement	Sidewalk	\$500.00
	Half Road	\$2,500
	Full Road	\$5,000

Cash Bond	
Cash Bond	\$ 1,000.00
Two Inspections Required	\$ 95.00

Shed	
Shed – 36 sq. ft. or larger	\$ 20.00
Two Inspections Required	\$ 95.00
Total Shed Permit	\$ 115.00

Housing Moving		
Housing Moving	Registration of House Moving Contractor	\$ 35.00
	House Moving Permit	\$ 200
	Inspection ( <i>in city before moving</i> )	\$ 100
	Inspection ( <i>out of city before moving</i> )	\$ 100
	Housing Moving Bond ( <i>site to site</i> )	\$ 5,000
	House Finishing Bond	\$ 1,500.00

Plan Examination Fees		
Initial Plan Reviews		
Building Structures within value of:	\$ 0 - \$ 1,000.00	\$ 80.00
	\$ 1,001.00 - \$ 10,000.00	\$ 100.00
	\$ 10,001.00 - \$ 175,000.00	\$ 250.00
	\$ 175,001.00 and over	0.0015 x Construction Value + 20% for Third Party Reviews
Conceptual Review by Third Party Consultant		Consulting Cost + 20% (Minimum \$50)
Revised Plans		\$50.00

**Fire Marshal Review Fees**

Plan Review Fee (per hour)	\$ 35.00
Fire Alarm Plan Review ( <i>Sprinkler, including inspection</i> )	\$ 75.00
Fire Alarm Pan Review ( <i>Alarm, including inspection</i> )	\$ 75.00
Hood Suppression System Plan Review ( <i>all submission</i> )	\$ 75.00

**Vacant Structures**

Single Family	Registration and inspection	\$ 200.00
Multiple Family (Biennial) – First Unit	Registration and inspection	\$ 200.00
	Each additional Multiple Family unit	\$ 30.00
Non-Residential Building (Biennial)	Registration and Inspection	\$ 200.00
Second Re-Inspection (billed only when required)		\$ 30.00